

area coverage.

COMMUNITY INFRASTRUCTURE AND STRATEGIC GROWTH STANDING COMMITTEE AGENDA

Tuesday, April 8, 2025 1:00 pm - 4:00 pm COUNCIL CHAMBERS 400 Main Street SE

		400 Main Street SE	Pages
1.	CALL 7	O ORDER	· ·
2.	DIREC	TOR'S BRIEF (verbal only)	
3.	CONFI	RMATION OF MINUTES	
	3.1	Regular Meeting of March 25, 2025	1
4.	PUBLIC	C PRESENTATIONS AND QUESTIONS	
	There a	are no items.	
5.	CONSI	ENT AGENDA	
	There a	are no items.	
6.	AGENI	DA REPORTS	
	6.1	YYC 2025 Runway Construction Update (Leona Esau, Intergovernmental Liaison)	4
		The Community Infrastructure & Strategic Growth Standing Committee is being provided with a presentation from YYC on the 2025 runway rehabilitation project and possible impact on flight pattern changes over Airdrie.	
	6.2	Development Permit PL2401878 - 13 Willow Green SW - Garage (Geoff Rice, Planner I)	6
		The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2401878, an application for an Accessory Building (detached garage) requiring relaxations to the maximum height, and maximum building	

6.3 Development Permit PL2500245 - 104, 2926 Kingsview Boulevard SE - Illuminated Facia and Roof Signs (Geoff Rice, Planner I)

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2500245, an application for four illuminated fascia signs and one illuminated Roof Sign.

7. ITEMS REFERRED FROM COUNCIL

There are no items.

8. UPDATE OF COMMITTEE RESOLUTIONS

There are no items.

9. CLOSED SESSION

There are no items.

10. ITEMS ARISING FROM CLOSED SESSION

There are no items.

11. ADJOURNMENT

COMMUNITY INFRASTRUCTURE AND STRATEGIC GROWTH STANDING COMMITTEE MEETING

MINUTES

Tuesday, March 25, 2025 1:00 pm - 4:00 pm COUNCIL CHAMBERS 400 Main Street SE

PRESENT

Councillor A. Jones (Chair) (Voting) Councillor T. Petrow (Voting) Deputy Mayor H. Spearman (Voting) M. Elsogheir (Non-Voting) K. Mitchell (Non-Voting)

STAFF

- L. Stevens, Director Community Infrastructure
- S. Utz, Director Strategic Growth and Investment
- A. Dormer, Team Leader Engineering
- G. Gibeau, Team Leader Current Planning
- T. Tester, Senior Planner
- K. Morrison, Legislative Officer II/Committee Clerk
- C. Phillips, Council Technician
- K. Rushford, Recording Technician

1. CALL TO ORDER

Councillor Jones called the meeting to order at 1:01 p.m. and confirmed that quorum has been met for this meeting.

2. DIRECTOR'S BRIEF (verbal only)

2.1 Lorne Stevens, Director of Community Infrastructure

L. Stevens provided an update on Airdrie's shared utility arrangement with the City of Calgary. Last week, Calgary announced that they have undertaken some testing of their new fluoride system. There will be some additional time before that equipment will be in operation, so fluoridation will be deferred until late Q2. The City of Calgary has also updated some of the water conservation measures in their Water Bylaw. Administration is reviewing the implications of Calgary's adjustments. Further information may be coming forward on Airdrie's Water Bylaw.

Councillor Jones noted that Airdrie gets our water from Calgary and we don't have any control over fluoridation.

2.2 Stephen Utz, Director Strategic Growth and Investment

S. Utz advised that since the last time this Committee met, the Province of Alberta has given us an additional announcement regarding school planning for the City of Airdrie. This is a win for the community of Lanark.

3. CONFIRMATION OF MINUTES

3.1 Regular meeting of March 11, 2025

2025-CISG-009

Moved By Councillor Spearman

That the Community Infrastructure and Strategic Growth Standing Committee approves the minutes of the regular meeting of March 11, 2025, as presented.

Carried

4. PUBLIC PRESENTATIONS AND QUESTIONS

There are no items.

5. CONSENT AGENDA

5.1 City of Airdrie Corporate Green Fleet Strategy (Susan Grimm, Manager Fleet Services)

2025-CISG-010

Moved By Councillor Petrow

That the Community Infrastructure and Strategic Growth Standing Committee accepts the Corporate Green Fleet Strategy report for information.

Carried

6. AGENDA REPORTS

6.1 Development Permit - 915 Bayview Rise SW - PL2302142 (Tracey Tester, Senior Planner)

RECESS

Councillor Jones called a recess at 2:13 p.m. The meeting reconvened at 2:24 p.m. Councillor Jones called a further recess at 2:33 p.m. The meeting reconvened at 2:36 p.m.

2025-CISG-011

Moved By Councillor Spearman

That the Community Infrastructure and Strategic Growth Standing Committee approves development permit PL23022142 to allow for the development of the Townhouse Dwelling units as per the conditions in Attachment 2,

Regular Meeting of the Community	Infrastructure and	d Strategic	Growth	Standing Com	mittee
				March 25	, 2025

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with the following amendments presented by Administration:

Condition 29 to say: Prior to development permit issuance, the Developer shall submit a final set of development permit plans with revisions required by the Development Authority for approval with a combination of landscaping and materials for interface with 24th Street.

and the addition of Condition 31 to say:

31. The Developer shall enter into an encroachment agreement with the City of Airdrie to be registered on title for the maintenance, repair, and snow removal of the emergency access.

Carried

7. ITEMS REFERRED FROM COUNCIL

There are no items.

8. UPDATE OF COMMITTEE RESOLUTIONS

There are no items.

9. CLOSED SESSION

There are no items.

10. ITEMS ARISING FROM CLOSED SESSION

There are no items.

11. ADJOURNMENT

Councillor Jones adjourned the meeting at 2:39 p.m.

,	Committee Chair
	Committee Clerk



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH – AGENDA REPORT

Meeting Date: 8 April 2025

Subject: YYC 2025 Runway Construction Update

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure & Strategic Growth Standing Committee is being provided with a presentation from YYC on the 2025 runway rehabilitation project and possible impact on flight pattern changes over Airdrie.

Policy / Council Direction:

The City of Airdrie is a member of the YYC Airport Community Consultative Committee which meets four times per year to discuss aircraft operations and concerns at YYC.

Background:

In April 2024 YYC began the West Runway Rehabilitation project. The runway was originally constructed in 1939. Due to the extensive nature of the rehabilitation project the runway is taken out of service to accommodate construction from April to December. Phases 1-4 were completed in 2024 with the runway reopening for winter service. The remaining phases are scheduled to be completed in 2025.

To accommodate the closure of the West Runway aircraft activity is shifted to the East and Crosswinds Runways. This can result in more concentrated air traffic flight paths and increase the number of concerns raised by communities near YYC.

In 2023 and prior to construction beginning in 2024 very few noise complaints were received from Airdrie residents. During construction, April to early December 2024, 101 complaints were received from Airdrie residents through the YYC aircraft noise concerns system. No complaints were received in December 2024 after the West Runway was brought back into service.

As part of YYC community engagement plan for 2025 the Calgary Airport Authority held a public open house for Airdrie and area residents on February 26 at Genesis Place to provide information on the 2025 construction schedule and possible temporary impacts.

Representatives from YYC will provide the Community Infrastructure & Strategic Growth Standing Committee with more details about the construction project, including the possibility of installing temporary noise monitoring equipment in areas most affected by shifts in airplane traffic.

Administration Recommendation:

That the Community Infrastructure & Strategic Growth Standing Committee accepts the presentation from YYC on the 2025 runway rehabilitation project for information.

Alternatives/Implications:

1. The Community Infrastructure & Strategic Growth Standing Committee can request additional information from YYC on the 2025 runway rehabilitation project.

Budget Implications:

N/A

Communications and Engagement:

Corporate Communications may work with The Calgary Airport Authority to share updates on the construction project and noise complaint submission process.

Recommendation:

That the Community Infrastructure & Strategic Growth Standing Committee accepts the presentation from YYC on the 2025 runway rehabilitation project for information.

Leona Esau, Intergovernmental Liaison

Staff Presenter: Leona Esau

External Presenter: The Calgary Airport Authority - Evan Dyson, General Manager, Civil Construction; Zahra Nurani, Change Management Specialist; Adam Brown, Manager, Government & Stakeholder Relations; Natalie Tomczak, Director, Communications, Government & Stakeholder Relations

Department: Government Relations & Grants Reviewed by: Stephen Utz, Mike Korman

Attachments: #1: N/A



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH - AGENDA REPORT

Meeting Date: 8 April 2025

Subject: Development Permit PL2401878 – Garage with Variances

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2401878, an application for an Accessory Building (detached garage) requiring relaxations to the maximum height, and maximum building area coverage.

Policy / Council Direction:

Council adopted a governance structure empowering the Community Infrastructure and Strategic Growth Committee (CISG) to act as the Development Authority for any accessory building exceeding a height limit of 5.5 m. In addition, Bylaw Section 6.1 (1)(i)(ii) notes that the height of an Accessory Building can be increased to a height of 7.3 metres from 5.5m through a Development Permit application and evaluated as a Discretionary Use by the Community Infrastructure and Strategic Growth Committee (CISG).

Background:

The subject property is located at 13 Willow Green SW in the Wildflower community. The property is districted R1-U, Urban Standard Residential District which permits accessory buildings. The proposed application is for a second garage which requires a development permit. The garage also requires two variances, one for a height exceeding 7.3m and one for exceeding the calculated building area coverage of 87.49 sqm.

The property is situated on a 669.75 sqm pie-shaped lot, featuring a single detached dwelling with an attached front garage. The adjacent lots to the north, east and west are districted R1-U, while the properties to the south are primarily zoned R1, single detached homes which have yet to be constructed. The parcel is accessible via a lane along the south boundary of the property. The proposed garage will be in the southwest corner of the property with direct access from lane.

The purpose of the R1-U district is to provide for residential development in the form of single detached dwellings on narrow lots with front-attached garages. This district is intended to accommodate a range of small lot building typologies, including both wide / shallow and narrow / deep configurations while maintaining minimum standards of the Bylaw for streetscape design, landscaping, and amenity areas.

The proposed second garage will provide parking for three vehicles and include a storage area on the second floor. Access to the second floor will be via an exterior staircase at the west side of the garage. The two-story garage is proposed to be 8.3m (27' 2") in height which is 1.0m higher than the maximum height allowed for an Accessory Building, which is 7.3m.

Land Use Bylaw Review

This review outlines the key aspects of the Land Use Bylaw as they pertain to the proposed development of a second garage at 13 Willow Green SW in the Wildflower community.

Accessory Building Coverage

The maximum size of garage that can be built is based on the lot area requirements of Section 6.1(1) Table 10. The maximum Accessory Building Coverage has been calculated to be 87.49 sqm. The proposed garage is 104.36 sqm in area which is 16.87 sqm larger than the maximum permitted size. This difference represents a 19.3% variance in area.

Table 10: Accessory Building Coverage

Lot Area	Calculation
Up to 360m ²	20% of the Lot Area
Above 360m ²	20% of the Lot Area for the first 360m² PLUS
	5% of the difference in area above 360m ²
	Up to a maximum of 90.0m ²

Lot Massing and Coverage

The existing principal dwelling occupies approximately 160.47 sqm of land which is calculated to be 24% lot coverage. The proposed second garage will increase the site coverage by15.6%, bringing the total site coverage to 39.6%, which is below the maximum allowed 55% in the R1-U district.

Massing and Coverage	
Maximum Building Height	11.0m
Maximum Site Coverage	55% of Lot
	Area
Minimum Landscaping	30% of Lot
	Area
Minimum Private Amenity Area (8)	60m² per
	Lot
	Bylaw B-31/2023

Accessory Building Height

Pursuant to Section 6.1(1)(i)(ii), the maximum height of an Accessory Building may be extended up to 7.3m where it is subject to a Development Permit application and evaluated as a Discretionary Use under the authority of the Community Infrastructure and Strategic Growth Committee. The height of the proposed garage will be 8.3m (27' 2").

Other than the increase to the height and it's massing the proposed garage meets all other regulations of the Land Use Bylaw.

Administration Recommendation:

That CISG accepts Administration's recommendation to refuse Development Permit PL2401878 for the following reasons:

- 1. The increased massing and height of the proposed garage would potentially impact the visibility, privacy, and enjoyment of amenity space of neighbouring properties.
- 2. The Accessory Building would not be visually subordinate to the principal building.
- 3. The proposed garage does not meet the expectations of the Airdrie City Plan, specifically Chapter 6 (Community Design and Development), which provides direction for established neighbourhoods. Under this section, the City is directed to support established residential neighbourhoods by encouraging development in ways that will respect the residential context and will complement the established character, scale, and general development pattern of the area.
- 4. Key requirements for granting the variances have not been demonstrated. There appears to be no unavoidable hardships, site-specific issues or siting errors causing undue hardship that prevents compliance with the existing Land Use Bylaw regulations.

Alternatives / Implications:

That CISG approves Development Permit PL2401878 subject to conditions and notations provided in Attachment 6, or with other such conditions as the Commission deems appropriate.

Under this alternative, the application would allow the Accessory Building to be developed in accordance with the recommended conditions, including the variances to the building area and building height.

Budget Implications:

N/A

Communications and Engagement:

The decision of the Community Infrastructure and Strategic Growth Committee will be advertised on the City website for twenty-one days and in the local newspaper, in accordance with the requirements of the Land Use Bylaw and the Public Advertising

Bylaw. Additionally, as a Discretionary Use, a notification letter will be sent to all adjacent landowners.

Recommendation:

That the Community Infrastructure and Strategic Growth Standing Committee refuses Development Permit PL2401878.

Geoff Rice Planner I

Staff Presenter: Geoff Rice External Presenter: N/A

Department: Current Planning

Reviewed by: Stephen Utz, Director, Strategic Growth &

Investment

Attachments: #1: Site Location and Adjacent Land Uses

#2: Application Summary and District Standards

#3: Accessory Building Regulations #4: Application and Drawings

#5: Reference Images

#6: Standard Conditions of Approval for Accessory

Buildings

SUBJECT SITE



ADJACENT LAND USES



APPLICATION DETAILS

Development Permit Number PL2401878 (Detached Garage)

Applicant: Mark Scheck

Landowner: Mark Scheck

Legal Description: Lot: 15, Block: 5, Plan: 2312007

Civic Address: 13 Willow Green SW

Proposed Use: Accessory Building (Detached Garage)

Land Use District: R1-U Urban Standard Residential District

Community: Wildflower

Lot Size: 669.75 sqm

Variances: Minor Variance to Accessory Building Coverage (19.3%)

Minor Variance to Accessory Building Height (13.7%)

District Standards

8.5.5 R1-U, Urban Standard Residential District

Purpose and Intent

The purpose of this district is to provide for residential development in the form of single detached dwellings on narrow lots with front-attached garages. This district is intended to accommodate a range of small lot building typologies, including both wide/shallow and narrow/deep configurations that still maintain minimum standards of the Bylaw for streetscape design, landscaping, and amenity area.

Permitted Land Uses	Discretionary Land Uses
Dwelling, Single Detached	Dwelling, Garage Suite
Dwelling, Secondary Suite	Bylaw B-30/2024
Bylaw B-30/2024	Home Business, General
Accessory Building	Supportive Housing,
Home Business, Limited	Limited
Child Care, Limited	Urban Agriculture
	Bylaw B-08/2021

Note 1: All land uses are subject to general and usespecific regulations and standards provided in Parts 6 and 7 of this Bylaw.

Development Dimensions

Minimum Dimensions		
Lot/Unit Type	Area	Width (2)
District Standard		
- Recessed Garage	240m²	9.4m
- Projecting Garage (3)	280m²	9.7m
Corner Lot	300m²	11.0m

Minimum Required Setbacks		
Front Yard (4)	3.0m	
Side Yard (5)	1.2m	
Side Yard, Corner	3.0m	
Rear Yard (6), (7)	8.0m	

Massing and Coverage		
Maximum Building Height	11.0m	
Maximum Site Coverage	55% of Lot	
	Area	
Minimum Landscaping	30% of Lot	
30 750	Area	
Minimum Private Amenity Area (8)	60m² per	
20 5/8	Lot	
	Bylaw B-31/2023	

Development Standards

- (1) Signs in this district shall be regulated in accordance with Table S.01
- (2) Notwithstanding the Development Dimensions listed above, no lot shall be created with a Site Frontage less than 6.0m.
- (3) Within this district, a "projecting garage" is where the front face of the garage projects towards the street and is closer to the street than the entry for the dwelling, comprised of the face of the dwelling unit, door, and adjoining porch. A "recessed garage" is where the front face of the garage is level with or recessed behind the entry for the dwelling.
- (4) Notwithstanding the minimum required front yard setback, some lot or building configurations may require a larger setback in order to maintain clearance from any Utility Right of Ways in the front yard, or to accommodate the required 6.0 metre setback from the face of a garage door to the back of sidewalk, or back of curb on streets where no sidewalk is provided (outlined within Section 7.12 (Driveways and Parking Areas)).
- (5) Notwithstanding the minimum required setbacks listed above, one interior side yard on a lot is permitted to be reduced to 0.6m where the adjoining side yard on the adjacent lot provides a setback of at least 1.2m.
- (6) Notwithstanding the minimum required setbacks listed above, the minimum rear yard setback may be reduced by up to 0.5m for each corresponding 0.305m (1 foot) increase to the lot width above the minimum requirements listed in the dimensions table above. The minimum required rear yard setback cannot be reduced in this way to any less than 5.5m.
- (7) Notwithstanding the provisions of **Section 7.25** (Projections and Encroachments), a deck in the rear yard shall not be permitted to extend into the required rear yard setback in a manner that reduces the remaining rear yard to less than a minimum of 3.0 metres (measured from the edge of the deck to the rear property line).

- (8) In addition to the requirements outlined in Section 7.4 (Decks and Amenity Areas), the amenity area required in this district shall be provided as one contiguous area with a minimum dimension of at least 5.5m. The overall amenity space may be split for different uses and functions (e.g. a raised deck and yard) as long as both are part of the same contiguous area.
- (9) Notwithstanding the standards outlined in Section 7.15 (Garage and Carport Requirements), up to 35% of the lots within a subdivision phase are permitted to be designed with a width of less than 10.36m and accommodate a 6.1-metre-wide garage, provided that:
 - (a) Any such lots are interspersed within the subdivision to the satisfaction of the Development Authority;
 - (b) The width of any such lots is not less than the minimum that would be applied by the District Standard under the Minimum Dimensions listed above;
 - (c) Any additional lots less than 10.36m wide shall be developed in accordance with the regulations in Section 7.15 (Garage and Carport Requirements) unless otherwise approved through a Development Permit issued by the Development Authority, and;
 - (d) For any subdivision less than 10 lots, the application of this standard shall be at the discretion of the Development Authority.
- (10)As part of a Subdivision Application, the applicant shall provide a set of design criteria that would create a streetscape deemed acceptable to the Approving Authority. The design criteria may include part or all of the following elements:
 - (a) Placement of houses with the same elevations and colour treatment next to each other;
 - (b) Separation of identical unit elevations;
 - (c) The intended mix of model types, elevations, and architectural styles;
 - (d) Locating and orientating the front façade wall as close to the front lot line where possible;
 - (e) Ensuring that entry doors are visible from the street;
 - (f) Wrapping façade treatments on corner lots around the side of the building to provide a consistent profile along both facing streets;
 - (g) Consistent treatment of all visible side and rear elevations where they are exposed and visible from a public space, including environmental reserve, school sites, arterial roads (etc.);
 - (h) Compatibility of buildings which are adjacent or opposite one another in massing and height to avoid extreme variation in massing.

The Development Authority may accept these architectural controls or design criteria for multiple subdivision phases or as part of a Neighbourhood Structure Plan.

(11) Notwithstanding the maximum required setbacks listed above, the maximum building height may be increased by up to 0.25m for each corresponding 1.0m increase to the lot width above the minimum requirements listed in the dimensions table above. The maximum building height cannot be increased in this way to any height greater than 12.0m.

> Bylaw B-41/2018 Bylaw B-19/2019 Bylaw B-04/2024 Bylaw B-26/2024

Accessory Building Regulations

6.1 Accessory Buildings

- (1) In Residential Districts:
 - (a) An Accessory Building must not be developed prior to development of the principal building on the same site.
 - (b) Where an Accessory Building, other than a garage, is attached to the principal building by an open or enclosed roofed structure it is considered a part of the principal building and subject to the setback requirements for the principal building.
 - (c) An Accessory Building shall not be used as a residence, or for a Home Business, unless that use is specifically allowed by a provision of this Bylaw and has received a Development Permit.
 - (d) An Accessory Building shall not be located in a front yard.
 - (e) An Accessory Building shall not be located in an interior side yard along the length of the principal dwelling, unless a clear distance of not less than 1.2m is maintained between the Accessory Building and the interior side yard property line.
 - (f) An Accessory Building shall have a residential character and shall be finished in a manner compatible with the character and appearance of the principal building.
 - (g) Garages in residential districts shall also meet all requirements and development standards of the land use district in which it is located, as well as those outlined within **Section 7.15** (Garage and Carport Requirements)
 - (h) Notwithstanding the lists of Permitted and Discretionary Uses provided in any applicable land use district or Direct Control Bylaw, the development of an Accessory Building over 25.0m² in area that would function as an additional garage where a garage already exists shall be considered a Discretionary Use and require a Development Permit application and approval.

Bylaw B-27/2023

- (i) Unless otherwise specified in this Bylaw or by a Development Permit, the maximum height of an Accessory Building is 5 metres, or the height of the principal building on the site, whichever is less.
 - i. The maximum height of an Accessory Building may be extended up to 5.5 metres where it is subject to a Development Permit application, evaluated as a Discretionary Use under the authority of the Development Officer, and has regard to suitable architectural design, building placement, and landscaping to impacts on the surrounding properties to the satisfaction of the Development Authority.
 - ii. The maximum height of an Accessory Building may be extended up to 7.3 metres where it is subject to a Development Permit application, evaluated as a Discretionary Use under the authority of the Planning Commission, and has regard to suitable architectural design, building placement, and landscaping to impacts on the surrounding properties to the satisfaction of the Development Authority.
 - iii. A Development Permit application for ii. above shall include renderings of the proposed building showing how it would be viewed from at least two adjoining properties.

Bylaw B-13/2021

(j) Where an amenity area is provided on the roof of an Accessory Building, it shall meet all of the standards and requirements for amenity area on the roof of Accessory Buildings, as outlined within Section 7.4(5) (Decks and Amenity Areas).

Bylaw B-25/2019

- (k) An Accessory Building in a residential district must meet the following setback requirements:
 - i. Minimum of 3.0m setback from any corner side yard;
 - ii. Minimum of 0.6m setback from any other side yard;
 - iii. Minimum of 0.6m setback from any rear yard;
 - iv. Minimum of 1.0m separation from the principal building on the site;
- (I) Notwithstanding the above setback requirements, where a residential site abuts a lane with a width of 6.7m or less, the Development Authority may require a rear yard setback greater than that listed above in order to achieve a combined distance of 7.3m or greater between the Accessory Building apron and the width of the rear lane.

- (m) Notwithstanding the above setback requirements, garages in residential districts may have one required side yard reduced to 0.0m at the discretion of the Development Authority, where the garage is designed to share a common wall with another garage on the adjacent site.
- (n) The maximum combined coverage of all Accessory Buildings shall not exceed the coverage f the principal building(s) on the lot, and otherwise shall be as outlined in **Table 10** (Accessory Building Coverage), below:

Table 10: Accessory Building Coverage

Lot Area	Calculation
Up to 360m ²	20% of the Lot Area
Above 360m²	20% of the Lot Area for the first 360m ² PLUS 5% of the difference in area above 360m ² Up to a maximum of 90.0m ²

Bylaw B-13/2021

(2) In Rural Districts:

(a) On parcels over 16.0 hectares (40.0 acres) in area that contain an agricultural use, portable cylindrical grain bins and 3-sided stock shelters less than 27.9m² (300 square feet) are not required to meet minimum setback requirements, except no bins or stock shelters shall be placed within 30.0 m (98.4 feet) of a corner of the site that is formed by the intersection of two roads.

(3) In Non-Residential Districts:

- (a) An accessory building must not be developed prior to the issuance of a Development Permit for the principal building.
- (b) An accessory building in a non-residential district is part of a principal use of the site on which it is located, and must be in compliance with the development regulations of the district.
- (c) Accessory buildings shall have the same height limits and setback requirements as for the principal building, unless otherwise specified in the District.
- (d) Notwithstanding the above, accessory buildings shall not be located in front of the principal building(s).
- (e) Fabric Covered Storage Structures are not permitted in a Residential, Mixed Use, Commercial or Office Park Employment District (IB-O), but may be used in other districts, provided the following requirements are met:
 - i. The structure shall not be located in front of the principal building;
 - ii. The structure shall meet the setback requirements of the district and shall be screened and oriented to reduce any visual impacts to the satisfaction of the Development Authority.
 - iii. The structure shall not exceed the maximum height requirement identified for the land use district in which it is located.
- (f) A Fabric Covered Storage Structure proposed in an Industrial District, other than the Office Park Employment District (IB-O), shall be considered an Accessory Building and shall be subject to the issuance of a Development Permit.

Bylaw B-50/2021

- (4) The use of a Shipping Container/Sea Can Storage Container as an Accessory Building:
 - (a) Shall be subject to an application for Development Permit;
 - (b) May only be permitted in industrial, public, and rural districts;
 - (c) Shall meet all provisions outlined in **Section 7.23** (Outdoor Storage).



Development Permit

Application for Development Permit

Property Info	ormation	Application In	fo (for office use only)		
AND DESCRIPTION OF THE PARTY OF	ess (if applicable) 13 Willow Green SW Airdrie AB T4B 5M3 In (all/parts of) 15 05 2312007	DP # Fees \$ Receipt # Approved By Refused By	□ CISG/ □ DO/ □ SDAB	Date	
Description	Detached Garage				
Proposed Use	Personal use	Applicant Name Business Name	Mark SCHECK		
this applica research ar Right of Entite I authorize	mation nsent to the use of information included in tion for promotional purposes, news, ad/or educational purposes. Ty Planning Department staff to access my or the purposes of evaluating this	Name Business Name Mailing Address	City Airdrie Province ALBERTA Postal Code Phone ail (required) Sistered Landowner (if not the applicant) Name Isiness Name		
Name of Applica		City Province Postal Code Phone Email (required)	10 10 10 10 10 10 10 10 10 10 10 10 10 1	1 1 and 1 an	
Signature of Ap		South traffic with			

The Information on this form is collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy Act and the Land Use Bylaw. It is used solely for Planning, Engineering, Economic Development, and Assessment/Taxation purposes. Questions on collecting this information can be directed to the Team Leader, Planning & Development Department at 400 Main Street SE, Airdrie, Alberta, T4B 3C3, telephone 403-948-8832.

See reverse for application requirements



Development Permit

Minimum Application Requirements

Item	Format Requirements		
Application Fee	See the current Planning Fee Schedule		
Authorization Letter	An original letter of authorization from the registered landowner. (if the applicant is not the landowner)		
Certificate of Title(s)	One copy of the property Certificate of Title dated no later than 30 days from the date of the application. For a copy of the Certificate of Title(s), visit the land titles website at www.spin.gov.ab.ca or visit a local registry office.		
Site Plan	 8.5" x 11" or 11" x 17" sized scaled plan showing (dimensions in metric): Legal description, address, legal description, land use designation(s) Coloured Context Plan and rendering Site area, total gross floor area of building(s), gross floor area of bay/unit, coverage of building(s), total lot coverage Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) Building setbacks All easements (i.e., utility rights-of-way) Fencing/gates Garbage enclosure location(s) Lighting location(s) Sign location(s) Bicycle rack location(s) Parking stall locations and number Access points Internal roads, sidewalks, and pathways, etc. Abutting roads, sidewalks, and pathways, etc. 		
Coloured Landscaping Plan	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): • Site area, coverage of landscaping • Number, location, size, height, type of plantings (trees and shrubs) • Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) • Mumber, location, size, height, type of plantings (trees and shrubs) • Berming • Method of irrigation		
Floor Plan(s)	 8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): The layout of the interior and exterior walls and identification of all proposed and existing rooms on all floors (including mezzanine areas), their uses, floor area, and TOTAL floor area. All doors, stairs, and window locations. 		
Coloured Elevation Plan(s)	 8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): All sides, including a description of the exterior finishing materials and Fascia sign details (if any). 		
DSSP	Engineered stamped scaled drawing set, including: Site Servicing Plan Grading Plan Stormwater Management Plan (and calculations) Erosion and Sediment Control Plans		

The above list is a generalized list of requirements. The Development Authority may require additional information (see Land Use Bylaw No. B-01/2016).

City of Airdrie - Planning & Development

400 Main ST SE, Alrdrie, AB T4B 3C3 | Phone: 403-948-8832 | Email: planning@airdrie.ca



LAND TITLE CERTIFICATE

S

LINC

SHORT LEGAL

0039 659 115 2312007;5;15

TITLE NUMBER 241 125 726

LEGAL DESCRIPTION

PLAN 2312007

BLOCK 5

LOT 15

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;1;27;10;SE

MUNICIPALITY: CITY OF AIRDRIE

REFERENCE NUMBER: 231 312 781 +42

REGISTERED OWNER(S)

REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION

241 125 726 21/05/2024 TRANSFER OF LAND \$822,144 SEE INSTRUMENT

OWNERS

MARK SCHECK

AND

ERIN SCHECK

BOTH OF:

13 WILLOW GREEN SW

AIRDRIE

ALBERTA T4B 5M3

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

231 312 784 12/10/2023 UTILITY RIGHT OF WAY

GRANTEE - THE CITY OF AIRDRIE.

AS TO PORTION OR PLAN: 2312008

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2 # 241 125 726

REGISTRATION			
NUMBER	DATE	(D/M/Y)	PARTICULARS

231 312 787 12/10/2023 CAVEAT

RE : EASEMENT AND RESTRICTIVE COVENANT

231 312 788 12/10/2023 RESTRICTIVE COVENANT

231 368 620 29/11/2023 ENCUMBRANCE

ENCUMBRANCEE - 1811126 ALBERTA LTD.

2500, 450 - 1 STREET S.W.

CALGARY

ALBERTA T2P5H1

241 125 727 21/05/2024 MORTGAGE

MORTGAGEE - THE TORONTO DOMINION BANK.

500 EDMONTON CITY CENTRE EAST 10205-101 STREET NW, 5TH FL

EDMONTON

ALBERTA T5J5E8

ORIGINAL PRINCIPAL AMOUNT: \$675,000

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 28 DAY OF AUGUST, 2024 AT 10:20 A.M.

ORDER NUMBER: 51467344

CUSTOMER FILE NUMBER:

A COUNTY OF THE PARTY OF THE PA

END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).







13 Willow Green SW Airdrie, AB T4B 5M3



DATE:

1/18/2025 SCALE:

SHEET:

A-1



General Notes:

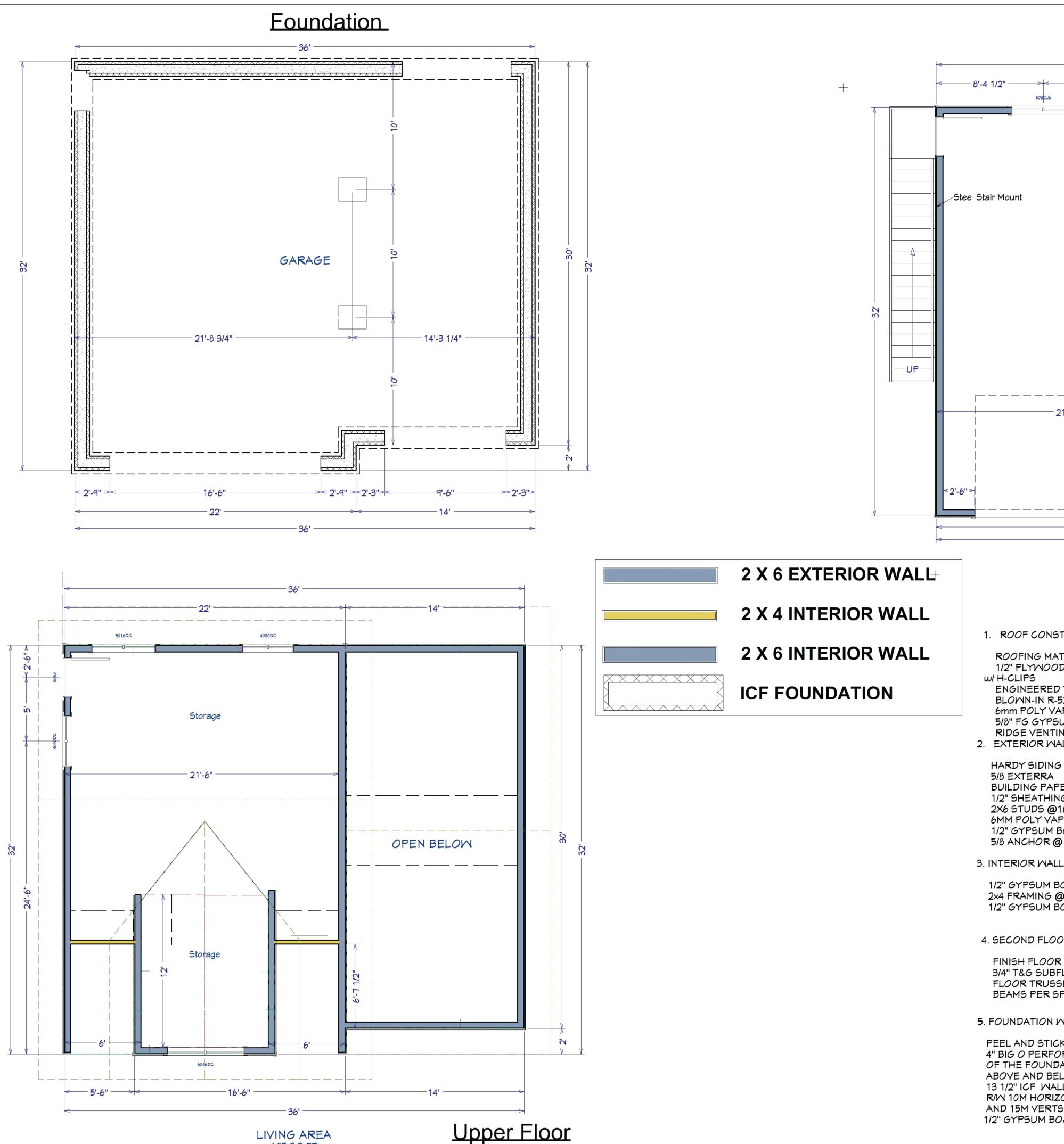
THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, AND ENGINEERING PACKAGES PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL BUILDING CODES AND LOCAL CODES.

CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. IT IS UPON THE BUILDER OR CONTRACTOR TO CONSTRUCT ALL STRUCTURES TO THE FEDERAL AND/OR MUNICIPAL BUILDING CODE.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE

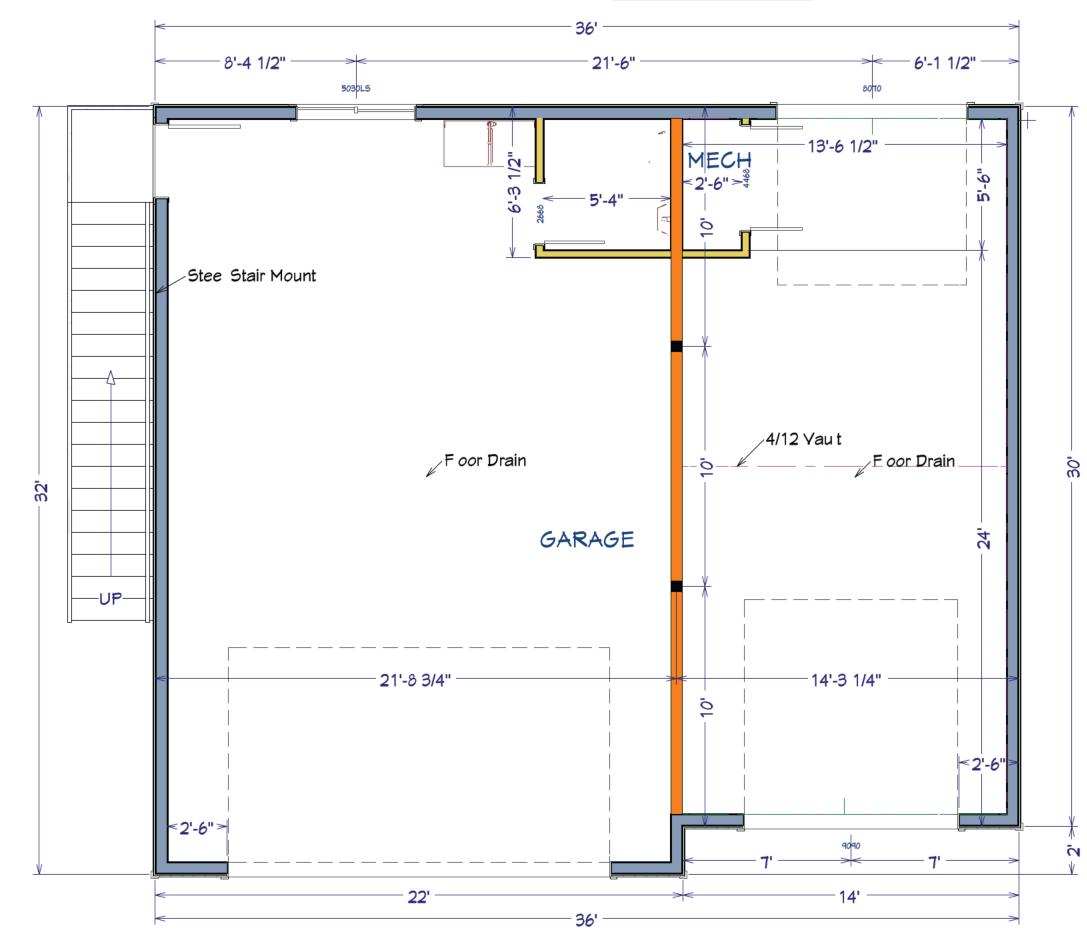
DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Non structura components of the house exter or may not ook as dep cted, this is a just a visual ustration.



605 SQ FT

Main Floor



LIVING AREA 1118 SQ FT

1. ROOF CONSTRUCTION

ROOFING MATERIAL 1/2" PLYWOOD OR 7/16 OSB SHEATHING w/ H-CLIPS ENGINEERED TRUSSES @ 24" olc

BLOWN-IN R-52 INSULATION 6mm POLY VAPOR BARRIER 5/8" FG GYPSUM BOARD RIDGE VENTING 2. EXTERIOR WALL

5/8 EXTERRA BUILDING PAPER 1/2" SHEATHING 2X6 STUDS @16" OIC, CIW R-22 BATT INSULATION 6MM POLY VAPOR BARRIER 1/2" GYPSUM BOARD 5/8 ANCHOR @ 36" O/C - 4" EMBEDMENT

3. INTERIOR MALL

1/2" GYPSUM BOARD 2×4 FRAMING @ 16" O/C 1/2" GYPSUM BOARD

4. SECOND FLOOR CONSTRUCTION

FINISH FLOOR 3/4" T&G SUBFLOOR FLOOR TRUSSES WITH ENGINEERED BEAMS PER SPEC

5. FOUNDATION MALL

PEEL AND STICK MEMBRANE TO GRADE 4" BIG O PERFORATED PIPE AROUND THE PERIMETER OF THE FOUNDATION. MIN 6" WASHED ROCK ABOVE AND BELOW THE PIPE 13 1/2" ICF WALL W/ 8" CONCRETE R/W 10M HORIZONTAL REBAR ON 16" CENTERS AND 15M YERTS ON 24" CENTERS 1/2" GYPSUM BOARD

6. CONCRETE FOOTING

MIN. 20" × 8" CONC. STRIP FOOTING 2 15MM CONTINUOUS REBAR **ALL FOOTING TO BE ON UNDISTURBED SOIL OR REINFORCE AS REQUIRED

7. WEEPING TILE

6" WASHED ROCK OYER 4" DIA. WEEPING TILE FOUNDATIONS MUST BE DRAINED

8. FASCIA

PREFINISHED ALUMINUM FASCIA ON 2×6 NAILER c/w PREFINISHED ALUMINUM VENTED SOFFIT

9. CEILING SPACE

INSULATION STOPS IN EACH TRUSS SPACE c/w 1" AIR SPACE ROOF YENTS TO PROVIDE 1 SQ. FT. YENTING PER 300 SQ. FT. OF INSULATED CEILING AREA

10. GARAGE FLOOR

4" CONCRETE GARAGE SLAB 30 MPA R/W 10mm REBAR 16" OC MIN. 8" COMPACTED FILL 3" SLOPE TO FRONT OR CENTER RUN FLOOR OVER BUCKS

DATE:

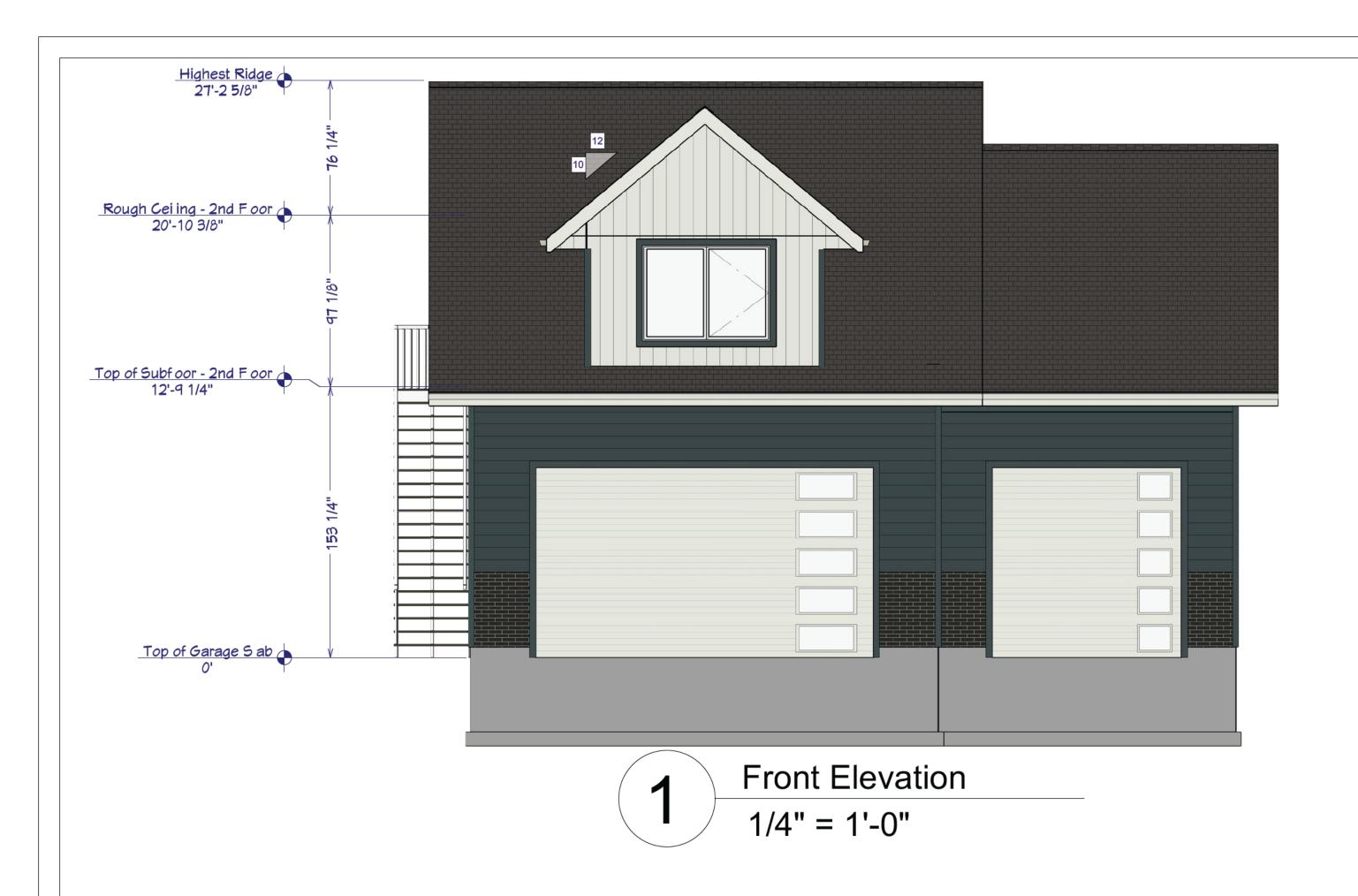
1/18/2025

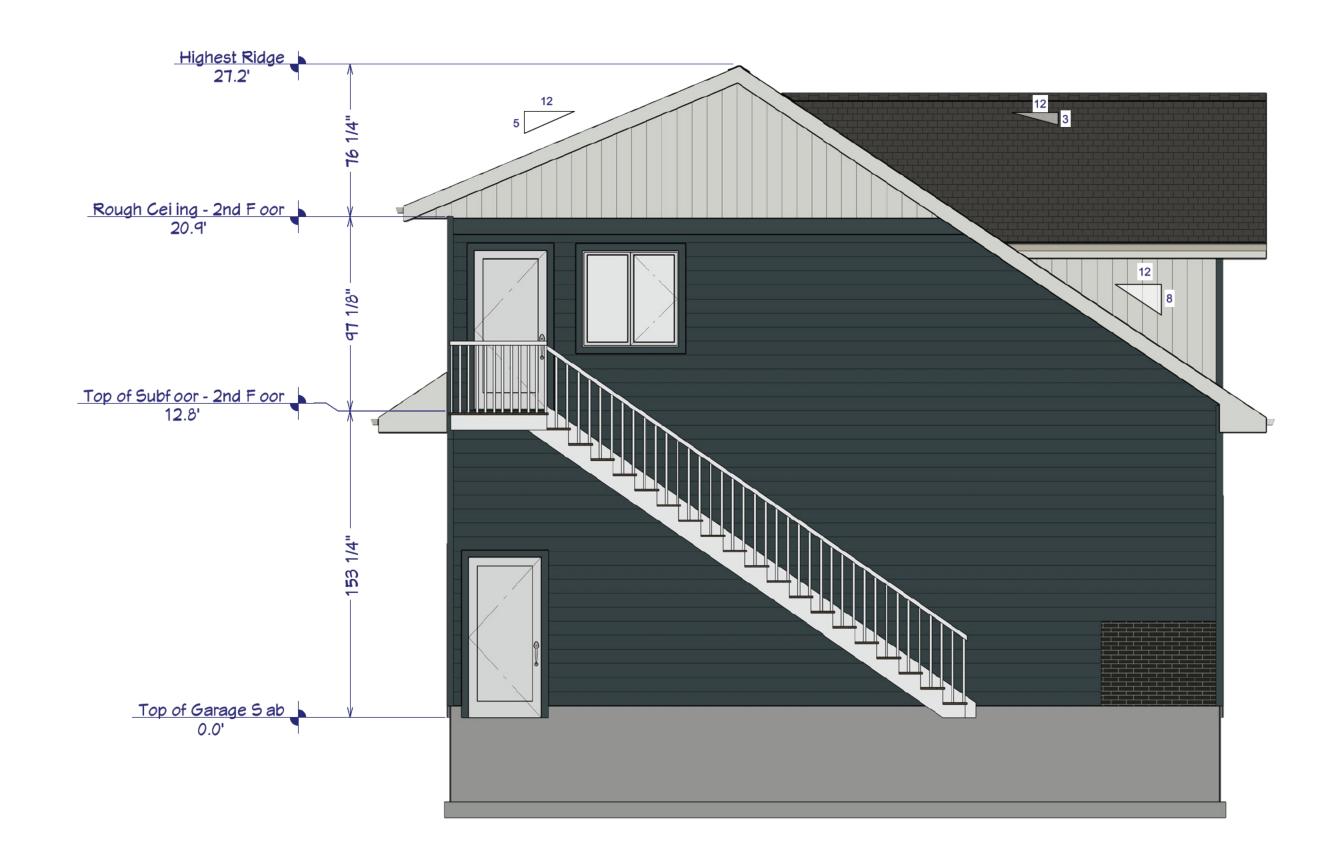
SCALE:

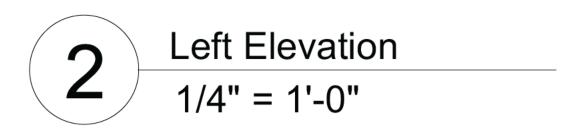
SHEET:

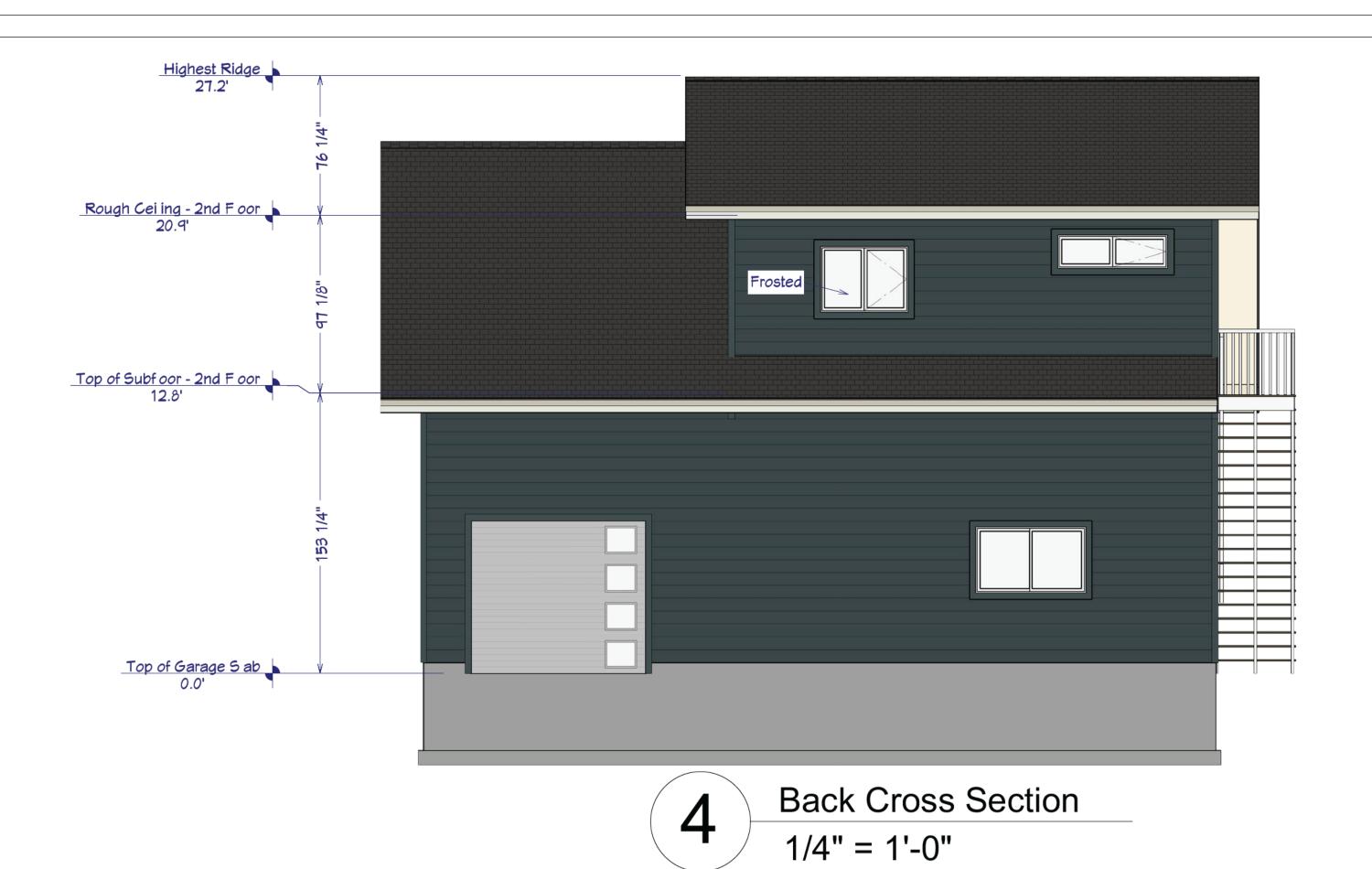
1/4"= 1'

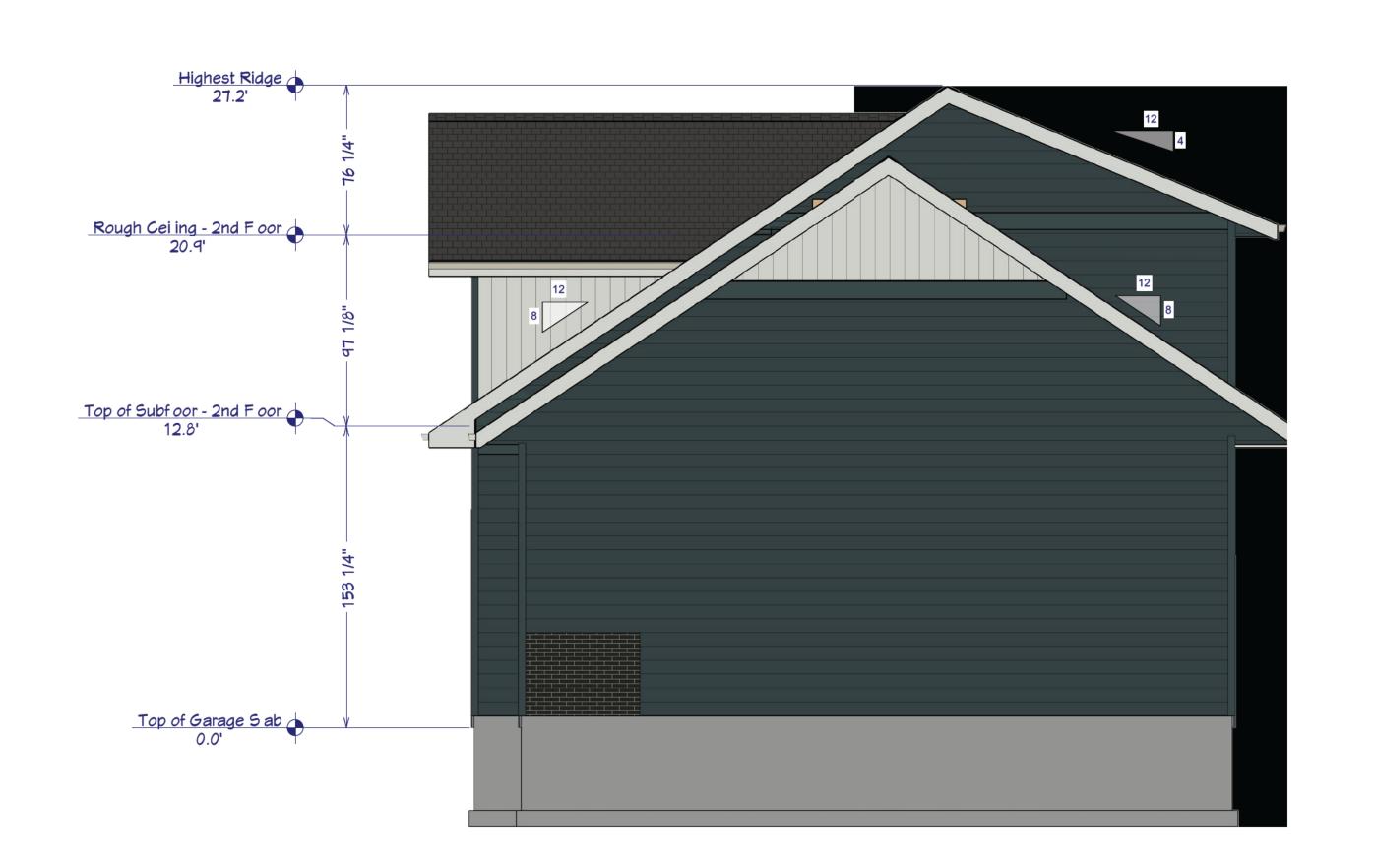
A-2

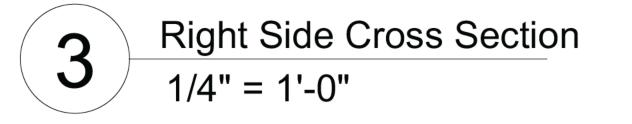












Scheck

Permit Plan

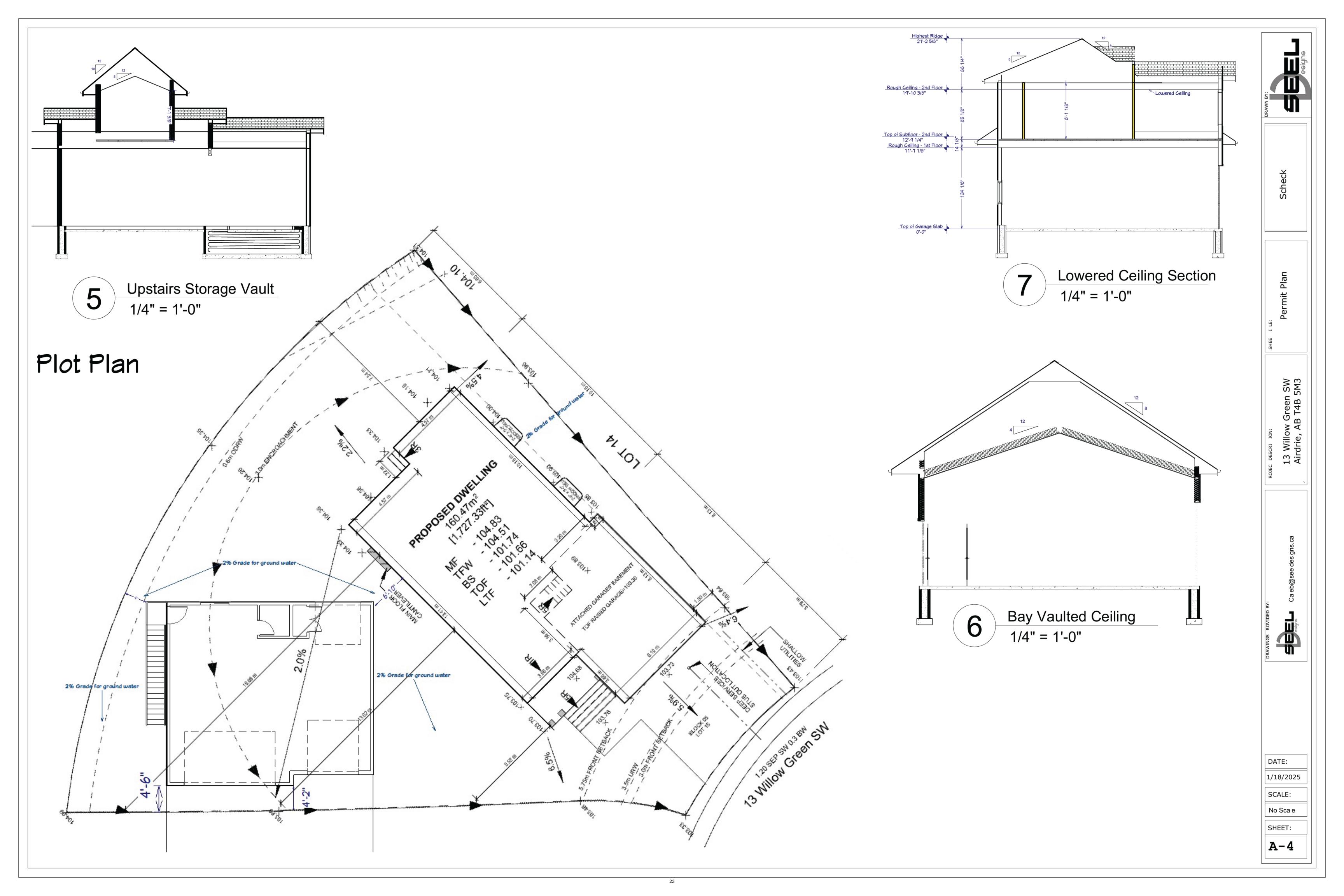
13 Willow Green SW Airdrie, AB T4B 5M3

Ca eb@see des gns.ca

DATE: 1/18/2025 SCALE: 1/4"= 1'

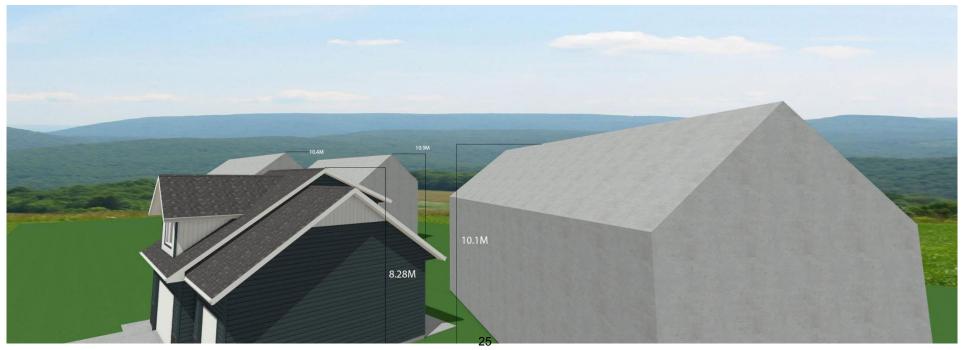
A-3

2:









REFERENCE IMAGES











CONDITIONS OF APPROVAL & ADVISORY COMMENTS

Conditions of Approval

- This development permit authorizes the development of a which is an Accessory Building (Detached Garage) in the R1-U, Urban Standard Residential District, on the lands legally described as Lot 15, Block 5, Plan 2312007.
- 2. All development, including the location, orientation, capacity, intensity, and use of buildings and any landscaping and site improvements, must be completed in accordance with Approved Plans.
- 3. Any changes to the design, format, location, orientation, capacity, intensity or use of any part of the development requires approval by the Development Authority.
- 4. All development must be carried out in accordance with the Land Use Bylaw and the Engineering Standards.
- 5. The Accessory Building Coverage is varied by 19.3 %, from 87.49 sq. m. to 104.36 sq. m.
- 6. The Accessory Building Height is varied by 13.7 % from 8.3 m. to 7.3 m.
- 7. The area around the construction site shall be kept clear of equipment and debris, and construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.

Advisory Comments

- a) It is the responsibility of the applicant/owner to meet all conditions of approval.
- b) All contractors working on this development may require a valid Airdrie Business License prior to the commencement of any work and must maintain the license for the full duration of the construction period.
- c) All other necessary permits and inspections are the responsibility of the applicant including, but not limited to, Building Permits and Fire Approval and shall be submitted to the City as required.
- d) Please contact the Building Department at 403-948-8832 and/or the Fire Department at 403-948-8880.
- e) The allocation of parking stalls between tenants is the responsibility of the landowner.
- f) The Developer is responsible for complying with all relevant municipal, provincial, and federal legislation.
- g) The Developer shall contact utility providers (gas, electric, telecommunications) and arrange for utilities to be installed or relocated in accordance with the utility provider requirements, at the Developer's sole cost.



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH – AGENDA REPORT

Meeting Date: 8 April 2025

Subject: Development Permit PL2500245

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2500245, an application for four illuminated fascia signs and one illuminated Roof Sign.

Policy / Council Direction:

Council adopted a governance structure empowering the Community Infrastructure and Strategic Growth Committee (CISG) to act as the Development Authority, for making decisions on development permits application for Illuminated (Backlit) Roof Sign within the IB-1 Mixed Business/Employment District.

Background:

Venue Church has applied for a development permit for five illuminated signs. Four of the signs are considered fascia signs and one of the signs is categorized as a roof sign. Two of the fascia signs will be affixed to the front face of the building while two other signs will be affixed to the rear of the building. The roof sign will be attached to the front face of the parapet on the roof of the building. These signs are needed to support the new location of Venue Church, which was previously located at 2920 Kingsview Boulevard SE.

The subject property is located at 104, 2926 Kingsview Boulevard SE. within the community of Kings Heights and is districted IB-1 Mixed Business / Employment District. The surrounding properties to the north, south and west are districted IB-1, while the properties to the east are districted R2 Low Density Residential District.

The purpose and intent of the IB-1 district is to accommodate a range of small to mediumscale employment uses providing employment opportunities and potential transition between other land use districts. This district is intended to promote flexibility in small-tomedium scale land uses.

Fascia Signs

Two of the fascia signs at the front of the building face west towards Kings Heights Boulevard. One provides direction to the entrance at the rear of the building, and the other displays the Church's logo. The third and fourth fascia signs are attached to the rear of the unit facing east. One of these signs is a duplicate of the roof sign, and the other is an entrance sign.

Fascia Signs are defined as signs that are painted on or attached to the exterior face of a building. They run parallel to a building face, not projecting more than 0.3m out from the wall.

Roof Signs

Under Section 5.79, Table S.09, Illuminated (Backlit) Roof Signs are categorized as a Discretionary Use and require approval from the Community Infrastructure and Strategic Growth Committee.

A Roof Sign is defined as any sign that is erected upon, against, or directly above a building's roof. This classification also extends to signs placed above a building's parapet. The term 'Illuminated Backlit' refers to the sign's lighting method. The Roof Sign will face west towards the Kingsview Boulevard and will read "Venue Church". The letters will be acrylic and internally luminated by LED. Each channel letter will be mounted on a raceway. The sign will measure 9.65m in width and 1.27m in height, with a total sign area of 12.26m². The sign will project 0.13m from the face of the parapet.

Land Use Bylaw Review

As per Section 5.8 (4): (a), Roof Signs, where permitted, are intended to represent an enhancement to the architectural form and character of the building, to the satisfaction of the Development Authority. The proposed sign details are below:

Sign Details

Sign Location Requirements		Proposed
Number of Signs	1 Per Building	1 Above Unit
Clear Height	N/A	N/A
Clear Pedestrian Space	N/A	N/A
Projection	Up to 1.0m From Building Foundation	Does Not Project Past Foundation
Setback From Property Line	N/A	N/A
Separation from Building Entrance	N/A	N/A
ROW Encroachment	None Permitted	Does Not Encroach

Sign Requirements				
Sign Area	At the Discretion of the Development Authority	12.26 m²		
Sign Height	At the Discretion of the Development Authority	1.27 m		
Sign Width	At the Discretion of the Development Authority	9.65 m		
Copy Area	At the Discretion of the Development Authority	12.26 m²		

In reviewing an application for a Roof Sign, the Development Authority shall consider the compatibility with surrounding development and alignment with Land Use Bylaw Section 5.1, the Purpose and Intent of Sign Regulations and the district where it is located.

Businesses across the street from the sign's location and drivers along Kings Heights Boulevard would be the most impacted if the sign emits excess of visible light.

Illumination Standards

Illumination levels of the sign have been designed to not exceed 7,500 Nits from sunrise to sunset and 500 Nits from sunset to sunrise in accordance with the illumination requirements of the Land Use Bylaw.

Administration Recommendation:

That CISG accepts Administration's recommendation to approve development permit PL2500245 with the conditions and notations outlined in Attachment 6.

Planning Rationale:

- The proposed roof sign meets all regulations of Land Use Bylaw B-01/2016 and in the opinion of Administration is in keeping with the purpose and intent of the sign regulations as well as the purpose and intent of the IB-1 Mixed Business/Employment District.
- 2. The proposed signs do not appear to unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment, or value of neighbouring parcels of land.

Alternatives / Implications:

- 1. CISG could choose to accept Administration's recommendation for approval with amendments to the development permit conditions (Attachment 6).
 - The implication is CISG agrees with Administration's recommendation but have amendments to the conditions.

Budget Implications:

N/A

Communications and Engagement:

Public Notification of the development will be provided on the City of Airdrie's Notice of Development webpage for 21 days and in the City Connection newspaper, in keeping with the City's Public Notification Bylaw No. B-02/2019. The Development Authority will directly notify adjacent landowners.

Recommendation:

That the Community Infrastructure and Strategic Growth Standing Committee approves Development Permit PL2500245 to allow for the development of the signs as per the conditions and notations outlined in Attachment 6.

> Geoff Rice Planner I

Staff Presenter: Geoff Rice External Presenter: N/A

Department: **Current Planning**

Reviewed by: Stephen Utz, Director, Strategic Growth &

Investment

Attachments: #1: Site Location and Adjacent Land Uses

#2: Application Summary and District Standards

#3: Sign Drawings #4: Sign Regulations #5: Reference Images #6: Conditions of Approval

SUBJECT SITE



ADJACENT LAND USES



APPLICATION DETAILS

Development Permit Number PL2500245 (Roof Sign, Fascia Signs)

Applicant: Scott Werenka

Landowner: Venue Church

Legal Description: Lot:, Block: 6, Plan: 1311298

Civic Address: 104, 2926 Kingsview BV SE

Proposed Use: Roof Sign and Fascia Signs

Land Use District: IB-1, Mixed Business/Employment District

Community: Kings Heights

Lot Size: 1326.6 sqm

Variances: None

8.5.23 IB-1, Mixed Business/Employment District

Purpose and Intent

The purpose of this district is to accommodate a range of small to medium-scale employment uses providing employment opportunities and potential transition between other land use districts. This district is intended to promote flexibility in small-to-medium scale land uses.

Permitted Land Uses	Discretionary Land Uses
Animal Service, General	Accessory Building
Animal Service, Limited	Animal Service, Major
Business Support Service	Cannabis Facility, Limited
Data Centre	Cannabis Retail
Bylaw B-13/2021	Bylaw B-62/2021
Financial Service	Child Care, General
Health Care, Limited	Bylaw B-31/2023 Commercial School
Indoor Recreation, Limited	
Microbrewery	Community Service Facility Drive-Through
Office	Educational Institution, Private ²
	Entertainment, Gaming
Public Assembly, General	Entertainment, Ganning
Public Assembly, Limited	Government Service
Restaurant	Health Care, General
Vehicle Service, Limited	Hotel
	Indoor Recreation, General
	Industrial Manufacturing, Limited
	Bylaw B-13/2021
	Industrial Service & Sales
	Motel
	Nightclub
	Pawn Shop
	Personal Service
	Public Assembly, Major
	Retail Store, Convenience
	Retail Store, Liquor
	RV Sales & Service ³
	RV Storage ³
	Security Suite
	Temporary Event
	Vehicle Sales & Leasing
	Vehicle Service, General
N I w AUI J	Warehouse Sales

Note 1: All land uses are subject to general and use-specific regulations and standards provided in Parts 6 and 7 of this Bylaw. Note 2: Limited to specific properties as shown on Diagram 12. Note 3: Limited to specific properties as shown on Diagram 13.

Bylaw B-36/2008

Site Dimensions	
Per Development Site	
Minimum Site Area	4,000m²
Maximum Site Area	2.0 Hectares
Minimum FAR	0.2

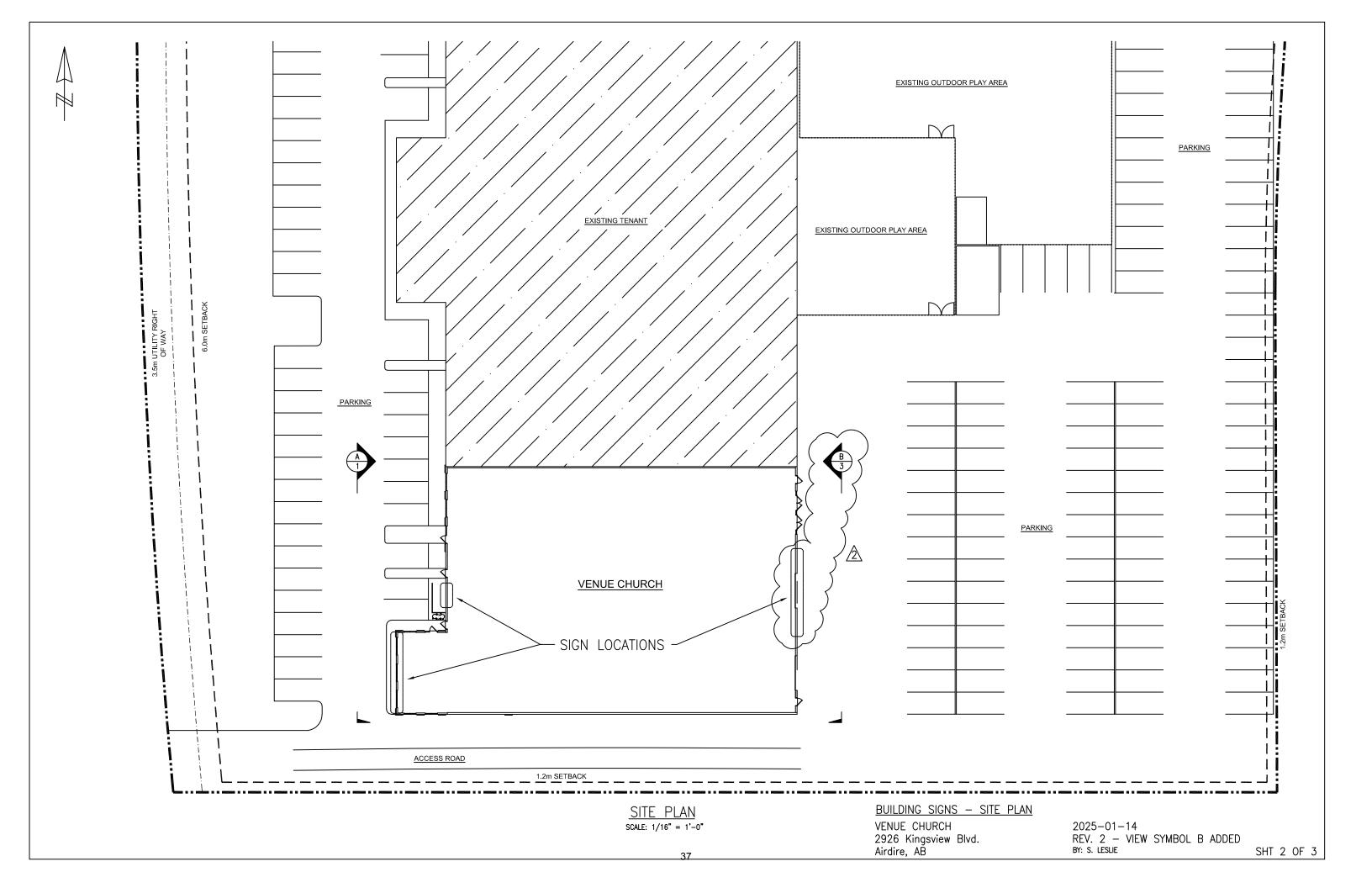
Maximum Floor Area	
Retail Uses	930m²
All Other Land Uses	2,300m²

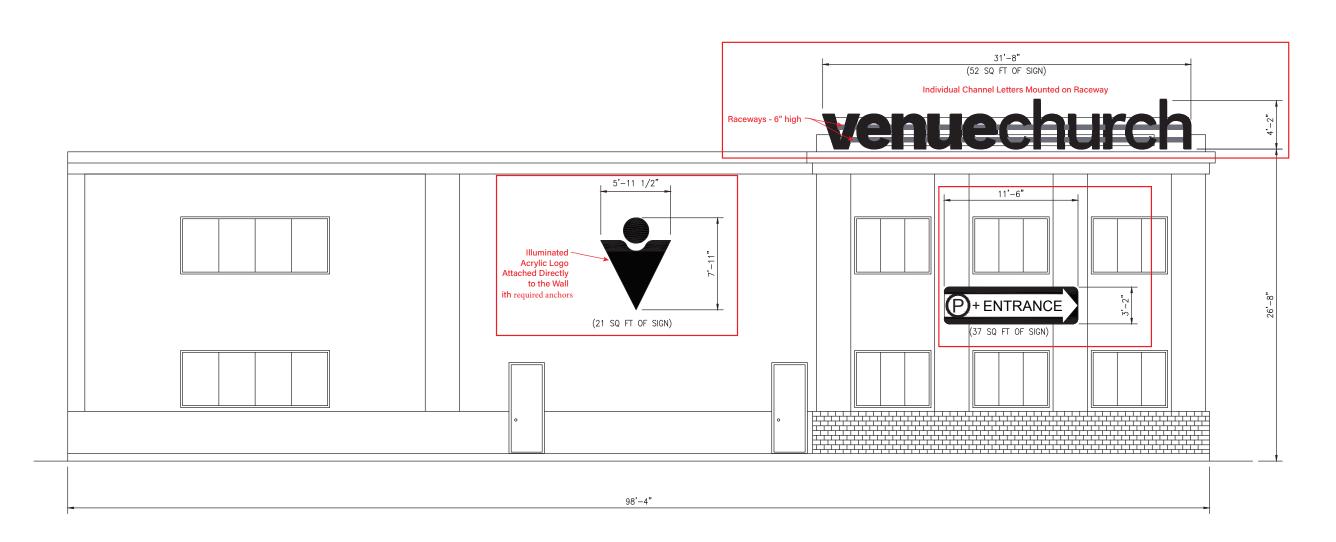
Required Setbacks	
Minimum Exterior Setback	6.0m
Minimum Interior Setback	N/A
Min. Building Separation	2.0m

Massing and Coverage	
Maximum Building Height	
- Hotels	26.0m
- All other uses	18.5m
Maximum Building	65% of Site Area
Coverage	
Minimum Landscaping	10% of Site Area

Development Standards

(1) Signs in this district shall be regulated in accordance with Table S.09





WEST ELEVATION

SCALE: 1/4" = 1'-0"

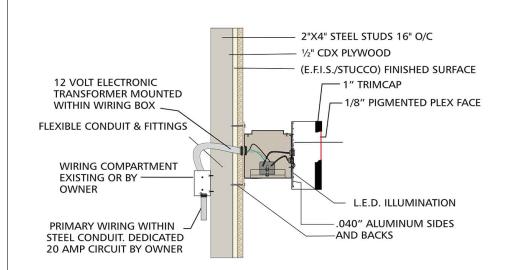
BUILDING SIGNS

VENUE CHURCH 2926 Kingsview Blvd. Airdire, AB

2025-01-14 s. leslie

1-FASCIA SIGNS FOR VENUE CHURCH Raceway - 375"x 6" Raceway - 370"x 6" 34.5 in

380 in



71.2 in

Specifications;

6" x 375" raceway painted satin grey

6" x 370" raceway painted satin grey

All power supplies and electric inside top raceway 3.5" returns painted Cool Grey 7C

1" White trim cap

3/16" White acrylic faces, no vinyl applied to faces 0.40 aluminum backer

39

RGB LED's

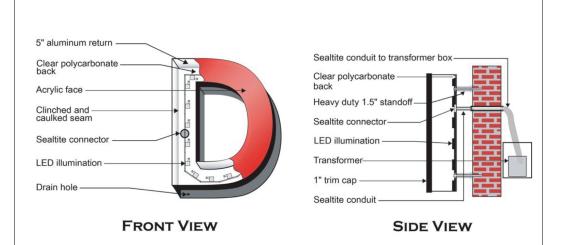
Power holes in top raceway

2- Illuminated logo for VENUE CHURCH "X4" STEEL STUDS 16" O/C **GAVANIZED STEEL** WALL SUFACE 1/2" CDX PLYWOOD (E.F.I.S./STUCCO) FINISHED SURFACE 1/8" PIGMENTED PLEX FACE 2 12 VOLT ELECTRONIC 3/8" X 2 1/2" LAG SCREWS TRANSFORMER MOUNTED (3 CONNECTIONS PER WITHIN WIRING BOX LETTER MINIMUM) SHUT OFF SWITCH LIQUATITE" FLEXIBLE WIRING COMPARTMENT CONDUIT & FITTINGS L.E.D. ILLUMINATION PRIMARY WIRING WITHIN 040" ALUMINUM SIDES STEEL CONDUIT. DEDICATED AND BACKS 20 AMP CIRCUIT BY OWNER

3-ENTRANCE SIGN **ENTRANCE** .75 3 104.75 in Aluminum Halo Lit Channel Letters, 3" returns, 1.5" Stud Mount.

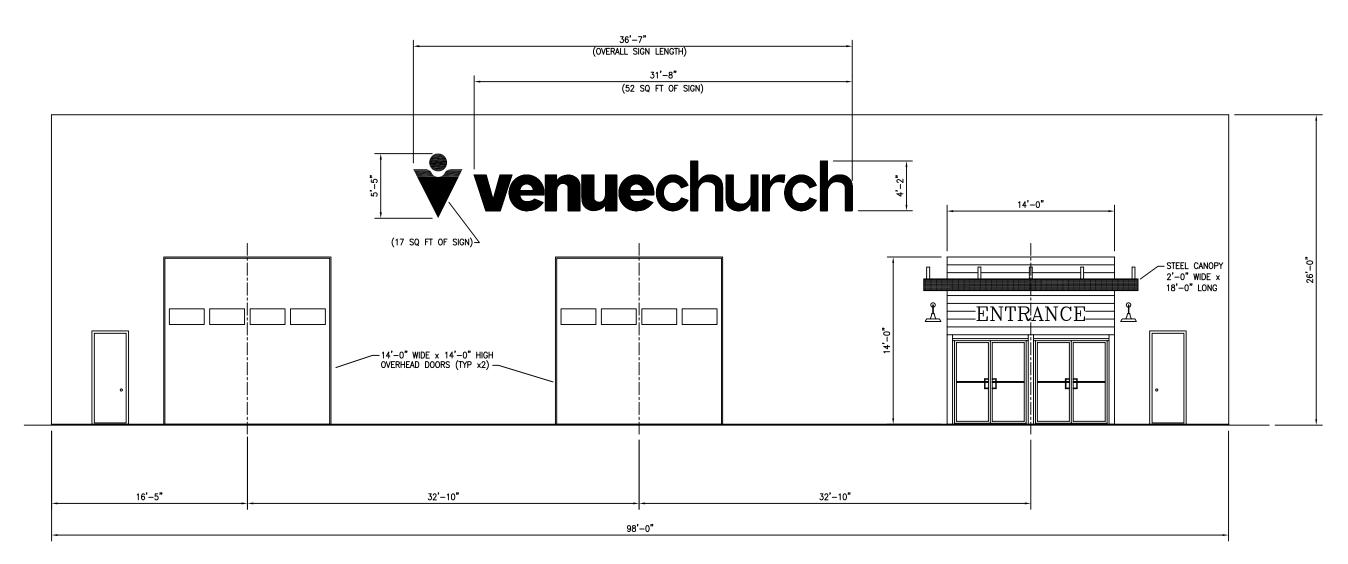
50 in

36





EAST SIDE OF BUILDING = 2548 SQ FT (TOTAL)
ALL 2 SIGNS = 69 SQ FT (TOTAL)



VIEW B — EAST ELEVATION

SCALE: 1/4" = 1'-0"

BUILDING SIGNS - EAST ELEVATION

VENUE CHURCH 2926 Kingsview Blvd. Airdire, AB 2025-03-04 REV. 1 BY: S. LESLIE

SIGN REGULATIONS

5.7.9 Table S.09

Districts	IB-1	IB-3	
	IB-2		

Signs Permitted

olgina i cililitica	Sign Purpose						
Sign Form	Standard	Community Identification	Construction	Development Market/Direct	Election	Limited Use	Real Estate
Building Signs							
Awning Sign	Р	D					
Fascia Sign	Р	D	D	D	Е	Р	E
Projecting Sign	D						
Roof Sign	М	М					
Window Sign	Դ		Р	Р	Е	Р	Е
Freestanding Sig	ns						
A-Frame Sign	Ը			Р	Е	Р	Е
Billboard Sign	М						
Lawn Sign	Р		Е		Е	Р	E
Monument Sign	Р	Р					
Portable Sign			D	D		P ⁴	
Pylon Sign	Р			D			
Other Sign Types	Other Sign Types						
Banner Sign	D		D	D		D	
Mounted Sign	Р		Р	Р	Е	Р	Е
Specialized Sign	D						

Sign Features					
+Changeable Copy	+Digital Media	+Illuminated (Backlit)	+Illuminated (Exterior)	+Rotating	+Third-Party Advertising
D		М	D		
D D	М	P	P D M		
D	M M	D	D		
		М	M		
Р	Р	M P			
Р					
P M P D			М		M ³
P					
D	М	D	Р		
D	М	D	Р	М	М
			М		
	D.d.	D.4		D.4	
М	М	М	М	M	М



E	Exempt from Development Permit Application	
Р	Permitted	
D	Discretionary	
М	Requires MPC Approval	
	Not Permitted in this District	

Sign Regulations & Standards

- (1) All signs and sign features are subject to the regulations and standards provided in Part 5.
- (2) Additional regulations or standards may apply to Special Purpose Signs (e.g. Construction signs, Real Estate signs, etc.) which supersede this table. Refer to Sections 5.8 and 5.9.
- (3) Billboards with Third-Party Advertising are limited to specific locations (see **Map 2**, Permissible Billboard Locations).

Sign Definitions

Roof Sign means:

Any sign erected upon, against, or directly above a roof of a building. This also may include a sign placed above the parapet of a building;

(4) Roof Sign

Sign Location	
Number of Signs	1 per building
Clear Height	N/A
Clear Pedestrian	N/A
Space	
Projection	Up to 1.0m from
	building foundation
Setbacks from	N/A
Property Line	
Separation from	N/A
Building Entrance	
ROW Encroachment	None Permitted

Sign Size	
Sign Area	At the discretion of the
	Development Authority
Sign Height	At the discretion of the
	Development Authority
Sign Width	At the discretion of the
	Development Authority
Copy Area	At the discretion of the
	Development Authority

Sign Regulations

- (a) Roof Signs, where permitted, are intended to represent an enhancement to the architectural form and character of the building, to the satisfaction of the Development Authority.
- (b) Any portion of a Roof Sign that projects beyond the building foundation shall not overhang or project beyond the roof on which it is located.
- (c) No supporting structures shall be visible to the public unless finished in a manner deemed acceptable to the Development Authority.

Fascia Sign means:

A sign that is painted on or attached to the exterior face of a building and runs parallel to a building face, not projecting more than 0.3m out from the wall;

(2) Fascia Sign

Sign Location	
Number of Signs	At the discretion of
	the Development
	Authority
Clear Height	N/A
Clear Pedestrian	N/A
Space	
Projection	0.3m
Setbacks from	N/A
Property Line	
Separation from	N/A
Building Entrance	
ROW Encroachment	None Permitted

Sign Size	
Sign Area	The combination of Fascia sign and Window sign area shall not exceed 20% of the Building Face. In a Multi-Unit Development, this shall apply both to the overall Building Face as well as to each individual unit.
Sign Height	N/A
Sign Width	N/A
Copy Area	N/A

Sign Regulations

- (a) No portion of a Fascia Sign may extend above the roof line of a building.
- (b) Fascia Signs shall have no exposed wiring or bulbs.
- (c) A Fascia Sign attached to an exterior wall shall be safely and securely attached to the building by means of metal anchors, bolts or expansion screws, or similar means, to the satisfaction of the Development Authority.
- (d) For the requirements under this section, the Sign Area for Fascia Signs includes any borders or painted areas around the edges of the sign copy.

5.9.3 Illumination

Where permitted under the associated Land Use District, signs may incorporate illumination features provided that the following standards and requirements are met:

- (1) The Development Authority may specify or restrict the type of illumination (backlit, exterior) subject to the provisions of the associated Land Use District.
- (2) Any sign providing illumination shall be subject to a Development Permit application and must provide photographs or renderings of the sign and proposed illumination.
- (3) The Development Authority may request a photometric plan showing light intensity created from the illumination of the sign and throughout the site to property/boundary lines.
- (4) Any light source, either from an illuminated sign or used to illuminate a sign, must not be oriented so as to direct glare or excessive illumination onto streets or sidewalks in a manner that may distract or interfere with the vision of drivers, cyclists, or pedestrians.
- (5) No illuminated signs may incorporate flashing lights, strobe lights, or other features which would, in the opinion of the Development Authority, be out of keeping with the purpose and intent of the associated Land Use District, impact adjacent properties, or distract or interfere with traffic.
- (6) All illuminated signs shall be shielded in such a manner that no direct glare can be seen from above.
- (7) Electrical power supply to a sign shall be located underground except when a sign is powered by solar energy. The solar power device may be located above ground, provided it is attached to the sign and no wires, cords, or other components of the power supply device are located on the ground further than 0.3 m from the sign structure. All wiring and conduits shall be concealed from view.
- (8) Any sign located within 30 metres of a residence or a Residential District shall not be illuminated between 10:00pm and 6:00am. The Development Authority may also impose additional conditions to mitigate any other effects that the sign may cause on a residential development.
- (9) Any sign illumination must not exceed the following lighting levels:
 - (a) A maximum of 7,500 Nits from sunrise to sunset
 - (b) A maximum of 500 Nits from sunset to sunrise
 - (c) The light levels around the electronic display must not at any time exceed the ambient light level by more than 5.0 LUX

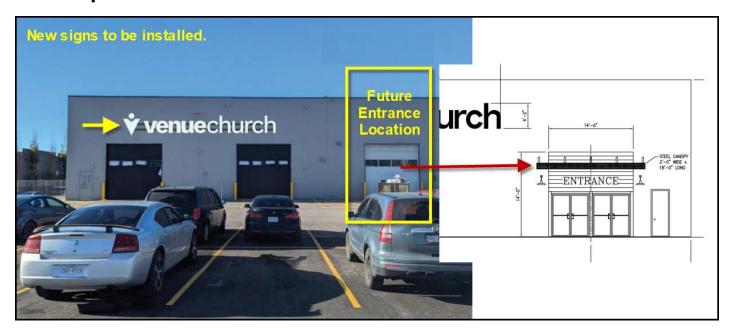
Proposed Front Elevation



Current Front Elevation



Proposed Rear Elevation



Current Rear Elevation



CONDITIONS OF APPROVAL & ADVISORY COMMENTS

- This development permit authorizes the development of ONE (1) Roof Sign (Illuminated Backlit) and FOUR (4) Fascia Signs (Illuminated Backlit) which are a Discretionary Use in the IB-1 Mixed Business/Employment District on the lands legally described as Lot, Block 6, Plan 1311298.
- 2. All development, including the location, orientation, capacity, intensity, and use of buildings and any landscaping and site improvements, must be completed in accordance with Approved Plans.
- 3. Any changes to the design, format, location, orientation, capacity, intensity or use of any part of the development requires approval by the Development Authority.
- 4. All development must be carried out in accordance with the Land Use Bylaw and the Engineering Standards.
- 5. All signs identified in the Approved Plans may be constructed and installed without need of a new Development Permit. All other signage will require a separate Development Permit application and approval prior to placement.
- 6. The Roof Sign illumination must not exceed the following lighting levels:
 - a) A maximum of 7,500 Nits from sunrise to sunset
 - b) A maximum of 500 Nits from sunset to sunrise
 - c) The light levels around the electronic display must not at any time exceed the ambient light level by more than 5.0 LUX.

Advisory Comments

- a) The Developer is responsible for complying with all relevant municipal, provincial, and federal legislation.
- b) All other necessary permits and inspections are the responsibility of the applicant including, but not limited to, Building Permits and Fire Approval and shall be submitted to the City as required. Please contact the Building Department at 403-948-8832 and/or the Fire Department at 403-948-8880.
- c) The Developer shall contact utility providers (gas, electric, telecommunications) and arrange for utilities to be installed or relocated in accordance with the utility provider requirements, at the Developer's sole cost.
- d) All contractors working on this development may require a valid Airdrie Business License prior to the commencement of any work and must maintain the license for the full duration of the construction period.