



COMMUNITY INFRASTRUCTURE AND STRATEGIC GROWTH STANDING COMMITTEE AGENDA

Tuesday, July 8, 2025

1:00 pm - 4:00 pm

COUNCIL CHAMBERS

400 Main Street SE

Pages

1. CALL TO ORDER

2. DIRECTOR'S BRIEF (verbal only)

3. CONFIRMATION OF MINUTES

3.1 Regular minutes of June 10, 2025

1

4. PUBLIC PRESENTATIONS AND QUESTIONS

There are no items.

5. CONSENT AGENDA

5.1 Update on City Plan Engagement (Willow Czaban, Senior Planner)

4

The Community Infrastructure and Strategic Growth Standing Committee is being provided with an update on Public Engagement and Administration's ongoing work to update the existing Airdrie City Plan and AirdrieONE Sustainability Plan.

6. AGENDA REPORTS

6.1 Development Permit PL2401518 - 3010 Key Drive SE (Shengxu Li, Planner 2)

42

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit application PL2401518 for 43 Townhouse Dwelling units with a variance (23.2%) to the required Amenity Area, located at 3010 Key Drive SW.

6.2 Development Permit PL2401878 - 13 Willow Green SW (Geoff Rice, Planner 1)

154

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2401878, which seeks approval for an Accessory Building (detached garage) that requires a variance to the maximum building area coverage and an increase in height.

7. ITEMS REFERRED FROM COUNCIL

There are no items.

8. UPDATE OF COMMITTEE RESOLUTIONS

There are no items.

9. CLOSED SESSION

There are no items.

10. ITEMS ARISING FROM CLOSED SESSION

There are no items.

11. ADJOURNMENT

COMMUNITY INFRASTRUCTURE AND STRATEGIC GROWTH STANDING COMMITTEE MEETING

MINUTES

Tuesday, June 10, 2025

2:30 pm - 4:30 pm

COUNCIL CHAMBERS

400 Main Street SE

PRESENT

Councillor A. Jones (Chair) (Voting)
Councillor T. Petrow (Voting)
Councillor H. Spearman (Voting) (via Teams)
M. Elsogheir (Non-Voting)
K. Mitchell (Non-Voting) (via Teams)

GUESTS

Sarah Barbosa, ISL Engineering
Louis Che, ISL Engineering
Barkley Law, ISL Engineering

STAFF

L. Stevens, Director Community Infrastructure
S. Utz, Director Strategic Growth and Investment
R. Wiljamaa, Manager Capital Projects and Infrastructure
A. Dormer, Team Leader Engineering Services
W. Czaban, Senior Planner
K. Jiang, Legislative Officer II/Committee Clerk
N. Parkinson, Legislative Officer I/Council Technician
K. Rushford, Recording Technician

1. CALL TO ORDER

Councillor Jones called the meeting to order at 2:30 p.m. and confirmed that quorum has been met for this meeting.

2. DIRECTOR'S BRIEF (verbal only)

- 2.1 Lorne Stevens, Director of Community Infrastructure, advised that updates to the Utility Master Plan and Transportation Master Plan will be presented today for the Committee's review. These are foundational documents for development of our off-site levies. The off-site levies and the community amenity levy will be amongst several other items going to Council for consideration next Tuesday.
- 2.2 Stephen Utz, Director of Strategic Growth and Investment, advised that the majority of the downtown pageantry has been put into place, including new pole banners and panels on City Hall. Administration has done some work administratively for our online webpage about the downtown to talk more about the sequence of things that helped to get us to

where we are today with the downtown, as well as an individual page on the development incentives and one on the community revitalization levy.

3. CONFIRMATION OF MINUTES

3.1 Regular meeting of May 27, 2025

2025-CISG-029

Moved By Councillor Spearman

That the Community Infrastructure and Strategic Growth Standing Committee approves the minutes of the regular meeting of May 27 2025, as presented.

Carried

4. PUBLIC PRESENTATIONS AND QUESTIONS

There are no items.

5. CONSENT AGENDA

There are no items.

6. AGENDA REPORTS

6.1 Utility and Transportation Master Plan Updates (Andrew Dormer, Team Leader Engineering Services)

2025-CISG-030

Moved By Councillor Petrow

That the Community Infrastructure and Strategic Growth Standing Committee refers the Utility Master Plan and Transportation Master Plan Updates to Council for review.

Carried

6.2 Bylaw B-16/2025 LUB Administrative Amendments (Willow Czaban, Senior Planner)

2025-CISG-031

Moved By Councillor Spearman

That that Community Infrastructure and Strategic Growth Standing Committee recommends that Council give three readings to Bylaw B-16/2025 to amend the Land Use Bylaw, as presented.

Carried

7. ITEMS REFERRED FROM COUNCIL

There are no items.

8. UPDATE OF COMMITTEE RESOLUTIONS

There are no items.

9. CLOSED SESSION

There are no items.

10. ITEMS ARISING FROM CLOSED SESSION

There are no items.

11. ADJOURNMENT

Councillor Jones adjourned the meeting at 3:39 p.m.

Committee Chair

Committee Clerk



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH – AGENDA REPORT

Meeting Date: 8 July 2025

Subject: Update on City Plan Work – July 2025

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure and Strategic Growth Standing Committee is being asked to accept this report for information, as an update on Public Engagement and Administration's ongoing work to update the existing Airdrie City Plan and AirdrieONE Sustainability Plan.

Policy / Council Direction:

The AirdrieONE Sustainability Plan (2012) outlines ten sustainability goals which align with what citizens identified as important to long-term quality of life in the community. Under each of the ten sustainability goals, strategies were identified to guide implementation, alignment of many of the City's existing plans, and decision-making processes.

Airdrie's Municipal Development Plan (City Plan) (2014) provides policy direction to guide the city's growth. Policy areas include growth management, environmental sustainability, fiscal sustainability, economic prosperity, community design and development, sustainable transportation, parks, pathways and municipal reserve, educational facilities, infrastructure services, community and recreation facilities and implementation.

Background:

With the time that has passed and the growth that has occurred in Airdrie since their adoption, the AirdrieONE Sustainability Plan and Airdrie City Plan are at a stage where updates to the documents are required. Administration has begun work to update and consolidate the documents under a new Municipal Development Plan that will set up goals and planning for future growth while considering our role in the region.

To support the update of the Airdrie City Plan, City Administration conducted both in-person and online public engagement in Fall 2024. Activities included outreach at AirdrieFEST, an online survey via Involve Airdrie, and targeted youth engagement through school visits and meetings with the Airdrie Board of Youth Affairs.

In total, the engagement initiatives reached:

- Online survey: 470 participants
- AirdrieFEST booth: ~50 attendees
- Youth engagement: ~150 youth across four sessions

Engagement Highlights

Public engagement revealed that Airdrie residents value preserving the city's small-town charm, expanding green spaces, and ensuring that infrastructure keeps pace with growth. Many participants expressed a desire for more parks, tree planting, and the protection of natural areas, particularly in the face of increasing housing density.

Concerns about infrastructure were prominent, with many respondents noting that recent growth has outpaced the development of essential services and amenities. Resilience of servicing infrastructure was also a focus considering the 2024 Calgary watermain break, which raised concerns about water scarcity. Residents also expressed the desire for more indoor and outdoor facilities, gathering spaces, and inclusive environments that foster community pride and well-being.

Participants expressed interest in improved walkability, expanded public transit, and better transportation links both within Airdrie and to Calgary. Frustrations with traffic congestion and travel times were common, and many respondents envisioned a future with enhanced transit options, including regional train service. A vibrant downtown core was another aspiration, with residents imagining it as a hub for retail, dining, and social connection.

Youth participants echoed many of these themes, with a particular focus on the need for more spaces to socialize and engage in activities with friends. They emphasized the importance of both indoor and outdoor recreation and entertainment options, as well as shopping and hangout spaces that are accessible and affordable. Mobility was also a key concern, with youth highlighting the need for safe and convenient ways to get around town by car, bike, or on foot. A lack of youth-oriented spaces and the cost of accessing existing amenities were identified as ongoing challenges.

The full copies of the What We Heard Reports are provided in Attachments 1 and 2.

Additional Ongoing Work

In addition to the engagement work addressed here, Administration has been working internally to review and draft policy directions, test scenarios, and coordinate with other internal departments in preparing an initial draft plan for further consultation, review, and refinement.

A part of this work originally anticipated having to align with the Calgary Metropolitan Region Board (CMRB) Growth and Servicing Plans and would reflect the Growth Plan's direction for Airdrie to remain a Preferred Growth Area in the region. Due to the dissolution of the CMRB effective May 1, 2025, Administration continues to work on updating the City

Plan and is working to ensure that growth projections, assumptions, and regional influences are all properly understood and addressed within the framework of the City Plan and through coordination with regional partners.

Administration Recommendation:

Administration recommends that the Community Infrastructure and Strategic Growth Standing Committee accept this report for information.

Alternatives/Implications:

The Standing Committee may accept this report for information with any other considerations it deems appropriate.

Budget Implications:

The broader scope of work for updating the Airdrie City Plan is within Strategic Growth's approved budget, and there are no impacts or items specific to the work addressed in this update.

Communications and Engagement:

Administration will continue to work on updates to the Airdrie City Plan and expects to resume public consultation in Q4 2025.

Recommendation:

That the Community Infrastructure and Strategic Growth Standing Committee accepts the report entitled "Update on City Plan Engagement", for information.

Willow Czaban
Planner, Level 3

Staff Presenter:	Willow Czaban, Planner Level 3
External Presenter:	N/A
Department:	Policy Planning
Reviewed by:	Stephen Utz RPP MCIP, Director, Strategic Growth & Investment
Attachments:	#1: What We Heard Report - City Plan public engagement #2: What We Heard Report - City Plan youth engagement

WHAT WE HEARD.



City Plan Update

Project Overview:

As part of the process to update the Airdrie City Plan, City Administration undertook in-person and online public engagement in the Fall of 2024. The City used its digital communications channels including MyAirdrie, Facebook, X and Instagram to create awareness of the online opportunity. 470 participants responded using the online tools, and approximately 50 attendees participated at the in-person opportunity held at AirdrieFEST. This report provides a summary of those results.

Date: May 1, 2025

Prepared by the City of Airdrie

Executive Summary

A The Airdrie City Plan, adopted in 2014, is the City's municipal development plan (MDP) and provides policy direction to guide the city's growth. As Airdrie grows to 180,000, an updated plan will identify goals and focuses for the next several years.

Online and in-person engagement, conducted in the fall of 2024, asked participants to share their aspirations, values, concerns and priorities for Airdrie as we grow. Responses have been organized into four policy category areas.

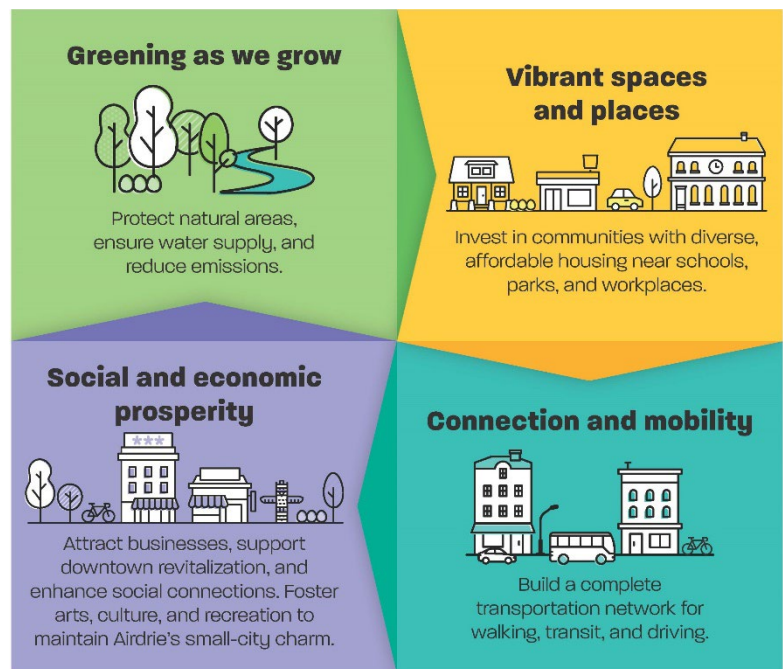
Some of the key topics and priorities for residents included:

Greening as We Grow. Participants strongly valued parks, green spaces and natural areas. Some respondents identified concerns that a focus on housing density may de-prioritize these types of spaces in new developments. Another area of concern included water scarcity, suggestions included sourcing agreements with other communities, improved or expanded infrastructure, or innovative infrastructure (e.g. atmospheric water generators, community-scale rain collection, etc.).

Social and Economic Prosperity. Respondents highlighted the importance of indoor and outdoor recreational opportunities, gathering spaces, and a focus on inclusion as key elements that contribute to a sense of neighborliness, connection to community, and the small town feel that was strongly desired among respondents. Respondents expressed a desire for a greater variety of indoor and outdoor entertainment options within Airdrie. Participants also wanted to see continued support for small local businesses and expressed an interest in attracting employers/businesses in office or technology (e.g. health technology) sectors.

Vibrant Spaces and Places. Respondents commonly referenced Airdrie's small-town charm, family-centred feel, interconnected parks and green spaces, and spaces for community events, festivals, and arts and culture opportunities as valued aspects of life in Airdrie. Participants expressed interest in Airdrie's downtown becoming a hub for retail, restaurants and social connection. Responses in this area also included concerns about Airdrie's infrastructure, services and amenities not keeping pace with growth.

Connection and Mobility. Responses in this section expressed a desire for expanded public transit and expanded pathway network and concerns about the city's growth further impacting traffic congestion. Participants often referenced transportation connectivity both within Airdrie city limits and to Calgary.



Project Information

Airdrie is on pace to be the third largest city in Alberta. The City Plan is a long-term planning document that will identify how development can support sustainable growth into our future. The last City Plan was approved in 2014. A lot has changed in Airdrie since then.

For the purposes of public engagement, the project has organized policy category areas as follows:



By creating a comprehensive plan that balances social, environmental, cultural and economic perspectives, we aim to accommodate our growing population while preserving the unique character of our city.

Public Participation Approach

Engagement sought to identify Airdrie residents' priorities, values and aspirations about growth in Airdrie. Both in-person at AirdrieFEST and online at Involve Airdrie, participants were asked:

- **Keepsakes (values):** What do you love about Airdrie? What must we keep as we grow?
- **Our Focus (priorities):** What needs our attention as we grow from 85,000 to 180,000 people?
- **Future Stories (aspirations):** Imagine Airdrie in 30 years, with 180,000 people. Write a headline or social media post about what will make Airdrie so great. What will we have achieved?

The City used its digital communications channels including MyAirdrie, Facebook, X and Instagram to create awareness of the survey opportunity, supported as well through regular promotional activities for AirdrieFEST. 470 participants responded to the online survey, and approximately 50 attendees participated at the in-person opportunity held at AirdrieFEST.

Summary of Public Participation Input

The policies in the City Plan are not isolated silos – they overlap and integrate with one another, and participant responses reflect this concept. For example, pathways in the city were noted by participants to be important to recreation (cycling, walking), social connection (spending time with family and friends), and transportation (a way to get around the city without having to use a vehicle). The interconnectedness of city

infrastructure, services and amenities notwithstanding, the feedback in this report has been organized into four key policy categories to help highlight the values, priorities and aspirations in those areas. It is also noted that participants expressed concerns and aspirations about health care and education through their comments. However, these two areas are functions and responsibilities of the Provincial Government and the results in this report are focused on those topics that fall within municipal jurisdiction. Key insights from participant responses in each of the four policy category areas include:

Greening as We Grow.

Participants strongly expressed desire for parks and green spaces. As well there is a priority placed on preserving natural areas such as wetlands and native prairie grassland. Some respondents identified concerns that a focus on housing density may de-prioritize these types of spaces in new developments and would like to see them continue to be a priority. Some participants indicated concerns with water scarcity, referencing the impacts to Airdrie of the 2024 Calgary watermain break. Participant suggestions included sourcing agreements with other communities, improved or expanded infrastructure, or innovative infrastructure (e.g. atmospheric water generators, community-scale rain collection, etc.).

Social and Economic Prosperity.

Respondents highlighted the importance of indoor and outdoor recreational opportunities, gathering spaces, and a focus on inclusion as key elements that contribute to a sense of neighborliness, connection to community, and the small town feel that was strongly desired among respondents. Respondents also expressed a desire for a greater variety of indoor and outdoor entertainment options within Airdrie. Participants wanted to see continued support for small local businesses and expressed an interest in attracting employers/businesses from office or technology (e.g. health technology) sectors to reduce the need for Airdrie residents to rely on commuting to Calgary for work.

Vibrant Spaces and Places.

Respondents commonly referenced Airdrie's small-town charm, family-centred feel, interconnected parks and green spaces, spaces for community events, festivals, arts and culture opportunities as both aspects of Airdrie to ensure we keep – and to further expand as we grow. Participants expressed interest in Airdrie's downtown becoming a hub for retail, restaurants and social connection. Responses in this area also included concerns about Airdrie's infrastructure, services and amenities not keeping pace with growth. Identifying that housing development expansion without concurrent park, recreation, retail and service amenities and transportation infrastructure detracted from quality of life and made neighbourhoods less vibrant.

Connection and Mobility.

Responses in this section expressed a desire for expanded public transit and concerns about the city's growth further impacting traffic congestion. Participants often referenced transportation connectivity both within Airdrie city limits and to Calgary. Comments included positive perspectives on Airdrie's pathway systems and active transportation methods like walking and biking, and a desire for an expanded network of paths.

What we heard?

The following sections provide summaries of the responses to the three engagement questions, organized by policy category.

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Greening as we grow

Keepsakes (values). What do you love about Airdrie? What must we keep as we grow?

Respondents celebrated Airdrie’s green spaces and pathway connections (14 mentions), preserving green spaces (5 mentions) and integrating green spaces into new development (3 mentions).

“I love the green spaces in Airdrie, the paths that take me almost anywhere, the new parks that keep popping up, the beavers, and the sunrises and sunsets. [...]”

“I hope we maintain and grow green spaces with mature trees.”

Our Focus (priorities, challenges). What needs our attention as we grow from 85,000 to 180,000 people?

Respondents want to see an increase in park spaces and tree planting (27 mentions), and an increase or preservation of green spaces in development (21 mentions) and the preservation of green spaces/ agricultural land more generally (2 mentions). Participants also expressed that water security needs our focus (10 mentions), referencing the impacts of the Calgary water main break in June 2025. To this end respondents recommended sourcing agreements with other communities and improved or expanded infrastructure.

"[...] Airdrie needs to have much more margin for heat reducing space (green space and trees) and space for people to enjoy nature."

"The new developments seem to prioritize maximizing housing density [...] with less emphasis on integrating green spaces, nature, and beautiful landscapes."

"Resource security is really important. The past few episodes with water restrictions show how vulnerable Airdrie is to the issues of neighboring cities. [...] We should look towards water generation, (atmospheric water generators [...]), storage, rain collection, etc. on an industrial/community scale, to minimize the impact of future issues [...]"

Future stories (aspirations). Imagine Airdrie in 30 years, with 180,000 people. Write a headline or social media post about what will make Airdrie so great. What will we have achieved?

Respondents' headlines referred to abundant green spaces and lots of trees (13 mentions), expanding parks and pathways (5 mentions) and native vegetation (12 mentions). There were also referrals to sustainable energy options (7 mentions).

"Airdrie sets a new standard for parks and greenery. Native trees and shrubs in abu[n]dance [...]."

"Airdrie, the city leading Alberta in Green and Smart City scape. It harbours the technology brains in Alberta."

"Green spaces with naturalized areas-tall grass that allows for wildflowers/pollinators. Solar panels on building roofs, more wind/turbines"

Vibrant spaces and places

Keepsakes (values). What do you love about Airdrie? What must we keep as we grow?

Respondents' regularly referenced Airdrie's small town feel as a very important element to keep, and one they expressed concern about given the pressures on traffic, infrastructure and amenities associated with growth (24 mentions). Respondents' also highly valued family-orientated amenities such as outdoor walking paths and community events and a love of these activities (10 mentions). Other topics for things we should keep as we grow included: maintaining low taxes (5 mentions), maintaining safe community feel (4 mentions), infrastructure, affordable housing (2 mentions), need senior-friendly housing/care (3 mentions).

"As a long-term resident of Airdrie, I love how friendly the community is. From neighbourhood block parties to saying hello to people we meet while walking or biking on the many pathways around town, we are proud to live in a friendly city with growing diversity. With growth comes new challenges, which is a surprise to no one. And those challenges need to be met with a focus on the future while maintaining relevancy and affordability for residents."

"I love that Airdrie prioritizes community events such as the Canada Day parade and airdrieFEST. These events bring the community together while also promoting local businesses. Airdrie's biggest draw is that it's a great place to raise a family and these events contribute to that in a big way."

Our Focus (priorities, challenges). What needs our attention as we grow from 85,000 to 180,000 people?

Respondents expressed that there is a need to prioritize addressing infrastructure gaps over more housing development, there is a strong sense that growth in Airdrie in recent years has been so fast that infrastructure and amenities have not kept pace (43 mentions). Some respondents are concerned that growth has come at the expense of developing community infrastructure, amenities and services and reflects a disconnect between community and decision-makers (9 mentions). Respondents mentioned housing density (18 mentions) – with some seeing increased types of housing contributing to more housing affordability, and others concerned that there should be less multi-family housing in Airdrie. Community character and small-town feel were also important areas of focus for respondents (48 mentions).

“As Airdrie grows, it would be wonderful to see a charming entertainment area develop, with cafes, restaurants, bars with patios, and small shops, all bringing a quaint, old-town vibe to a single street or mile. This would add a vibrant and cozy atmosphere while retaining the town's welcoming and clean character.”

“I understand the need for growth of City of Airdrie, several critical issues have not been addressed by City Hall, [...] City Hall and its Officials are turning a blind eye to them.”

“With all the discussions on affordable housing, why have we not zoned anything for modular homes? Those don't use a lot of space, and are ready to go [...]”

Future stories (aspirations). Imagine Airdrie in 30 years, with 180,000 people. Write a headline or social media post about what will make Airdrie so great. What will we have achieved?

When imagining the future of Airdrie, respondents identified a balance between growth and small-town charm (53 mentions), aligning infrastructure and growth (44 mentions) and avoiding infrastructure strain (38 mentions). Respondents also envisioned community-centered living (32 mentions) and family-focused values (25 mentions), as well as a distinct Airdrie identity (28 mentions) and independence from Calgary (14 mentions). Other topics included limiting new construction (7 mentions), ensuring accessibility (6 mentions), affordable housing (6 mentions) and seniors housing (3 mentions).

“A people focused city with gathering areas to come together and celebrate who we are. Continued focus on art, culture and small business.”

“Airdrie, a big city with small city charm! Everything you need right within your community! Come explore the friendly city that has it all!”

“Sustainable growth works when the infrastructure and resources match the needs of the population, everyone is a part of the vision.”

“Airdrie will need retirement homes and care facilities to accommodate aging population of Calgary and Airdrie [...]”

Social and economic prosperity

Keepsakes (values). What do you love about Airdrie? What must we keep as we grow?

Respondents identified community spirit and volunteerism (10 mentions), cultural and recreational opportunities (7 mentions), a safe and welcoming community (7 mentions), and friendly atmosphere (6 mentions) as important elements to keep as Airdrie grows.

Other topics included, local/community events (2 mentions), need entertainment areas (2 mentions), pedestrian friendly shopping areas (2 mentions), support for local artists (2 mentions), appreciate diversity (1 mention), encourage community connections (1 mention), feeling of youthful energy (1 mention), need cultural events (1 mention), need for community support (1 mention).

I love that Airdrie prioritizes community events such as the Canada Day parade and airdrieFEST. These events bring the community together while also promoting local businesses.

"When my husband and I were looking for a place to move and raise our children we fell in love with Airdrie for several reasons. {...} We wanted a home in a community we're our kids could go out and play in the neighborhood without us worrying if they would be safe. Our new community gives us this."

Our Focus (priorities, challenges). What needs our attention as we grow from 85,000 to 180,000 people?

Respondents highlighted the need for more recreation amenities, both types of spaces, and number of spaces (35 mentions), community gathering spaces (23 mentions), entertainment options (16 mentions), accessible spaces for community events (12 mentions), and more leisure activities (10 mentions). Respondents are also interested in attracting diverse industries to create jobs in Airdrie (20 mentions) expressing an interest in living and working in Airdrie, supporting local retail businesses and improving transportation within the city to make getting to local jobs easier. Some respondents identified concerns that too much high-density housing is contributing to increased traffic and parking congestion, leading to a feeling of overcrowding.

Other topics included, social connections for community (8 mentions), maintain low taxes (8 mentions), community art spaces (5 mentions), need youth support programs/activities (5 mentions), innovation (4 mentions), hub for medium and large businesses (3 mentions), culture and heritage (interpretive signs, etc.) (3 mentions)

"While Genesis is fantastic, it is barely adequate at our current population level. Outdoor recreation also needs to be addressed. With only one splash park in Airdrie it is impossible to enjoy on those hot days because of crowding. [...]"

"Airdrie needs to stop developing so many condos/apartments [...]. We are too focused on [...] these units and it's taking away from a balanced community."

"[...] attract businesses and industries [for] diverse employment opportunities. [...] help ensure that residents have access to fulfilling jobs right in their community. [...]"

Future stories (aspirations). Imagine Airdrie in 30 years, with 180,000 people. Write a headline or social media post about what will make Airdrie so great. What will we have achieved?

Respondents' headlines identified fostering community pride which was attributed to diversity, a small town feel or a wealth of amenities such as parks and recreation opportunities (22 mentions). Recreation and leisure amenities also featured in respondents' aspirational headlines (22 mentions), with a focus on resident well-being (20 mentions). Developing sports facilities (16 mentions), and cultural offerings/events (13 mentions) including social spaces for people and families to gather (12 mentions) and a vibrant downtown entertainment area (12 mentions) were mentioned by respondents. As well respondents' headlines included visions of Airdrie being a centre for innovation, tech and healthcare, combined with comments on sustainable infrastructure and interest in shopping (14 mentions).

Other topics included: maintain low taxes (11 mentions), economic development and innovation (9 mentions), promote inclusivity (7 mentions), cultural and community (social) development (6 mentions), enhance arts and culture venues (6 mentions), support community events (5 mentions), job creation (4 mentions), host national athletic meets (3 mentions), more commercial development (3 mentions), public art (2 mentions), attract tech start-ups/industries (2 mentions), support small business needs (2 mentions), affordable utility costs (1 mention).

"Airdrie has a strong business economy, several green options to keep the city environmentally sustainable, and 100% electrical transportation."

"Airdrie has achieved amazing togetherness where we support people from all backgrounds to thrive and build happy healthy lives & families."

"Airdrie excels in local recreation opportunities for youth with accessible spaces in walking distance!"

"Tech companies are investing in Airdrie as Alberta's Leading Green City! Making it a hub for investors in all sectors. Airdrie is the future."

Connection and mobility

Keepsakes (values). What do you love about Airdrie? What must we keep as we grow?

Respondents value walkability and connectivity (17 mentions). They expressed appreciation of Airdrie's pathway system and would like to see it expanded (5 mentions).

"I love that there are pathways to walk all around Airdrie. I don't have to worry about running with my dogs on sidewalks or roads, there are beautiful pathways around all the communities."

Our Focus (priorities, challenges). What needs our attention as we grow from 85,000 to 180,000 people?

Transportation connectivity and expansion of public transit were important considerations for respondents (26 mentions). Respondents expressed frustration at the time it requires to travel across the city and sometimes associated it with the timing of lights. (23 mentions), and also referenced general road improvements and/or provided specific examples of locations for road expansion. (23 mentions). Comments on the expansion of public transit often referenced the connection between Airdrie and Calgary (18 mentions).

"[...] Better transit connectivity especially in new areas {...}"

"Road network needs serious work. It shouldn't take 20 min to drive from Hillcrest to North Airdrie along 8th. [...]"

"This city needs right now, and more so in the future, a much better and much more reliable public transit system in the city [...]"

"[...] Traffic Flow - getting two green lights shouldn't feel like winning the lottery. [...]"

Future stories (aspirations). Imagine Airdrie in 30 years, with 180,000 people. Write a headline or social media post about what will make Airdrie so great. What will we have achieved?

Key areas of aspirational connection and mobility in respondents' headlines included public transit and connectivity (27 mentions), c-train or regional train travel (18 mentions), improvements to traffic congestion (11 mentions). Other topics included, expanded bus routes (5 mentions), upgraded roads (2 mentions), synchronized traffic lights (2 mentions), electric transportation (2 mentions)

“2030: Airdrie leads Alberta in sustainability with the opening of new c-train station to connect Airdrie commuters to Calgary!”

“Airdrie’s population cap allowed for updated infrastructure – making local traffic and train crossings a breeze!”

“25 years of APEX: How the Alberta Passenger Express train connected communities throughout the province.”

“I imagine Airdrie in 30 years with cheaper transportation, more bus stops that are more frequent. Sooner the Better.”

What’s Next & Timelines

Along with consideration of our comparative research and internal discussions – the feedback here will be used to help us refine our update to the City Plan.

Contact Information

For more information regarding the City Plan update project, contact:

Jordan Furness, Team Leader, Policy Planning
City of Airdrie
Email: planning@airdrie.ca



**WHAT
WE
HEARD.**



**PUBLIC
PARTICIPATION**

CityPlan Update – Youth Engagement

Project Overview:

As part of the process to update the Airdrie City Plan, City Administration undertook in-person youth engagement in the Fall of 2024. The City coordinated through our Youth Engagement Liaison to attend classes at three of the city's schools, meeting with students in grades 6 through 12. The project team also met with the Airdrie Board of Youth Affairs to review and comment on some of the key emergent themes heard from youth participants. Approximately 150 youth participated. This report provides a summary of their feedback.

Date: April 23, 2025

Prepared by the City of Airdrie

Executive Summary

Airdrie is on pace to be the third largest city in Alberta. The City Plan is a long-term planning document that will identify how development can support sustainable growth into our future.

For the purposes of public engagement, the project has organized the discussion into four policy category areas.

By creating a comprehensive plan that balances social, environmental, cultural and economic perspectives, we aim to accommodate our growing population while preserving the unique character of our city.

The project team attended classes at three of the city's schools, meeting with students in grades 6 through 12. The project team also met with the Airdrie Board of Youth Affairs (ABYA) to review some concepts and ideas heard from youth participants. Engagement sought to identify youth priorities, values and aspirations about growth in Airdrie. Participants were asked:

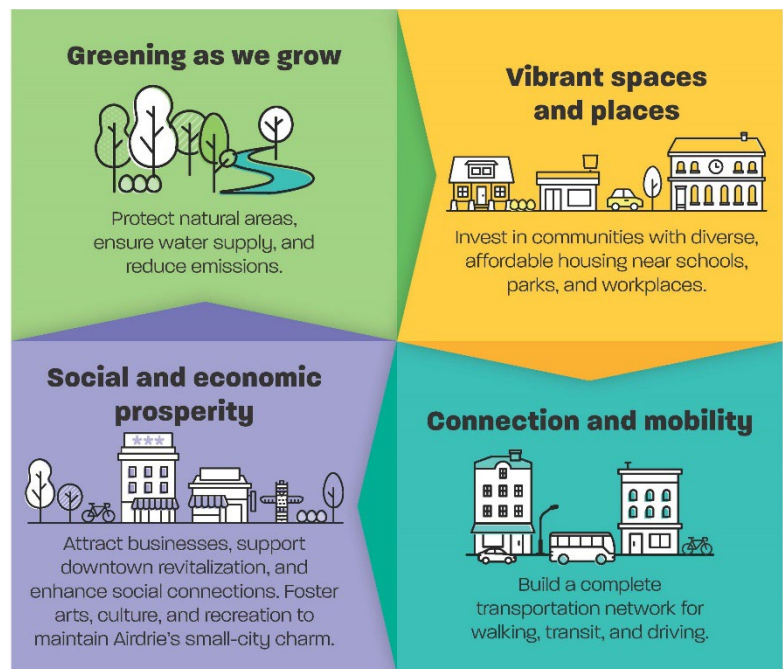
- **Keepsakes (values):** What do you love about Airdrie? What must we keep as we grow?
- **Our Focus (priorities/challenges):** Ideas or suggestions. Do you have a least favourite place or route in Airdrie? What could be changed to make it better?
- **Future Stories (aspirations):** Imagine Airdrie in 30 years, with 180,000 people. What will make Airdrie so great. What will we have achieved?

Some of the key topics and priorities for youth included:

Greening as We Grow. Youth indicated they value the parks, greenspaces and natural areas in Airdrie and want to see this be a continued area of focus as the city grows.

Vibrant Spaces and Places. Youth identified that they love their neighbourhoods and homes. That a challenge they have is difficulty getting to friend's houses, retail, recreation and entertainment places as many are not driving – and pathways don't always get them to their destinations. For the future, youth identified improved affordability, opportunities for culture and heritage, and the possibility of post-secondary education within Airdrie as desirable.

Social and economic prosperity. Youth very much focused on spaces and ways they can socialize and spend time with friends as a current and future priority. Indoor and outdoor recreation (sport focus) as well as indoor and outdoor entertainment (arcades, movie theatres, paintball, etc.) were mentioned often as both favourite places and desired as expanded options for the future.



Connection and mobility. As many youth are not yet driving, or do not have regular access to a vehicle, they mentioned how important Airdrie's pathways and transit are to their ability to get around the city. Participants mentioned a desire for more paths, or paths that got them all the way to their destination, expanded options for e-scooters, rentable e-bikes and hoverboards, as well as increased bus stops and more frequent service as important aspirations for the future of Airdrie.

Project Information

Airdrie is on pace to be the third largest city in Alberta. The City Plan is a long-term planning document that will identify how development can support sustainable growth into our future. The last City Plan was approved in 2014. A lot has changed in Airdrie since then.

For the purposes of public engagement, the project has organized policy category areas as follows:



By creating a comprehensive plan that balances social, environmental, cultural and economic perspectives, we aim to accommodate our growing population while preserving the unique character of our city.

Public Participation Approach

Engagement sought to identify youth priorities, values and aspirations about growth in Airdrie. Participants were asked:

- **Keepsakes (values):** What do you love about Airdrie? What must we keep as we grow?
- **Our Focus (priorities/challenges):** Ideas or suggestions. Do you have a least favourite place or route in Airdrie? What could be changed to make it better?
- **Future Stories (aspirations):** Imagine Airdrie in 30 years, with 180,000 people. What will make Airdrie so great. What will we have achieved?

The City coordinated through our Youth Engagement Liaison to attend classes at three of the city's schools, meeting with students in grades 6 through 12 who participated in activities to answer the above questions. The project team also met with the Airdrie Board of Youth Affairs (ABYA) to review some of the key emergent concepts and ideas heard from youth participants.

- Northcott Prairie School, Grades 6-8, November 13, 2024
- Bert Church High School, Grades 10-12, November 13 and 19, 2024
- Murial Clayton Middle School, Grade 6, November 21, 2024
- Airdrie Board of Youth Affairs, December 2, 2024

Summary of Public Participation Input

A key area of focus for youth participants was on spaces and places where they can socialize and engage in activities with their friends such as places for recreation, both indoor spaces (147 mentions) and outdoor spaces (102 mentions). Likewise indoor entertainment options (131 mentions), outdoor entertainment options (44 mentions) and shopping (144 mentions) were top priorities for youth. Other areas included parks and greenspaces (78 mentions) and ways of getting around town including by vehicle, bike and walking (65 mentions).

These priority areas were often mentioned as both favourite places and wanting more of them, or more variety of them, in the future. Some challenges mentioned by youth included difficulty getting to these spaces and places because they are too far away to walk to, or they are not able to use paths to get there and feel unsafe biking on roadways. A lack of youth-oriented spaces was mentioned as a challenge, as was affordability of accessing places to hang out with friends.

What we heard

The following sections provide summaries of the responses to the three engagement questions, organized by policy category.

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YOUTH ENGAGEMENT

Greening as we grow

Keepsakes (values)

Participants identified walking or biking on the paths near parks (10 mentions) and spending time in natural areas (8 mentions) near water features such as ponds or canals in their neighbourhoods as a favourite thing about Airdrie.

Our Focus (priorities, challenges)

Some participants mentioned a desire for more parks, dog parks, larger parks, and parks or greenspace closer to their homes (18 mentions). And some participants mentioned care and maintenance of greenspaces and the environment with a desire for cleaner parks, ponds and reduced air pollution (5 mentions) as areas that need attention.

Future stories (aspirations)

Several participants envision a future Airdrie with more natural areas (9 mentions), wildlife (1 mention), trees (7 mentions) and dog parks (3 mentions). There were some ideas around expanded alternative energy generation such as solar panels and nuclear power (2 mentions) and a note about a more secure water supply for Airdrie not reliant on Calgary (1 mention).



Vibrant spaces and places

Keepsakes (values)

Participants identified their homes, friends' homes, backyards and their communities as favourite places (42 mentions). They described having good neighbours, feeling safe and having a space to spend time with friends as some of the reasons why.

Our Focus (priorities, challenges)

A challenge identified by youth included a desire to have a variety of types of places closer to home – or easier to walk to (18 mentions). This included a desire for more proximity to retail options, indoor recreation, their schools, parks and playgrounds, dining options, and bus routes. Other priorities included increased public safety around popular hangouts like McDonald's, 7-11 and schools (9 mentions) A desire for more shelters, for both animals and people (3 mentions) and affordable housing or more types of housing (2 mentions).

Future stories (aspirations)

Affordability was a common aspiration for the future, with participants mentioning lower costs for restaurants, transportation and housing as key areas (13 mentions). Participants also hope to see a



future Airdrie with more opportunities for culture and heritage including museums and unique architecture, as well as more festivals and events (8 mentions). Another area of interest was the possibility of post-secondary options located in Airdrie whether college, university or trade schools (6 mentions).

Social and economic prosperity

Keepsakes (values)

Favourite youth spaces and places in Airdrie had a strong focus on those places that facilitated ways to socialize and spend time with friends. This included indoor recreation spaces such as Genesis Place and Ron Ebbesen Arena (85 mentions), retail shopping such as Cross Iron, Walmart and dollar stores (57 mentions), quick-service restaurants such as McDonald's, Tim Hortons, Dairy Queen and Crumbl Cookies (48 mentions), outdoor recreation such as basketball courts, the skatepark, sports fields and parks (67 mentions).

Participants also identified indoor entertainment spaces such as bowling alleys, gaming lounges and arcades (18 mentions) and the library (14 mentions) as favourite aspects of Airdrie.

Our Focus (priorities, challenges)

Youth mentioned the lack of a movie theatre (18 mentions) and arcades (7 mentions) in Airdrie as a priority for them. A lack of indoor recreation spaces, especially for volleyball and swimming, (26 mentions) was noted. Desired outdoor recreation and entertainment facilities (23 mentions) included pools or water parks, outdoor movie theatres/drive-ins, sports fields and skateparks. Participants also mentioned a lack of youth-oriented spaces, activities or clubs in general (16 mentions) as well as a lack of affordable youth-oriented spaces to hang out (9 mentions) as challenges.

Future stories (aspirations)

Expanded options for indoor entertainment (52 mentions) included a wide variety of options including trampoline parks, roller rinks, gaming centres/arcades, movie theatres, airsoft arenas, rage rooms and concert halls. Suggestions for outdoor entertainment (24 mentions) included paintball arenas, racetracks, a theme park, a zoo and more festivals and events. Recreation was also a key area of interest for youth and in the future, they hope to see more indoor spaces for gymnastics, basketball, swimming and skating (36 mentions). Outdoors, youth hope the future for Airdrie includes more ball courts and fields, outdoor rinks, outdoor pools, golf courses and dirt bike parks (38 mentions). More dining out options both quick-service (31 mentions) and full-service (14 mentions) were identified as desirable by youth, with specific chains such as Chick-fil-A and Raising Canes being identified often.



Connection and mobility

Keepsakes (values)

Participants identified electric scooters as a favourite thing about Airdrie as they are considered easy transportation (6 mentions). Pathways to walk and ride on, especially where they are near parks, natural areas, ponds or canals are also valued (9 mentions). A couple of participants mentioned the new overpass at 40 Ave as improving traffic flow (2 mentions).

Our Focus (priorities, challenges)

For older youth who are driving, traffic congestion, and short traffic light cycles, especially on Yankee Valley and Veterans Boulevards were identified as challenges (11 mentions).

For those youth not yet driving, some mentioned feeling unsafe crossing roads, or railways near their schools (3 mentions) others identified that when paths are not cleared of snow it makes it harder to get to their destinations (2 mentions). Not being able to use pathways to bike all the way to their destinations was seen as a challenge due to having to switch to riding on the road with vehicles which felt less safe (2 mentions). For those youth using transit, challenges included long walking distances to a stop, and fear of missing the bus due to infrequent service (4 mentions).

Future stories (aspirations)

Aspirations for the future of connection and mobility in Airdrie included ideas to improve transit, including more routes and stop locations within Airdrie (13 mentions), trains connecting to Calgary (2 mentions), more types of transit e.g. shuttles or streetcars (2 mentions) and more accessible transit (1 mention). Youth also expressed interest in more bike and walking paths (11 mentions). Some youth mentioned a desire for more electric or water powered cars (2 mentions) while others wanted fewer electric cars (3 mentions) and there were suggestions for flying cars (2 mentions). Some identified a desire for an airport (3 mentions). And some identified a desire for expanded personal transportation options such as rentable e-bikes and hoverboards (2 mentions).

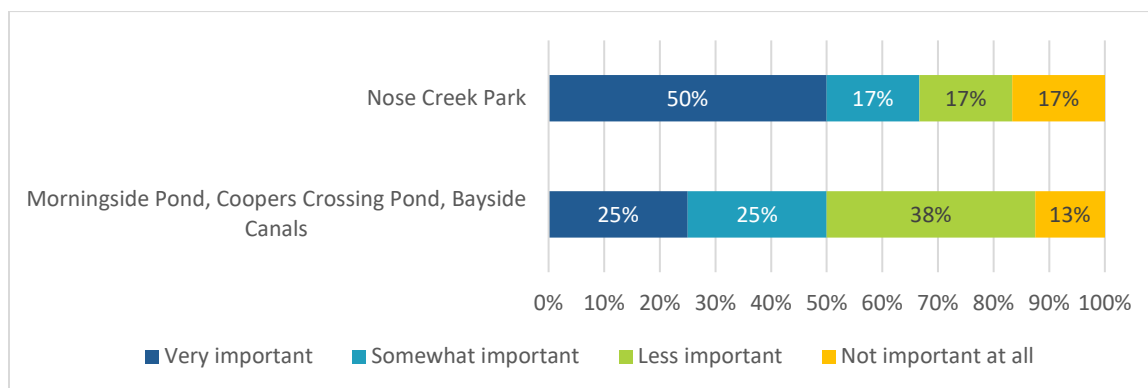


AIRDRIE BOARD OF YOUTH AFFAIRS ENGAGEMENT

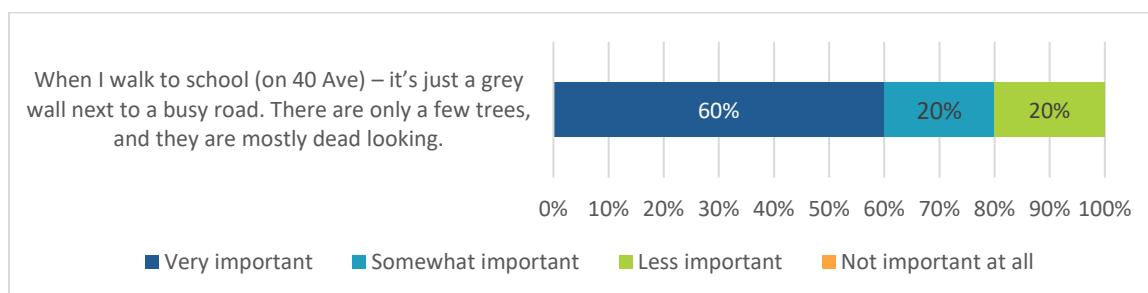
For each policy category, board members were asked to review some of the ideas/concepts raised by youth participants and indicate how important each idea was to them. They were also asked: “More comments? Thoughts about the ideas? Is there anything missing?”

Greening as we grow

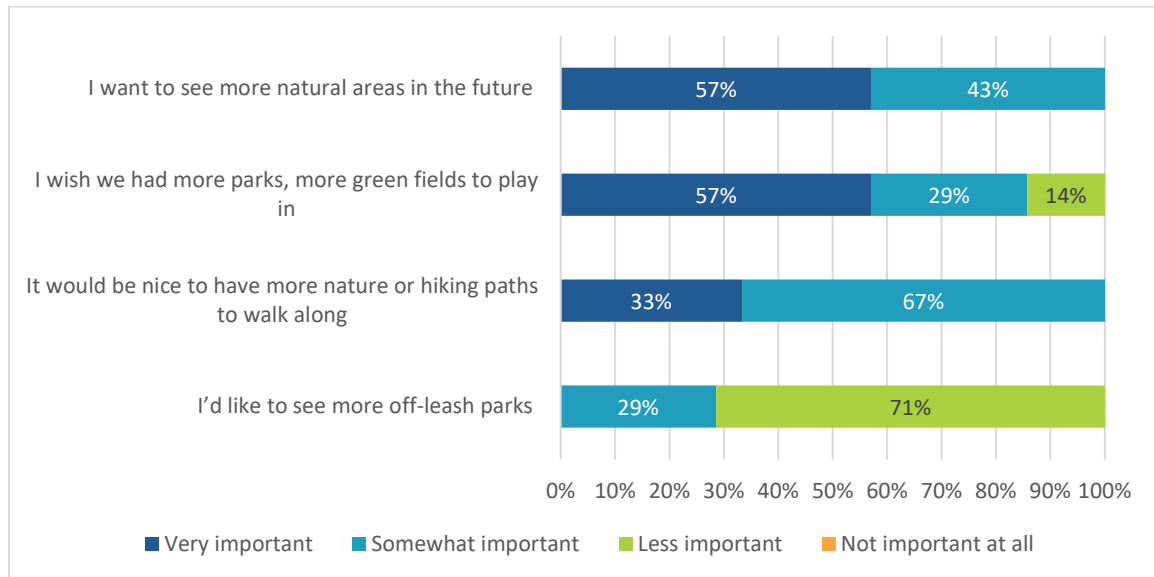
Keepsakes (values)



Our Focus (priorities, challenges)



Future stories (aspirations)

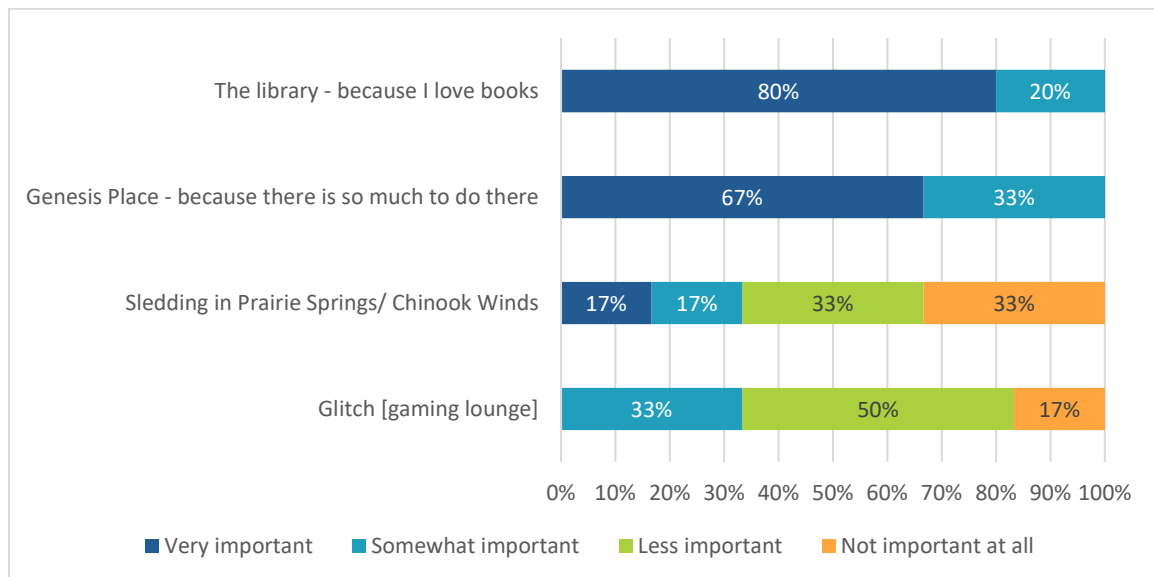


Additional Comments

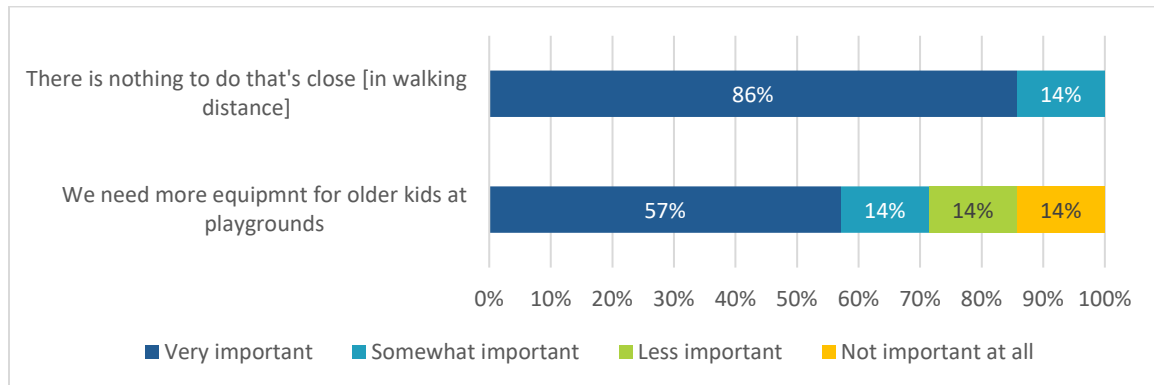
- We need more hikes in Airdrie
- Tiny forests in communities with picnic benches/ seating areas or firepits

Vibrant spaces and places

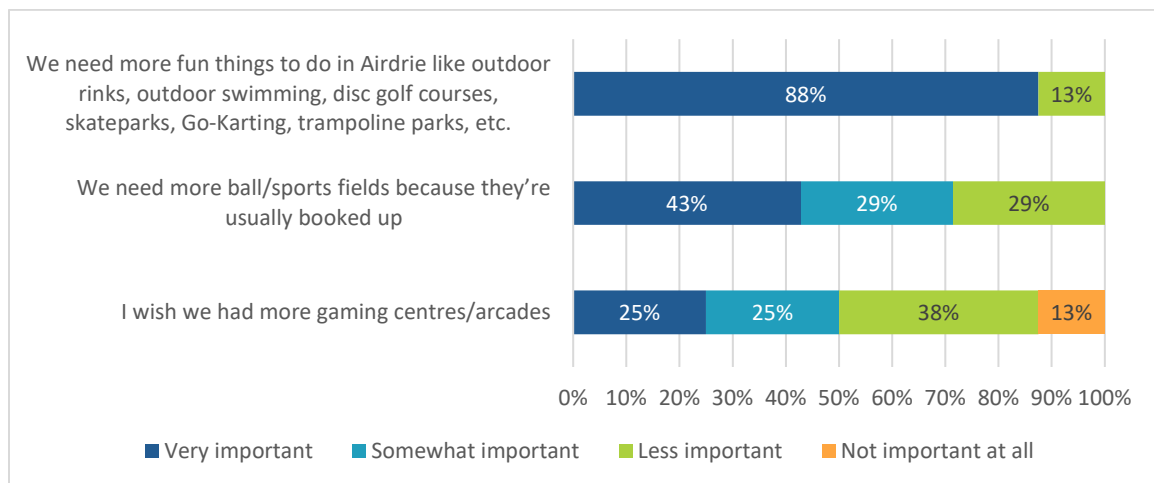
Keepsakes (values)



Our Focus (priorities, challenges)



Future stories (aspirations)

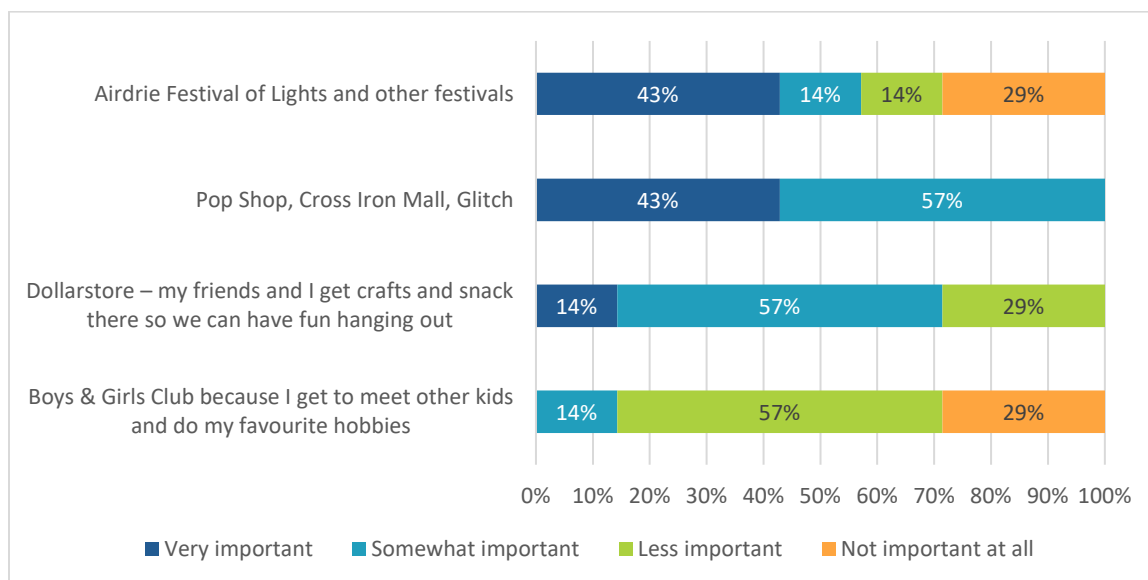


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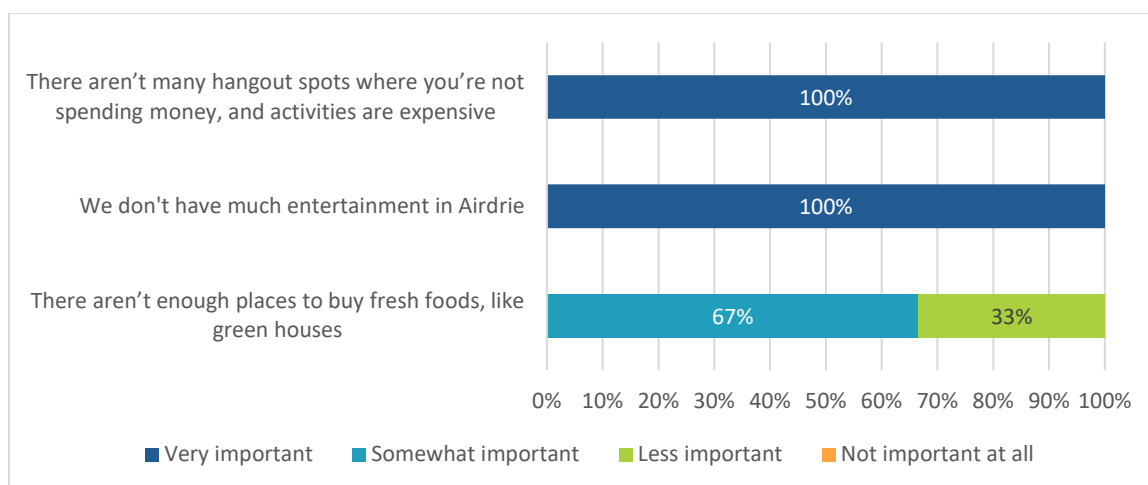
- Provide sufficient rec facilities and balance competitive and recreation activities (ex. 50 m pool and slides)
- Pool
- Model after the YMCA to ensure transport isn't an issue and that it isn't constantly at capacity

Social and economic prosperity

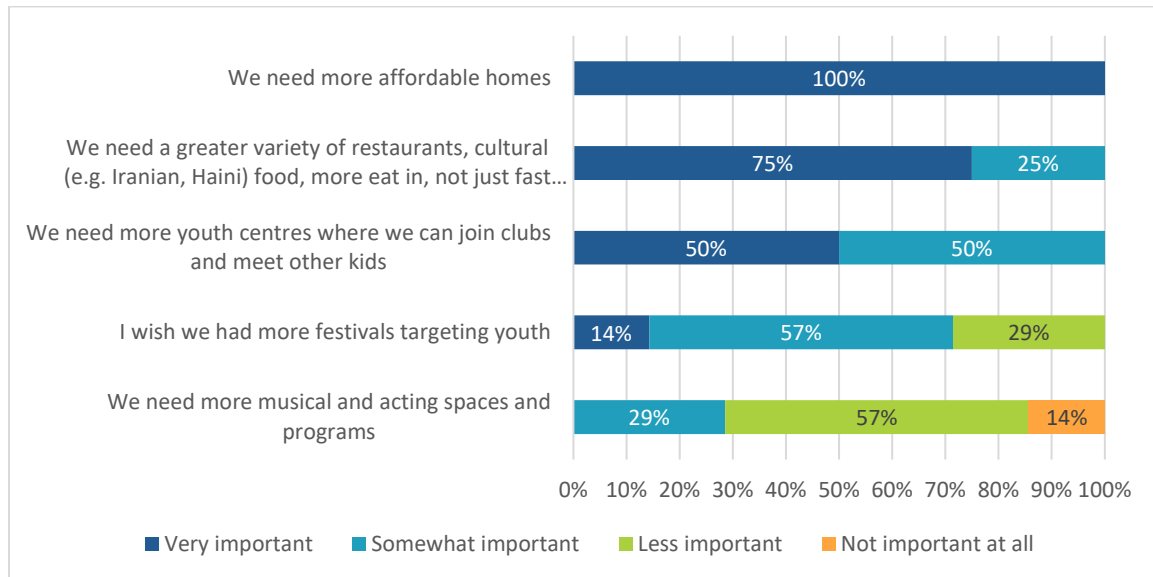
Keepsakes (values)



Our Focus (priorities, challenges)



Future stories (aspirations)

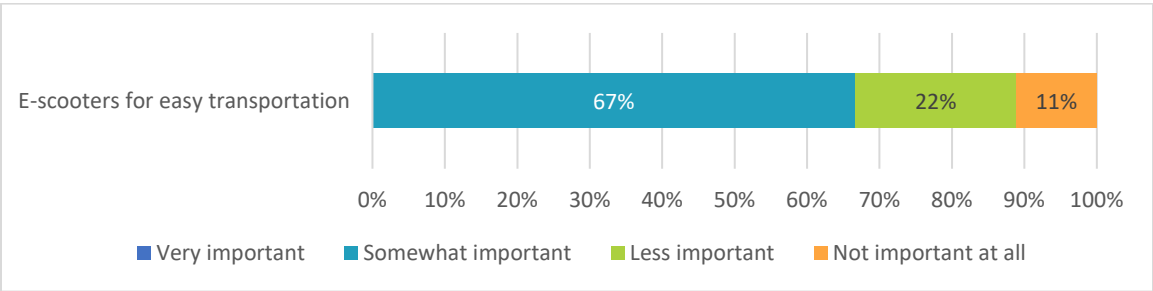


Additional Comments:

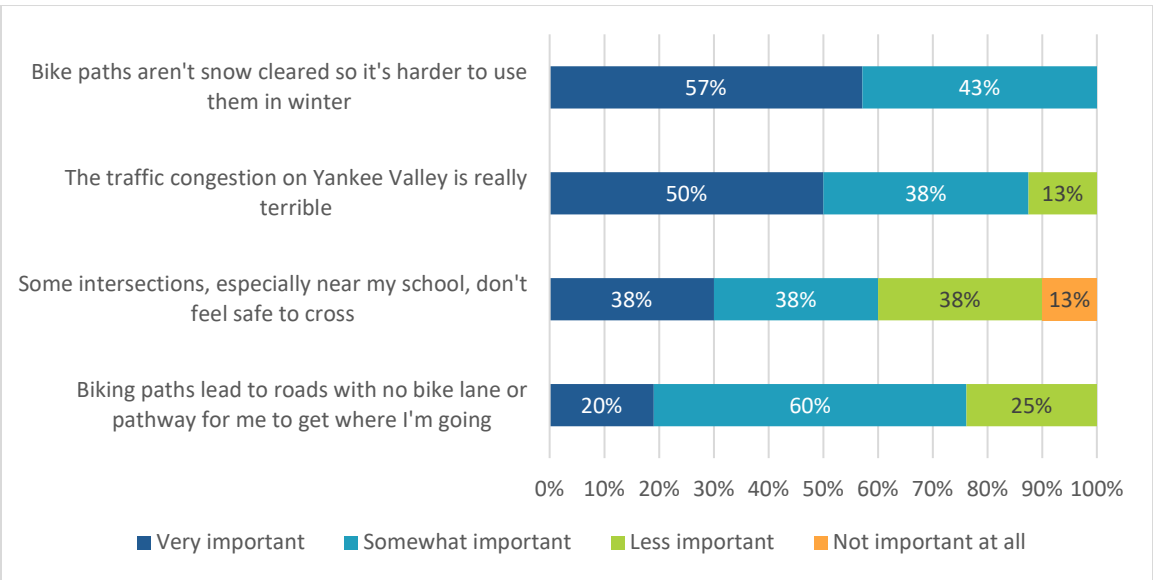
- Airdrie's future Arts and Multi-cultural Centre (where Nose Creek is..). (Museum and arts performing theatre).
- Boutique shopping
- Having Airdrie's history present through "artifacts" on pathways and parks.
- Places to explore science/ technology like Telus Spark
- We need another (movie) theatre
- It seems as if one has to go to Calgary to have a good time, so changing that would be great
- More opportunities to engage in arts and culture, e.g. Movie theatre, museum, concert revenue
- A mall like Cross Iron in Airdrie
- A lot of institutions, Airdrie may have/are overshadowed by Calgary due to their close proximity

Connection and mobility

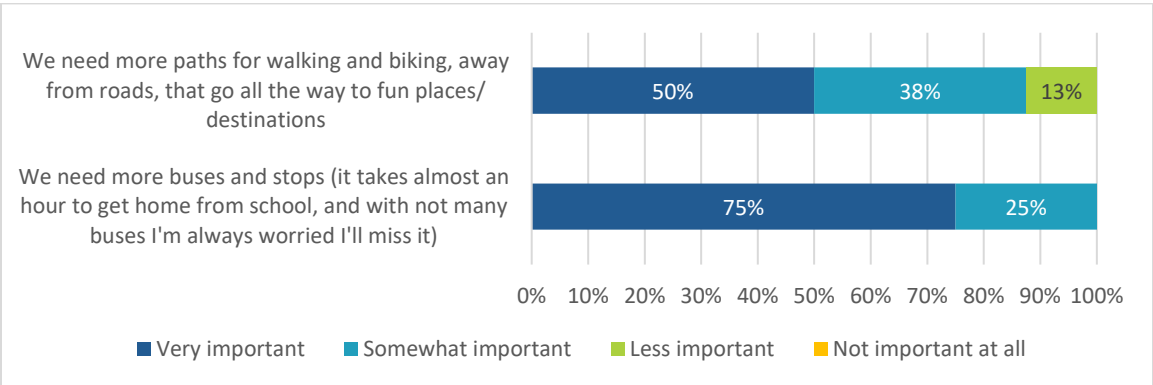
Keepsakes (values)



Our Focus (priorities, challenges)



Future stories (aspirations)



Additional Comments:

- Slower timers on the crosswalks
- Integrating efficiently with Calgary Transit to ease the transportation barrier for Airdrie's three- to four-thousand post-secondary students
- Bus routes between [Bert Church High School] and downtown
- Making pathways more accessible for people with disabilities, like having sound come out of the pedestrian button, also having brail on the button
- Having more frequent buses, or making bus capacity bigger

What's Next & Timelines

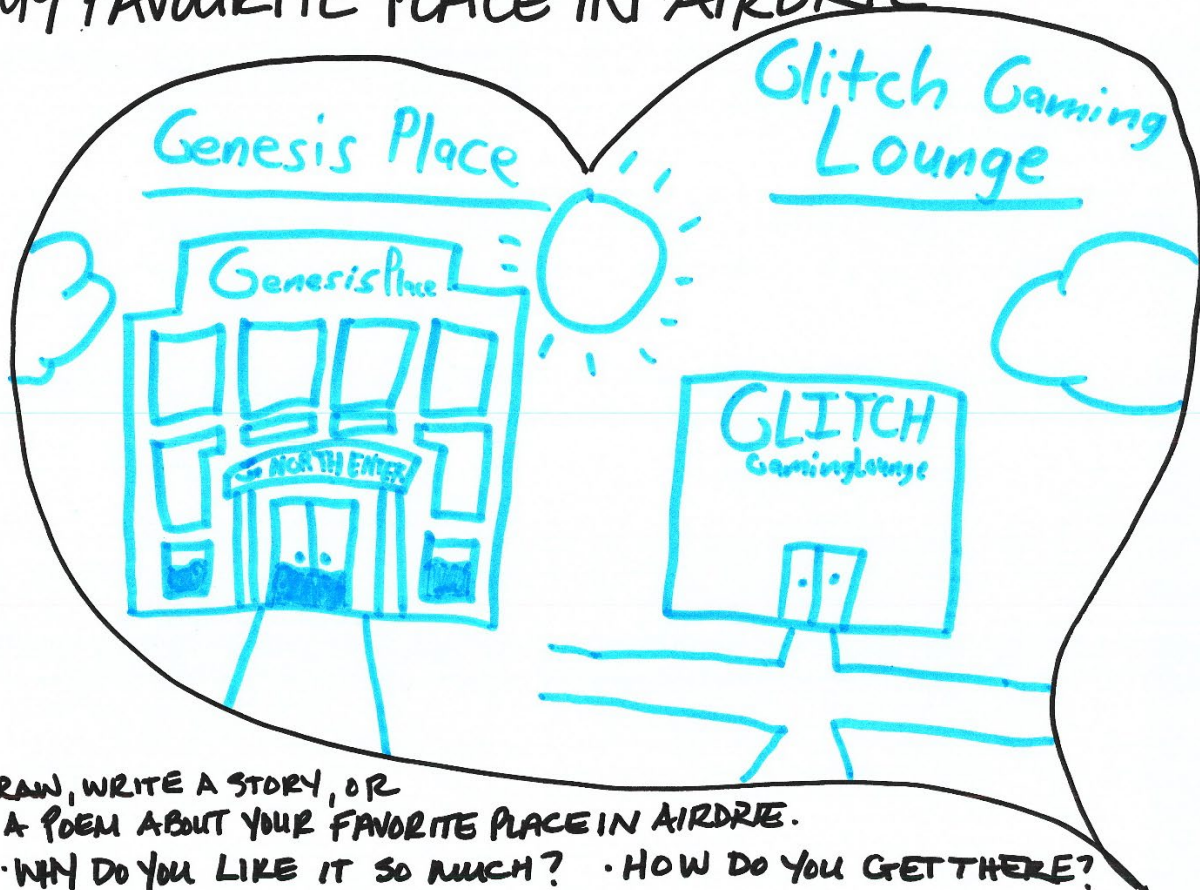
Along with consideration of our comparative research and internal discussions – the feedback here will be used to help us refine our update to the City Plan.

Contact Information

For more information regarding the City Plan update project, contact:

Jordan Furness, Team Leader, Policy Planning
City of Airdrie
Email: planning@airdrie.ca

MY FAVOURITE PLACE IN AIRDRIE



DRAW, WRITE A STORY, OR
A POEM ABOUT YOUR FAVORITE PLACE IN AIRDRIE.

- WHY DO YOU LIKE IT SO MUCH?
- HOW DO YOU GET THERE?
- DO YOU GO WITH FRIENDS? FAMILY?

MY FAVOURITE PLACE IN AIRDRIE

I like the BGC the most!



I like the BGC because I get to meet other kids and do my fav hobbies but I hope you could add more youth centers please!

DRAW, WRITE A STORY, OR
A POEM ABOUT YOUR FAVORITE PLACE IN AIRDRIE.

- WHY DO YOU LIKE IT SO MUCH?
- HOW DO YOU GET THERE?
- DO YOU GO WITH FRIENDS? FAMILY?

MY FAVOURITE PLACE IN AIRDRIE

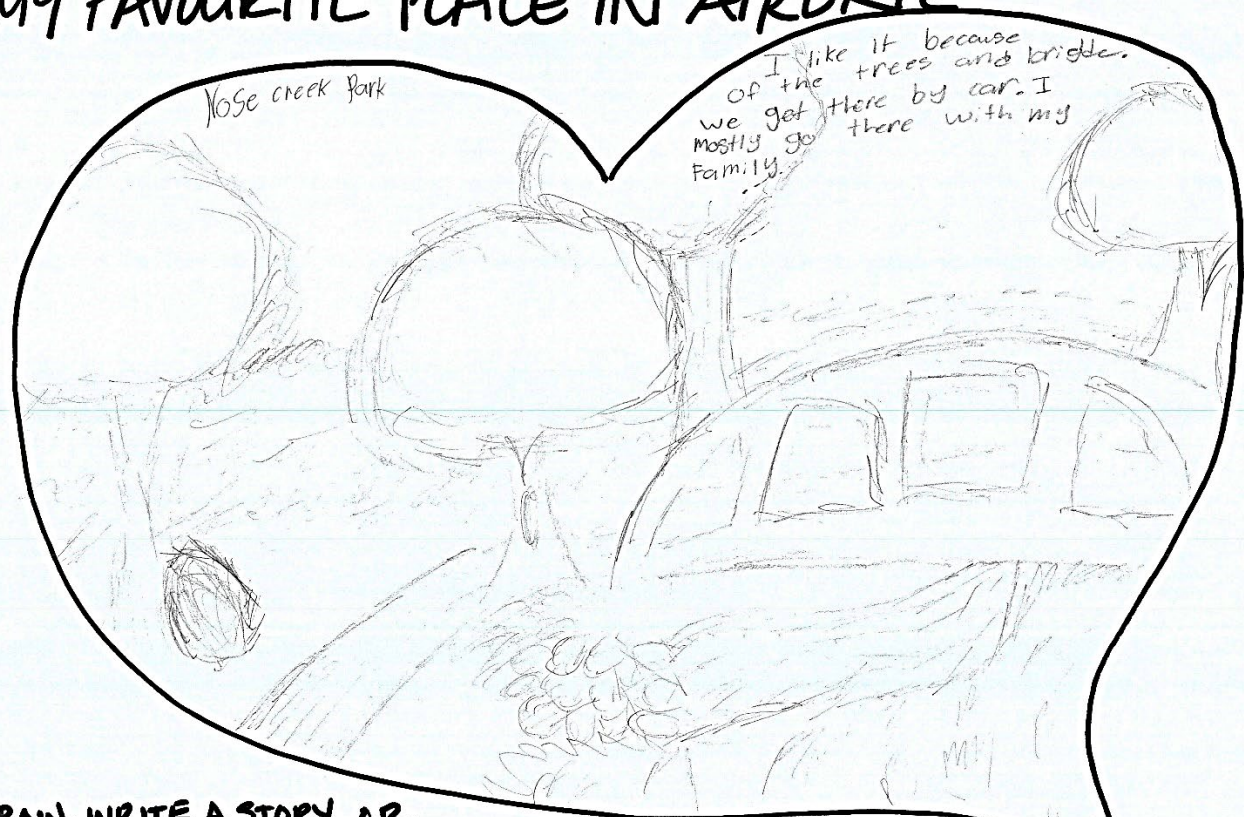


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DRAW, WRITE A STORY, OR
A POEM ABOUT YOUR FAVORITE PLACE IN AIRDRIE.

- WHY DO YOU LIKE IT SO MUCH?
- HOW DO YOU GET THERE?
- DO YOU GO WITH FRIENDS? FAMILY?

IDEAS + SUGGESTIONS

**DRAW
WRITE A
SHORT
STORY OR
POEM
DESCRIBE
YOUR PLACE,
ROUTE &
IDEAS.**

More biking paths on the road to Nose
Creek and Main Street.
easier ways to get around on buses.
(I don't usually take the buses though.)

my house
*start

Crocksford

7-11

The thick
paths are
where I have
to travel on a
road to get there
on a straight path,

Circle K

Nose
Creek

London Drugs
old library
farmer's market
*
AML
Finish

new library

IDEAS + SUGGESTIONS

**DRAW
WRITE A
SHORT
STORY OR
POEM**

**DESCRIBE
YOUR PLACE,
ROUTE &
IDEAS.**

When I walk to school I don't like that on 40th ave it is just a grey wall next to a busy road and it isn't nice to walk/bike there. There are a few trees but they are mostly dead-looking.

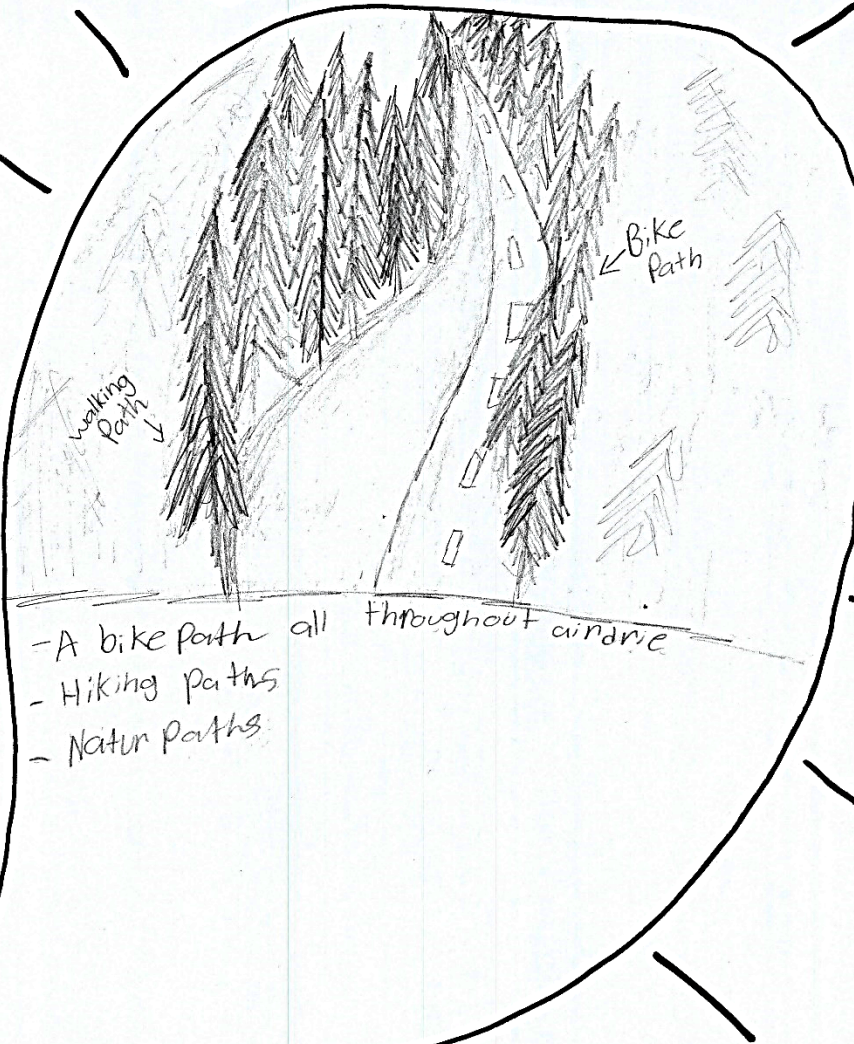


**DO YOU HAVE A LEAST FAVOURITE
PLACE, OR ROUTE, IN AIRDRIE?
DESCRIBE IT. WHAT COULD BE
CHANGED TO MAKE IT BETTER?**

IDEAS + SUGGESTIONS

DRAW
WRITE A
SHORT
STORY OR
POEM

DESCRIBE
YOUR PLACE,
ROUTE +
IDEAS.



- A bike path all throughout airdrie
- Hiking paths
- Natur paths

DO YOU HAVE A LEAST FAVOURITE
PLACE, OR ROUTE, IN AIRDRIE?
DESCRIBE IT. WHAT COULD BE
CHANGED TO MAKE IT BETTER?


IDEAS + SUGGESTIONS

DRAW
WRITE A
SHORT
STORY OR
POEM

DESCRIBE
YOUR PLACE,
ROUTE +
IDEAS.

Some parks are boring. Need more slides, fun things. We also need more open areas for sports.



More  pathways,
also a bike
lane.

More Water fountains,
public bathrooms.



DO YOU HAVE A LEAST FAVOURITE
PLACE, OR ROUTE, IN AIRDRIE?
DESCRIBE IT. WHAT COULD BE
CHANGED TO MAKE IT BETTER?



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH – AGENDA REPORT

Meeting Date: 8 July 2025

Subject: Development Permit PL2401518 – 3010 Key Drive SW

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit application PL2401518 for 43 Townhouse Dwelling units with a variance (23.2%) to the required Amenity Area, located at 3010 Key Drive SW.

Policy / Council Direction:

The Standing Committee is the Development Authority for this application, as Townhouse Dwellings are a discretionary use in the R3, Low-Rise Multifamily Residential District and no master site plan exists for the area. The Airdrie City Plan designates the subject site as Residential, aligning with the objectives for community design and development.

The Key Ranch Neighbourhood Structure Plan (NSP) designates the site as Multi-Family Medium Residential within the land use concept plan. The subject site is consistent with the density in the NSP. Given the site's proximity to the 24th Street transportation corridor, and in keeping with the City's Transportation Noise Policy, a Traffic Noise Impact Assessment was submitted with the development permit application. The assessment shows the noise levels are below the City's Design Noise Level (DNL) threshold of 60 dBA, therefore additional sound attenuation measures are not recommended by Administration.

Background:

The applicant, Tricor Design Group Inc., on behalf of the landowner Luxuria Homes applied for a development permit for the development of townhouses as described above. The subject site, 0.81 hectares, is located at the southwest corner of Key Drive SW and 24th Street SW with direct frontage on both Key Drive SW and 24th Street SW. The site is within a 5-minute walk to a city park space with additional recreational amenities.

The proposed development consists of 43 townhouse units distributed in 12 buildings in groupings of 3, 5, and 6 three-storey units. Each unit includes a double car garage

accessed via an internal lane. The units are all three bedrooms with second floor balcony. The units in the centre of the condominium development front onto a shared amenity space that includes benches, lighting, and trees.

The City's Land Use Bylaw (LUB) requires a minimum of 20% of the site be dedicated for landscaping. The proposed development exceeds this requirement by providing 31% for enhanced and low-water landscaping.

Land Use Bylaw Review

This review outlines the key aspects of the LUB as they pertain to the proposed development of townhouse dwellings at 3010 Key Drive SW.

Development Regulations

The proposed townhouse development creates a built environment that is generally meeting the purpose and intent of the R-3 District and the development standards, such as development density, required setbacks, massing and coverage, except for the minimum amenity area where a variance (23.2%, 19.18m² per unit) is needed. Please refer to the following tables which outline how the proposed development conforms to the prescribed regulations.

Development Density

Standard Density Range	15 Units/Acre – 25 Units/Acre
Proposed Density	<i>21 Units/Acre</i>
Variance	<i>None</i>

Minimum Setback

	Minimum Required Setback	Proposed Setback	Variance
Front Yard, Townhouse	3.0m	<i>Vary, min. 4.5m</i>	<i>None</i>
Side Yard, Townhouse End	1.5m	<i>Vary, min. 7.2m</i>	<i>None</i>
Rear Yard, Facing a Park or other Open Space	4.5m	<i>Vary, min. 4.5m</i>	<i>None</i>

Massing and Coverage

	Land Use Bylaw Requirement	Development Proposal	Variance Required
Maximum Building Height	13.0m / 3 Storeys	<i>11.26m / 3 Storeys</i>	<i>None</i>
Maximum Site Coverage	65% of Site Area	<i>30.5% of Site Area</i>	<i>None</i>

Minimum Landscaping	20% of Site Area	31% of Site Area	None
Minimum Amenity Area - Townhouses	25m ² per Unit	19.18m ² per Unit	Yes, 23.2% variance

The LUB requires a minimum of 25m² amenity space per unit for townhouses in R3 District. The proposed townhouse development provides about 19m² amenity space for each unit, in the form of both private amenity area (balcony) and shared amenity area. Therefore, the developer requested a 23.2% variance to the required private amenity area and addressed in part through substantive common amenity areas that well exceed minimum standards.

A 2.5m wide multi-use pathway is running along the north frontage of the site connecting the adjacent park and open space with additional recreational amenities. The townhouse units fronting Key Drive have direct access to the multi-use pathway, and a walkway system allows people who live in the internal units to access the park and open space conveniently and safely.

The requested amenity space variance does not appear to unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment, or value of neighbouring parcels of land. Given the proximity of additional recreational space and amenities to this site. Administration supports the requested variance.

Parking

The minimum parking requirement is two parking stalls per dwelling unit. Each unit is provided with two parking stalls, and 10 of the units also include an additional two parking stalls on their driveways. Since the development is intended to be a condominium, designated barrier-free stalls are required under Section 4.7 of the LUB. The proposed development includes 86 parking stalls for the units, plus four barrier-free stalls, for a total of 90 parking stalls.

Landscaping

In order to provide a pleasant living environment for the future residents and ensure adaptability to a changing climate, the proposed development provides both Enhanced and Low Water Landscaping treatments, which exceed the landscaping requirements by the LUB. In addition to dedicating 31% of the site area to landscaping, all trees and shrubs provided for the development are low water plantings.

In promote safety and clearly delineate the public and private spaces, the developer also proposes a 1.5m high decorative black metal fence along the property line for the units fronting 24th Street. The fence sits on the existing grade along the property line, with a concrete walkway running parallel to the fence.

Administration Recommendation:

That CISG accepts Administration's recommendation for CISG to approve Development Permit PL2401518 for the Townhouse Dwelling units located at 3010 Key Drive SW, with the recommended conditions of approval provided in Attachment #2.

Planning Rationale:

1. The proposed development is consistent with the intent of the Airdrie City Plan and the density requirement in Key Ranch NSP.
2. The proposed development generally complies with LUB regulations regarding the use, density, setbacks, massing and coverage. While a variance is requested for amenity space, the proposed shortfall is mitigated by the inclusion of both private and shared amenity areas, as well as proximity to nearby parks and recreational amenities. The variance doesn't appear to unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment, or value of neighbouring parcels of land.
3. The development provides adequate parking, including barrier-free stalls, in accordance with LUB requirements. The inclusion of driveway parking for select units further enhances convenience for residents and visitors.
4. The proposed built form and site design contribute to a safe and attractive streetscape, with direct pedestrian access from townhouse units to the public realm and a decorative metal fence that clearly delineates public and private space. These features support principles of Crime Prevention Through Environmental Design (CPTED).

Alternatives/Implications:

1. The CISG could choose to accept the Administration's recommendation for approval with amendments to the development permit conditions. (Attachment 2)
 - *The implication is CISG agrees with the Administration's recommendation but have amendments to the conditions.*

Budget Implications:

No budget implications are anticipated because of this development.

Communications and Engagement:

Pursuant to Section 2.4.6 (2) of the LUB, the decision will be advertised in the "City Connection" newspaper and on the City's website. In addition, a notification letter will be mailed to landowners within 60m of the subject property. A 21-day appeal period will be required from the date of decision.

Recommendation:

That the Community Infrastructure and Strategic Growth Standing Committee approves development permit PL2401518 to allow for the development of the Townhouse Dwelling units located at 3010 Key Drive SW, with the recommended conditions of approval outlined in Attachment #2.

Shengxu Li, RPP, MCIP
Planner 2

Staff Presenter:	Shengxu Li
External Presenter:	None
Department:	Current Planning
Reviewed by:	Stephen Utz, Director, Strategic Growth & Investment
Attachments:	#1: Development Permit Drawings #2: Conditions of Approval



MULTI-FAMILY TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

ISSUE DATE : 24_10_07

REVISION DATE : 25_06_09

#202, 4216 10 STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordesigns.com
www.tricordesigns.com

LIST OF DRAWINGS:

A-001	SITE PLAN / GRADES
A-002	SITE PLAN / DIMENSTIONS
A-003	FIRE ACCESS ROUTE DISTANCE
A-004	FIRE TRUCK MANEUVER
A-005	PROPOSED SILO TRUCK ROUTE/COLLECTION
A-006	LIMITING DISTANCE
A-007	LANDSCAPE
A-008	LIGHTING
A-009	ELEC & GASMETER
A-010	SIGNS
A-011	PHASES
A-012	DETAILS
INFO-001	SNOW STORAGE
INFO-002	AMENITY SPACES
A-013 : A-022	BLDG 1
A-023 : A-032	BLDG 2
A-033 : A-044	BLDG 3
A-045 : A-056	BLDG 4
A-057 : A-068	BLDG 5
A-069 : A-080	BLDG 6
A-081 : A-091	BLDG 7
A-092 : A-098	BLDG 8





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MULTI-FAMILY TOWNHOMES

3010 KEY DRIVE SW

LOT 1, BLOCK 1, PLAN 2312456

ISSUE DATE :

24_10_07

REVISION DATE :

25_05_14

LEGAL DESCRIPTION: LOT 1, BLOCK 1, PLAN 2312456 MUNICIPAL ADDRESS: 3010 KEY DRIVE, AIRDRIE, AB LAND USE CLASSIFICATION:	
LOT AREA:	8104.625 m ²
MAXIMUM BUILDING HEIGHT:	13.0m/3 STOREYS
GENERAL CALCULATIONS: PROPOSED BUILDINGS AREA:	3323.715 m ²
% COVERAGE:	41.01%
GENERAL REQUIREMENTS: THE CITY OF AIRDRIE LAND USE BYLAW B-01/2016 THE KEY RANCH NEIGHBOURHOOD STRUCTURE PLAN THE WEST HILLS COMMUNITY AREA STRUCTURE PLAN	
PROJECT SETBACK REQUIREMENTS: 1. MINIMUM 3.00m FRONT SETBACK 2. MINIMUM 1.50m FROM SIDEYARD 3. MINIMUM 4.50 m FROM REAR YARD 4. MAXIMUM BUILDING HEIGHT 13.0m/3 STOREYS	
NOTE: - ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED - CONSTRUCTION ACCESS TO BE FROM 24TH STREET WEST BECAUSE IT IS NON-CONSTRUCTED - TOWN BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.	
NOTE: - ALL CONSTRUCTION ACTIVITIES WILL BE WITHIN PROPERTY LIMITS ONLY.	
PARKING CALCULATION: NUMBER OF UNITS: 43 UNITS REQUIRED PARKING STALLS: 43 x 2=86 PARKING STALLS REQUIRED VISITORS PARKING: 0 TOTAL REQUIRED: 86 PARKING STALLS PROPOSED INTERNAL GARAGES: 86 GARAGE (WITHIN UNITS) PROPOSED BARRIER FREE STALL: 4 PARKING STALLS TOTAL PROPOSED + POTENTIAL : 89 PARKING STALLS	
BICYCLE STALLS:- NUMBER OF UNITS: 43 UNITS REQUIRED BICYCLE STALLS: 43 X 1 = 43 BICYCLE STALLS PROPOSED BICYCLE STALLS: (43WITHIN UNITS +4) =47 BICYCLE STALLS	
DENSITY:- MINIMUM DENSITY : 37 UNITS / 1 HECTARE 29.99UNITS / 0.8104625 HECTARE = 30 UNITS 15UNITS / 1 ACRE 30UNITS / 2.00 ACRE = 30 UNITS MAXIMUM DENSITY : 62 UNITS / 1 HECTARE 50.25UNITS / 0.8104625 HECTARE = 51 UNITS 25UNITS / 1 ACRE 50UNITS / 2.00 ACRE = 50 UNITS PROPOSED DENSITY : 43 UNITS / 0.8104625 HECTARE 43UNITS / 2.00 ACRE	
AMENITY AREA:- REQUIRED AMENITY AREA: 25.0 m ² PER UNIT PROPOSED AMENITY AREA (COMMN AREA+BALCONIES) : 825.190 m ²	
MAX CONTINUOUS BUILDING FRONTAGE : REQUIRED : 6 UNITS / 45.0 m PROPOSED : 6 UNITS / 36.58 m	
SUMMARY OF BUILDING HEIGHT OF EACH BUILDING :	
BUILDING (1)	BUILDING (2)
11.26M	11.26M
BUILDING (5)	BUILDING (6)
11.26M/11.42M	11.23M/11.39M
	BUILDING (7)
	11.26M/11.42M
	BUILDING (8)
	11.28M

(3PLEX) BUILDING (8)		UNIT (41)		UNIT (42)		UNIT (43)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	797.00	74.04
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1434.00	133.22
	GROUND FLOOR	144.00	13.38	144.00	13.38	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1577.00	146.51
	FIRST BALCONY	172.00	15.98	172.00	15.98	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00
GARAGE		420.00	39.02	420.00	39.02	420.00	39.02

(5PLEX) BUILDING (3-6)		UNIT (17-30)		UNIT (16-31)		UNIT (15-32)		UNIT (14-33)		UNIT (13-34)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	641.00	59.55	641.00	59.55	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	802.00	74.51	802.00	74.51	813.00	75.53
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1443.00	134.06	1443.00	134.06	1450.00	134.71
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	145.00	13.47	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1587.00	147.44	1588.00	147.53	1593.00	147.99
	FIRST BALCONY	172.00	15.98	172.00	15.98	173.00	16.07	173.00	16.07	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
GARAGE		420.00	39.02	420.00	39.02	423.00	39.30	423.00	39.30	420.00	39.02

(6PLEX) BUILDING (1-2)		UNIT (6-12)		UNIT (5-11)		UNIT (4-10)		UNIT (3-9)		UNIT (2-8)		UNIT (1-7)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	797.00	74.04	797.00	74.04	797.00	74.04	813.00	75.53
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1434.00	133.22	1434.00	133.22	1434.00	133.22	1450.00	134.71
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	144.00	13.38	144.00	13.38	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1578.00	146.60	1578.00	146.60	1578.00	146.60	1593.00	147.99
	FIRST BALCONY	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
GARAGE		420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02

(6PLEX) BUILDING (4-5-7)		UNIT (18-29-40)		UNIT (19-28-39)		UNIT (20-27-38)		UNIT (21-26-37)		UNIT (22-25-36)		UNIT (23-24-35)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	641.00	59.55	641.00	59.55	637.00	59.18	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	802.00	74.51	802.00	74.51	797.00	74.04	813.00	75.53
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1443.00	134.06	1443.00	134.06	1434.00	133.22	1450.00	134.71
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	145.00	13.47	144.00	13.38	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1587.00	147.44	1588.00	147.53	1578.00	146.60	1593.00	147.99
	FIRST BALCONY	172.00	15.98	172.00	15.98	173.00	16.07	173.00	16.07	172.00	15.98	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
GARAGE		420.00	39.02	420.00	39.02	423.00	39.30	423.00	39.30	420.00	39.02	420.00	39.02

AREA \ BUILDING	BUILDING (1)		BUILDING (2)		BUILDING (3)		BUILDING (4)		BUILDING (5)		BUILDING (6)		BUILDING (7)		BUILDING (8)	
DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
FIRST FLOOR	3822.00	355.08	3822.00	355.08	3193.00	296.64	3830.00	355.82	3830.00	355.82	3193.00	296.64	3830.00	355.82	1911.00	177.54
SECOND FLOOR	4798.00	445.75	4798.00	445.75	4011.00	372.63	4808.00	446.68	4808.00	446.68	4011.00	372.63	4808.00	446.68	2391.00	222.13
SUB TOTAL	8620.00	800.82	8620.00	800.82	7204.00	669.27	8638.00	802.50	8638.00	802.50	7204.00	669.27	8638.00	802.50	4302.00	399.67
GROUND FLOOR	863.00	80.18	863.00	80.18	720.00	66.89	864.00	80.27	864.00	80.27	720.00	66.89	864.00	80.27	431.00	40.04
TOTAL	9483.00	881.00	9483.00	881.00	7924.00	736.16	9502.00	882.76	9502.00	882.76	7924.00	736.16	9502.00	882.76	4733.00	439.71
FIRST BALCONY	1032.00	95.88	1032.00	95.88	862.00	80.08	1034.00	96.06	1034.00	96.06	862.00	80.08	1034.00	96.06	516.00	47.94
SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
GARAGE	2520.00	234.12	2520.00	234.12	2106.00	195.65	2526.00	234.67	2526.00	234.67	2106.00	195.65	2526.00	234.67	1260.00	117.06
GRAND TOTAL	13035.00	1210.99	13035.00	1210.99	10892.00	1011.90	13062.00	1213.50	13062.00	1213.50	10892.00	1011.90	13062.00	1213.50	6509.00	604.71
TOTAL															93549.00	8690.99

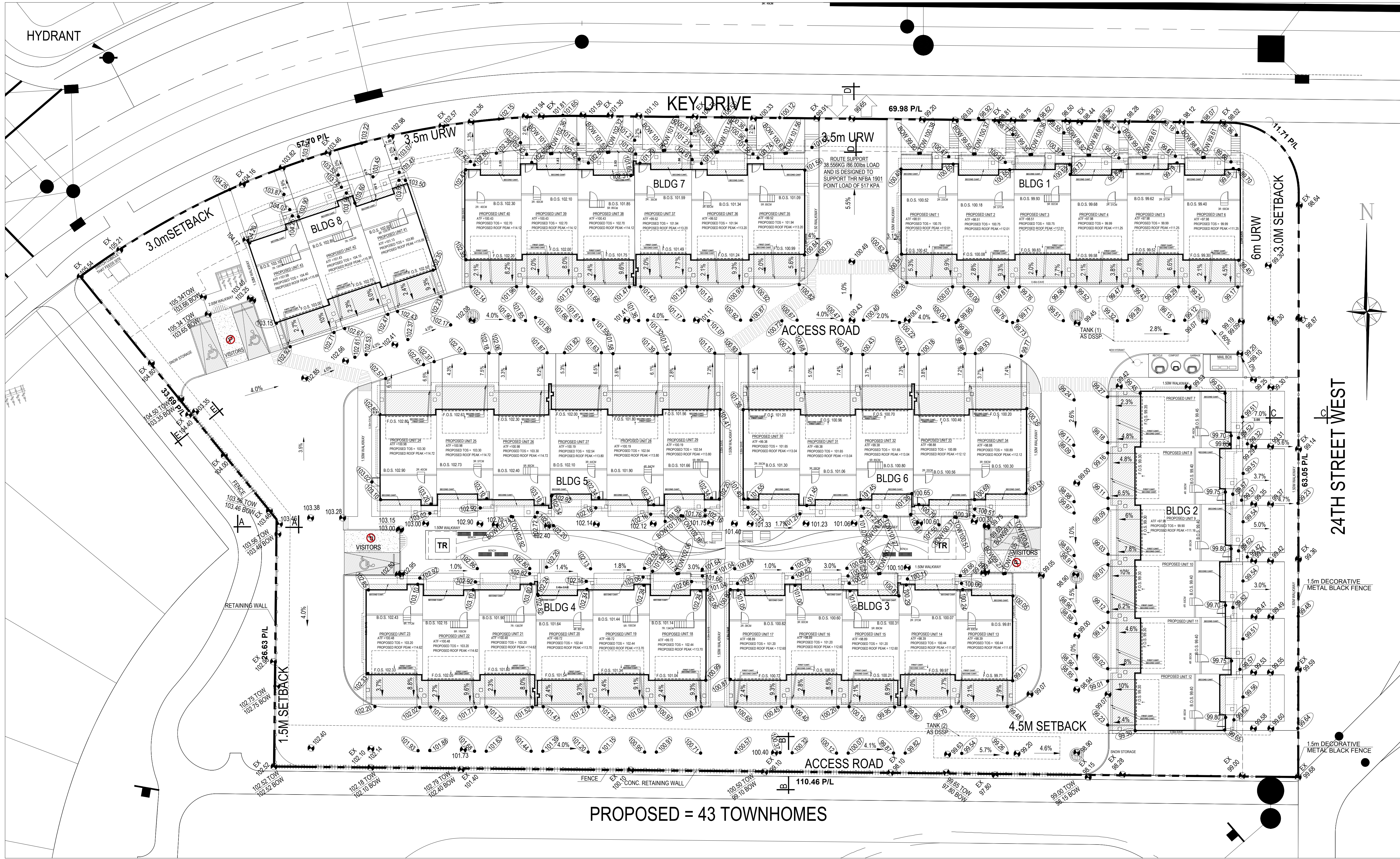
AMENITY SPACE CALCULATION:

REQUIRED AMENITY SPACE = 25.0 Sq m. for each unit.
TOTAL AMENITY SPACE REQUIRED = 25 X 43 = 1075 Sq m.

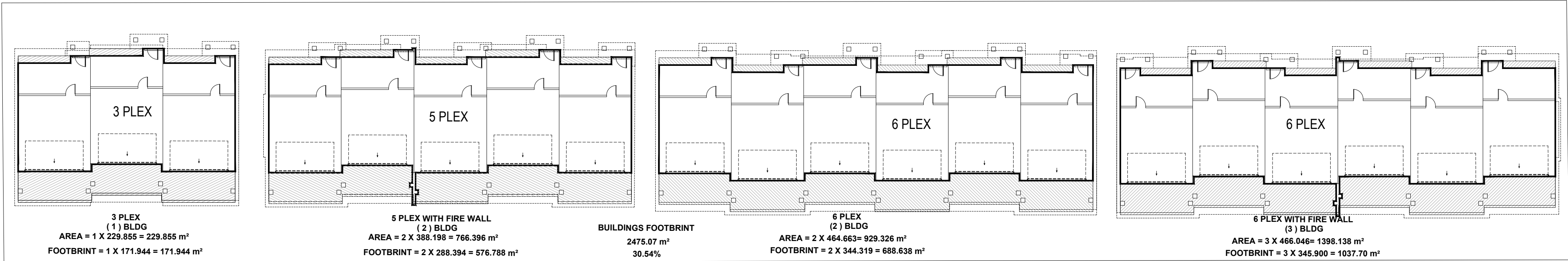
PROVIDED AMENITY SPACE = BALCONIES + COMMON AREA
= 824.940 Sq m.

AMENITY SPACE PROVIDED FOR EACH UNIT= 19.18 Sq m.

AREA NEED TO BE RELAXED FOR AMENITY = 5.8 Sq m. (25 Sq m. required)
RELAXATION REQUIRED FOR 23.2% OF AMENITY SPACE FOR ENTIRE SITE.



PROPOSED = 43 TOWNHOMES



LEGEND	DESCRIPTION
	HYDRANT
	TRANSFORMER
	RETAINING WALL
	FENCE
	CANTILVER

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL
tricordesigns.com

#202.4216 10 STREET NE
CALGARY, AB
T2E6K3

PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordesigns.com

KEY PLAN

NOTES

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- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023-ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S.	E.Z.H.A.
02	2025/03/24	DTR	N.S./A.M.	E.Z.H.A.
03	2025/05/14	DTR2	A.M.	E.Z.

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S./A.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

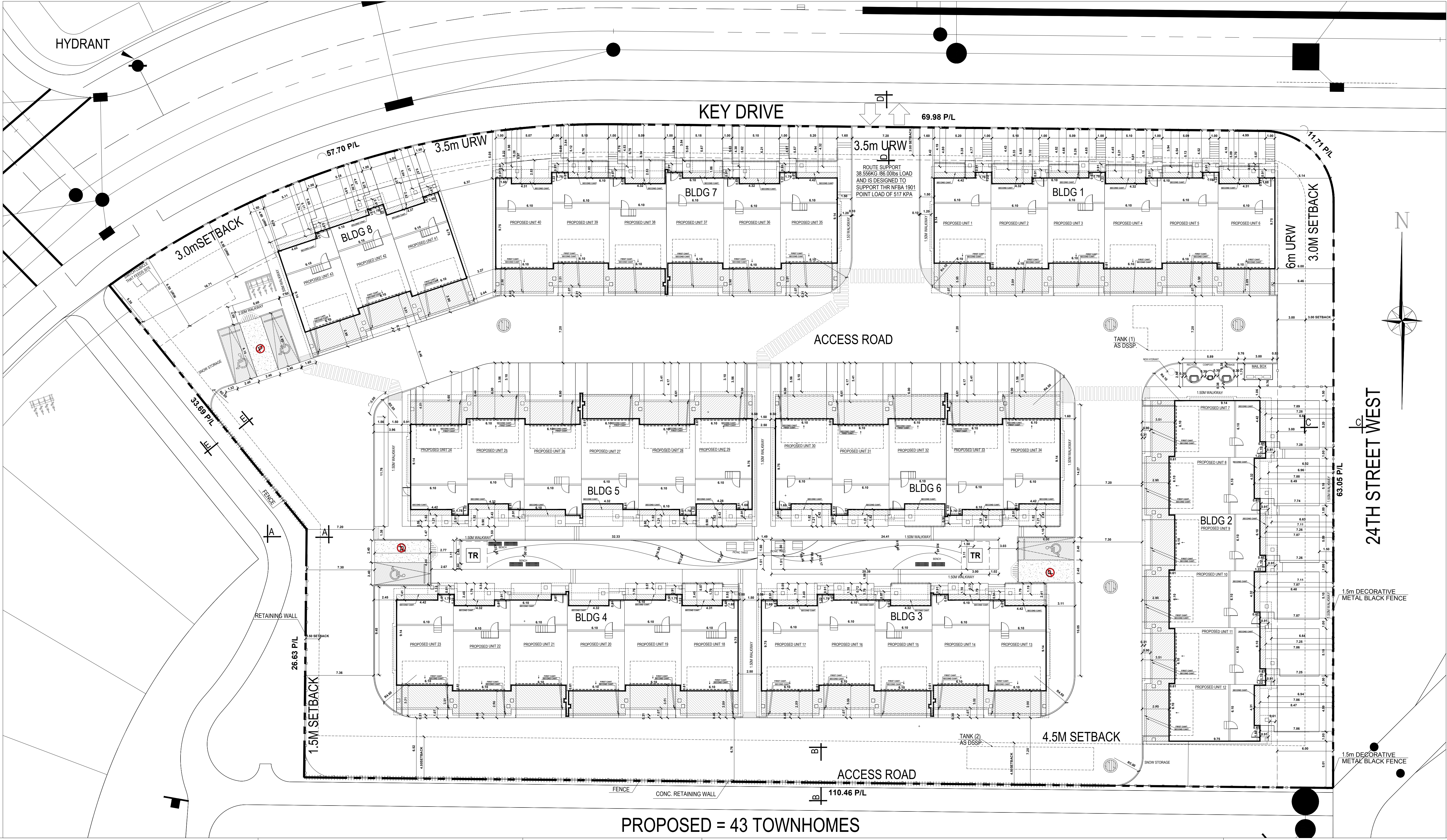
DRAWING TITLE :

SITE PLAN / GRADES

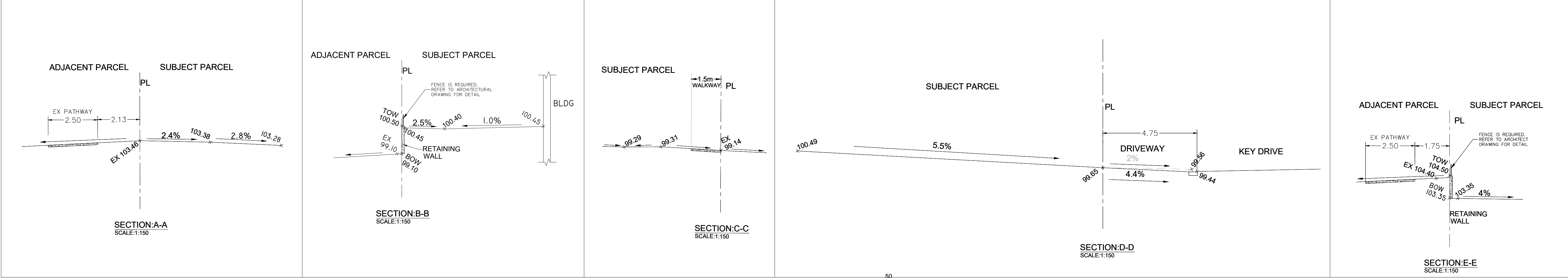
DRAWING NO.

A-001

DRAWN BY: N.S./A.M. CHECKED BY: E.Z./H.A. DATE: 2025_05_14
SCALE: 1:200



PROPOSED = 43 TOWNHOMES



DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

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CALGARY, AB
T2E6K3

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KEY PLAN

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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z.H.A
02	2025/03/24	DTR	N.S.I.A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S.I.A.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / DIMENSIONS

DRAWING NO.

A-002

DRAWN BY:

N.S / A.M

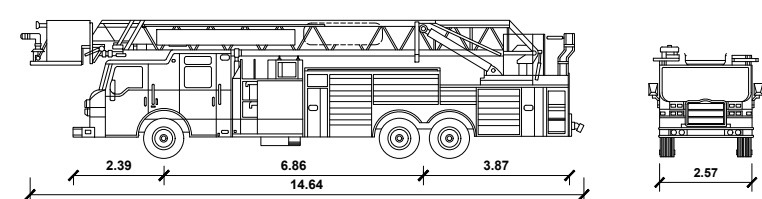
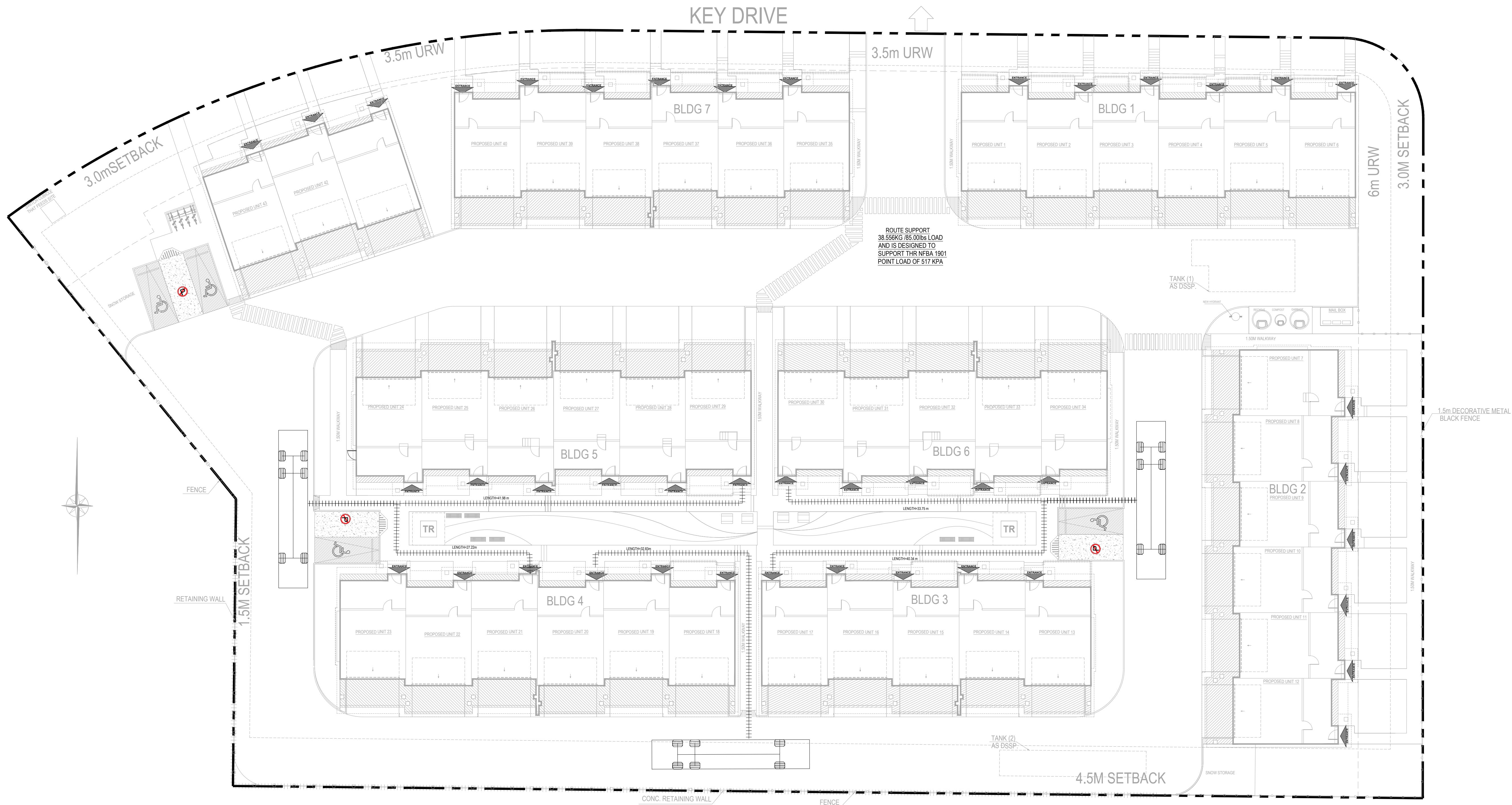
CHECKED BY:

E.Z / H.A

DATE:

2025_05_14

SCALE: 1:200



Bronto fire truck
Overall Length 14.643m
Overall Width 2.438m
Overall Body Height 3.703m
Min Body Ground Clearance 0.286m
Track Width 2.570m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 10.180m

SYMBOL LEGEND

THE DISTANCE BETWEEN THE
FIRE TRUCK AND THE FURTHEST
UNIT ENTRANCE

ENTRANCES TO EACH UNITS FOR
BUILDINGS

DESIGNED BY:

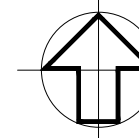
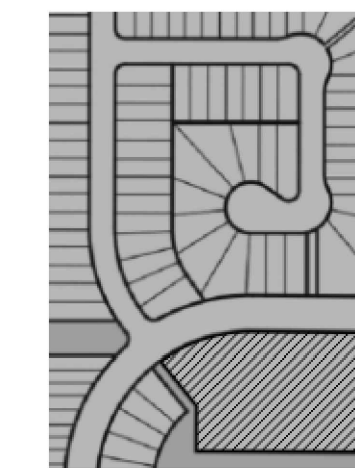


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KEY PLAN



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REVISIONS:

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01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z.H.A
02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRE ACCESS ROUTE DISTANCE

DRAWING NO.

A-003

DRAWN BY:

CHECKED BY:

DATE:

N.S / A.M

E.Z / H.A

2025_05_14

SCALE: 1: 200

REVISIONS:				
No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z/H.A
02	2025/03/24	DTR	N.S/A.M	E.Z/H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:				
No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A/M	E.Z/H.A

LUXURIA HOMES
AIRDRIE, AB

**MULTI-FAMILY
TOWNHOMES**
3010 KEY DRIVE, AIRDRIF, AB
LOT 1, BLOCK 1, PLAN 2312456

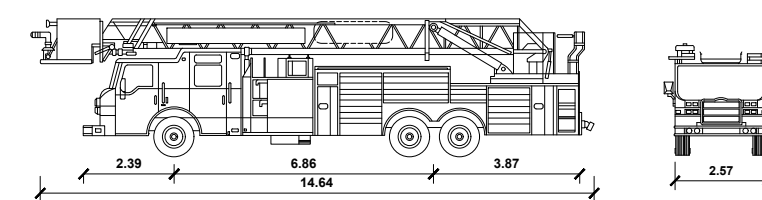
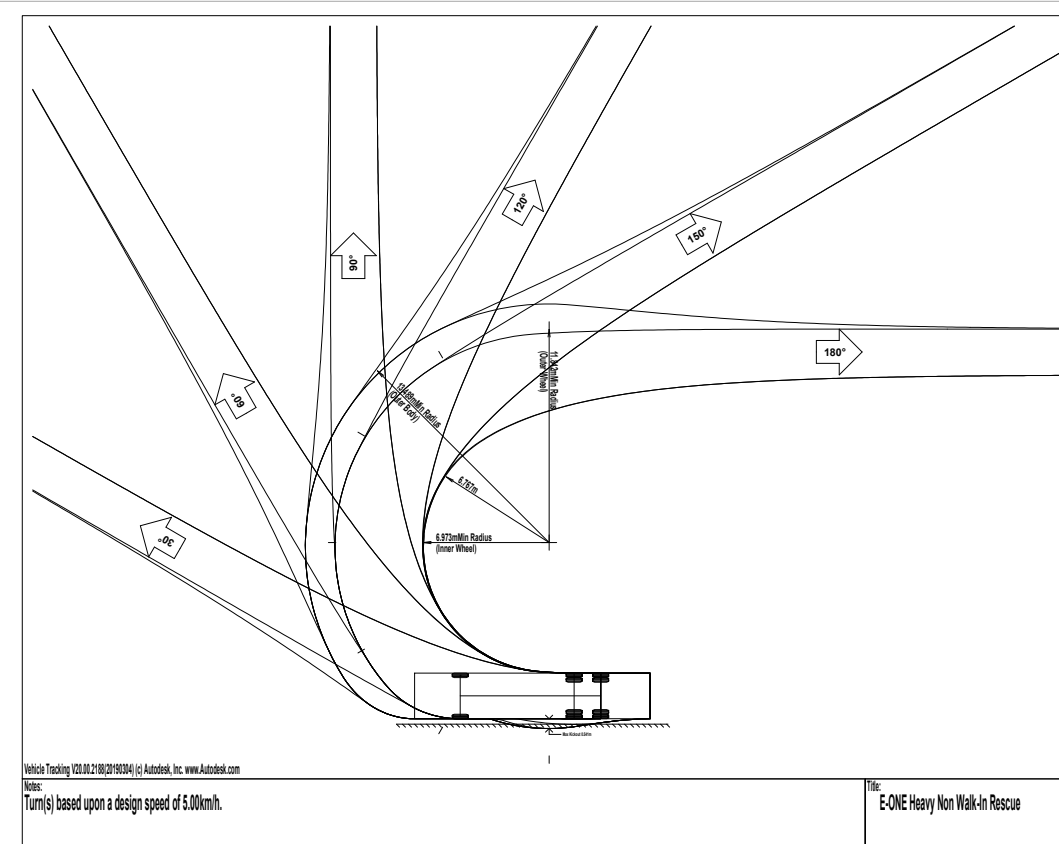
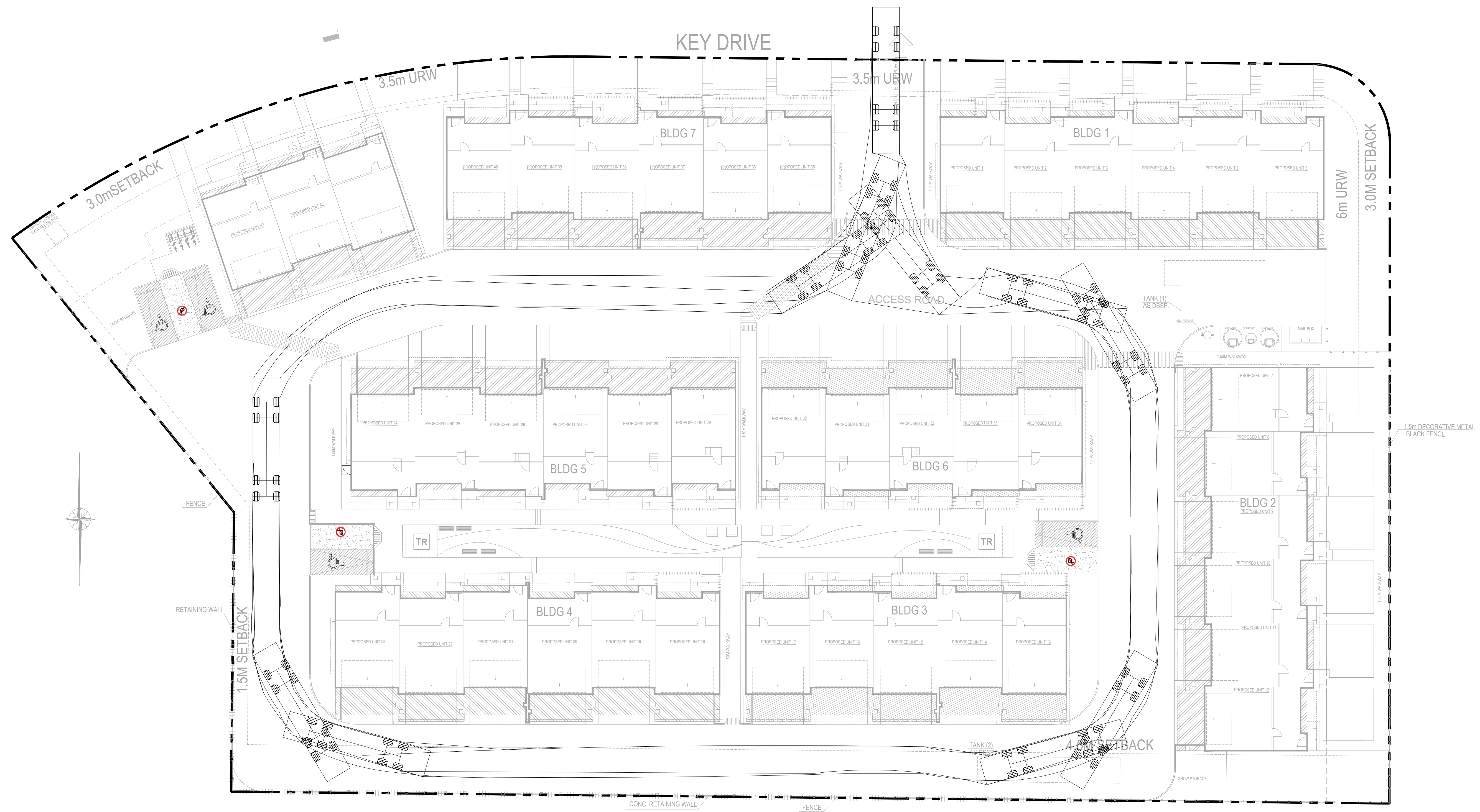
DEVELOPMENT PERMIT SET

FIRE TRUCK MANEUVER

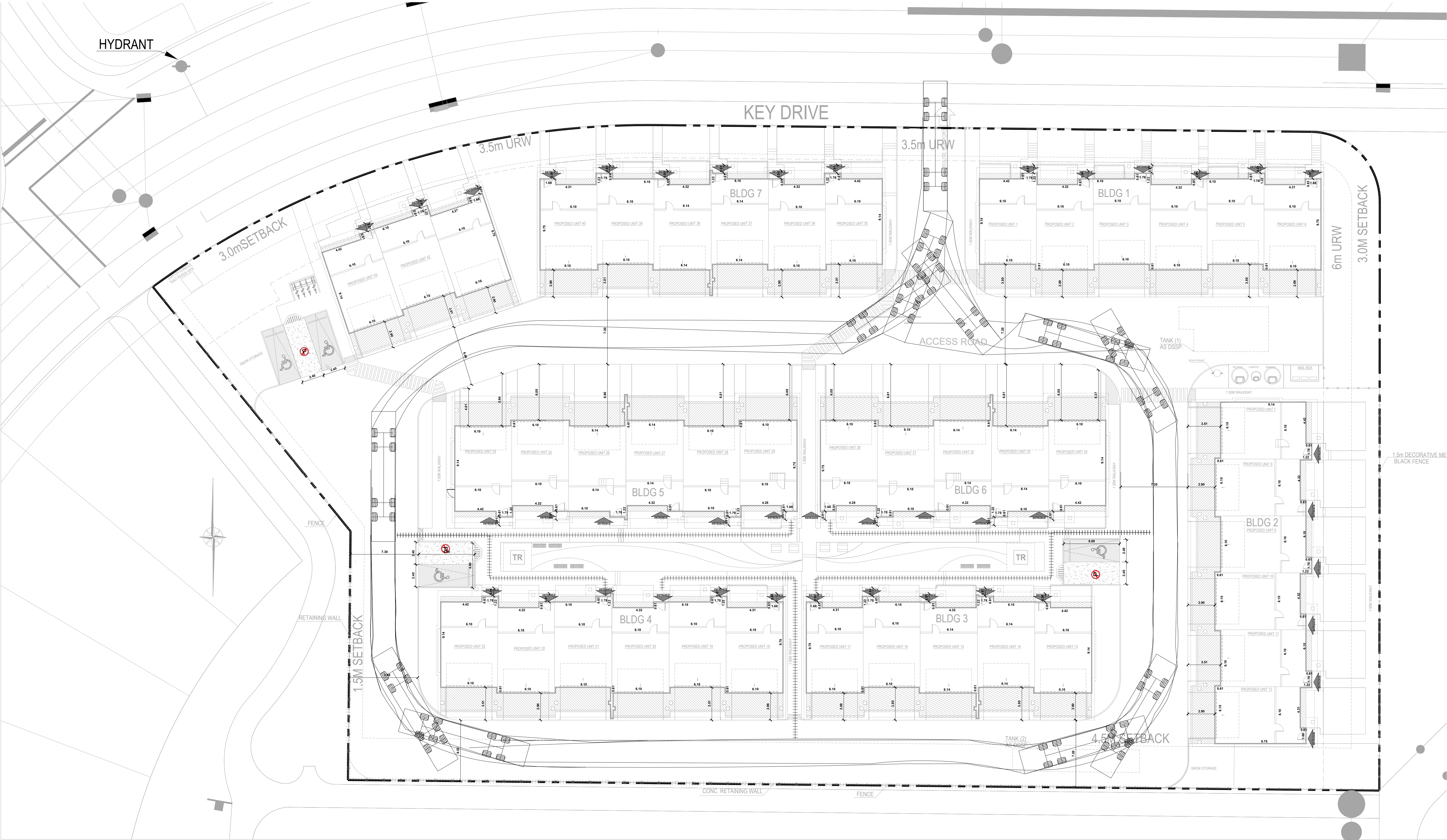
A-004

DRAWN BY: N.S / A.M	CHECKED BY: E.Z / H.A	DATE: 2025_05_14
------------------------	--------------------------	---------------------

SCALE: 1: 200



Bronto fire truck	
Overall Length	14.643m
Overall Width	2.438m
Overall Body Height	3.708m
Min Body Ground Clearance	0.286m
Track Width	2.570m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	10.180m



DESIGNED BY:

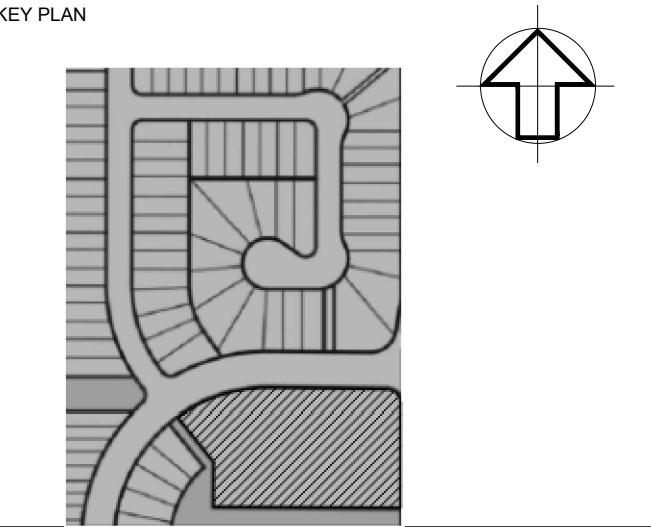


TRICOR
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REVISIONS:			
No.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S / E.Z/H.A
02	2025/03/24	DTR	N.S/A.M / E.Z/H.A
03	2025/05/14	DTR2	A.M / E.Z

ISSUES:			
No.	DATE	DESCRIPTION	DRAWN BY/CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M / E.Z/H.A

THE CLIENT :

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRE ACCESS PLAN

DRAWING NO.

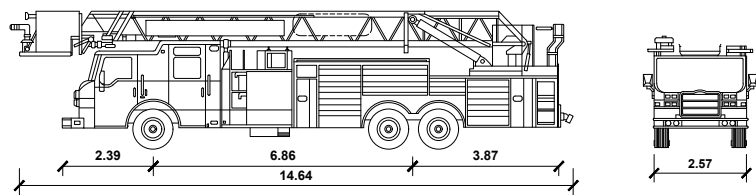
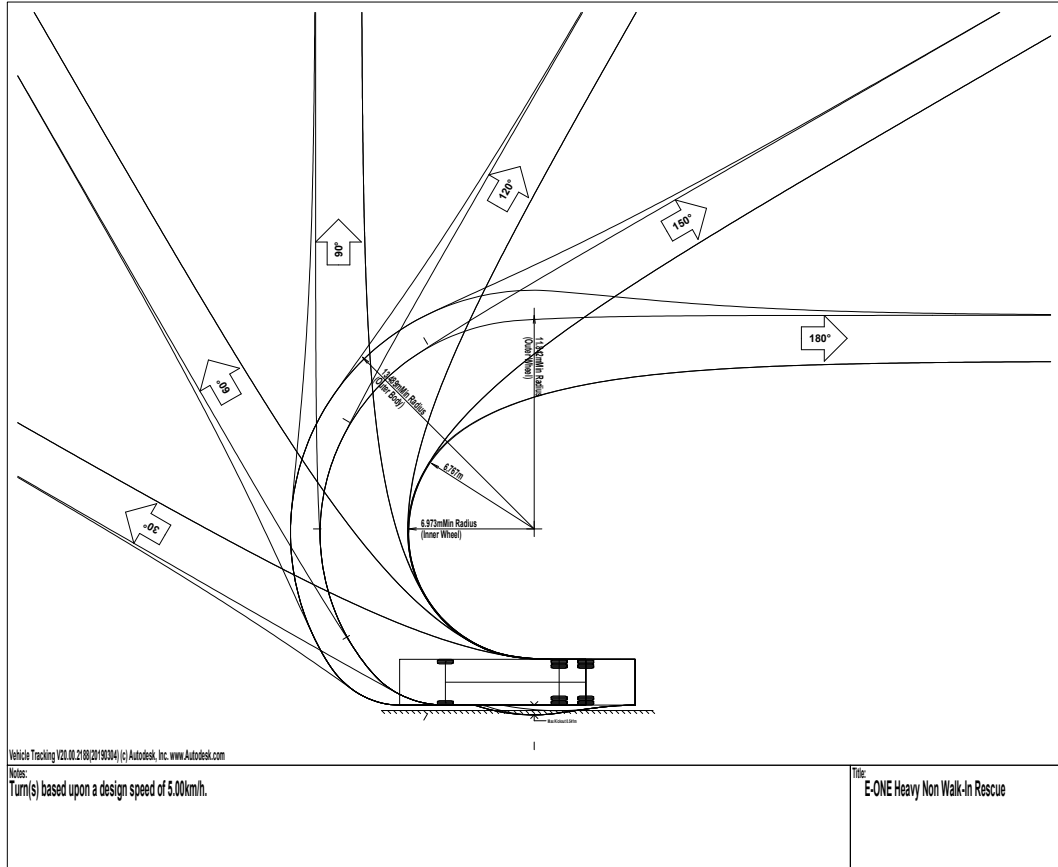
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DRAWN BY:
N.S / A.M

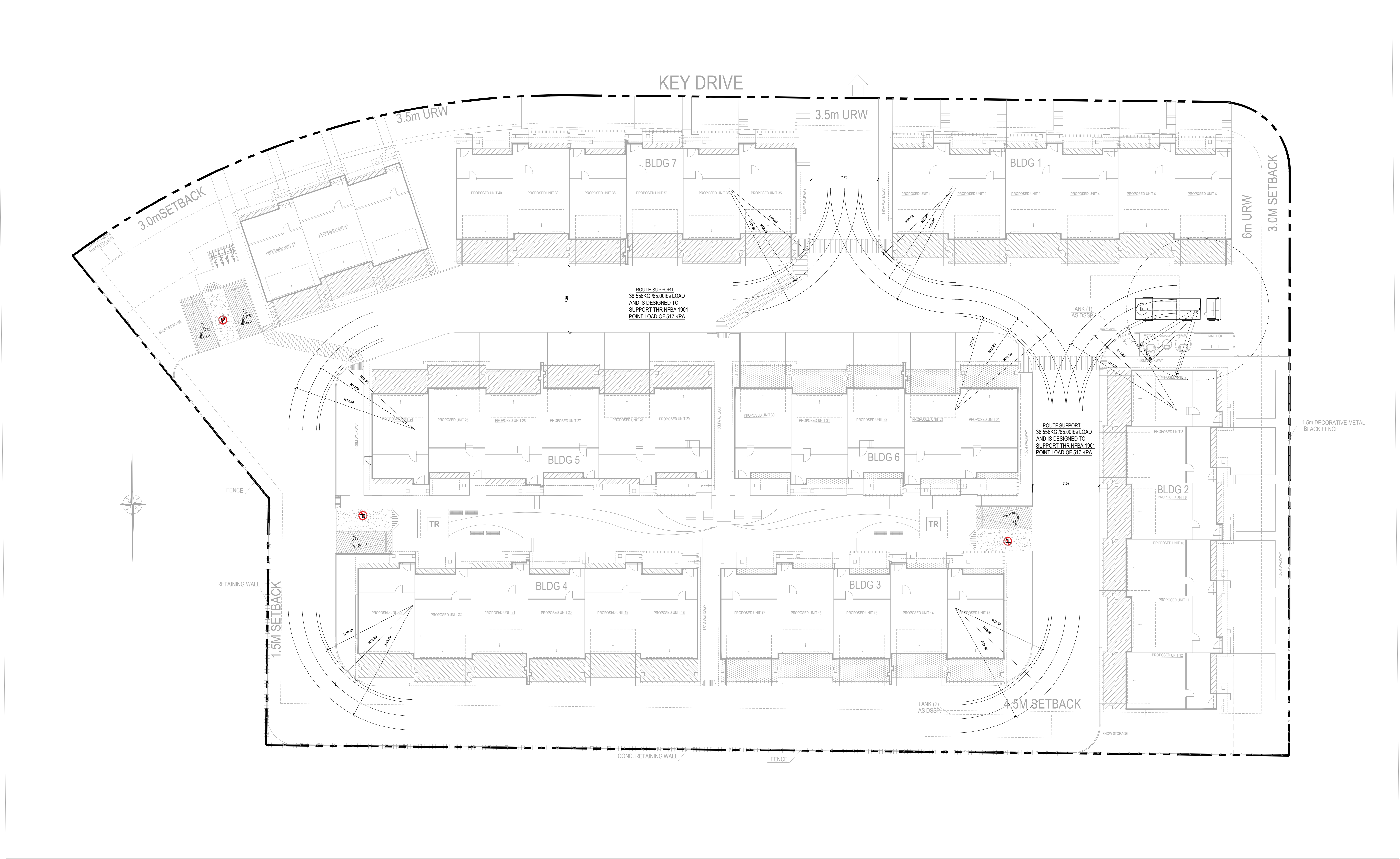
CHECKED BY:
E.Z / H.A

DATE:
2025_05_14

SCALE: 1: 200



Bronto fire truck
Overall Length 14.643m
Overall Width 2.438m
Overall Body Height 3.708m
Min Body Ground Clearance 0.288m
Track Width 2.570m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 10.180m



DESIGNED BY:

TRICOR

DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

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KEY PLAN

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REVISIONS:

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01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z.H.A
02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED SILO TRUCK ROUTE
/COLLECTION

DRAWING NO.

A-005

DRAWN BY:

N.S/A.M

CHECKED BY:

E.Z/H.A

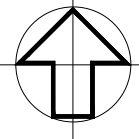
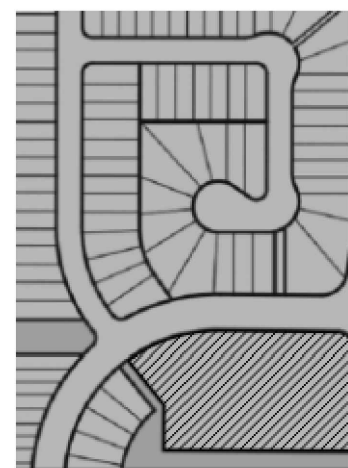
DATE:

2025_05_14

SCALE:

1: 200

54



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2025/03/24	DTR	N.S/A.M	E.Z/H.A
2025/05/14	DTR2	A.M	E.Z

ES:

DATE	DESCRIPTION	DRAWN BY	CHK'D BY
2024/10/07	DEVELOPMENT PERMIT	N.S/A/M	E.Z/H/A

CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

**MULTI-FAMILY
TOWNHOMES**
KEY DRIVE, AIRDRIE, AB
BLOCK 1, PLAN 2312

ING SET :

DEVELOPMENT PERMIT SET

WORKING TITLE :

LIMITING DISTANCE

ING NO.

A-006

IN BY:	CHECKED BY:	DATE:
/ A.M	E.Z / H.A	2025_05_14
E: 1:200		





◆ PATHWAY LIGHTS

GENERAL NOTES:

1. MAINTAIN 3.0m OF CLEARANCE FROM ENMAX EQUIPMENT AND METALLIC OBJECTS.
2. NO CURBS ALLOWED WITHIN TRANSFORMER CLEARANCE BOX.
3. MAINTAIN 2.0m OF CLEARANCE FORM PARKING SPOT TO TRANSFORMER. CANNOT GRADE WITHIN 3.0m OF OVERHEAD POLES.
4. SLOPE MUST BE AT 6:1 MAXIMUM WITHIN THE TRANSFORMER OPERATING AREA.

NOTES

- ① ALL SITE LIGHTINGS TO BE CONTROLLED VIA EXTERIOR LIGHTING CONTROL.

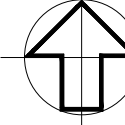
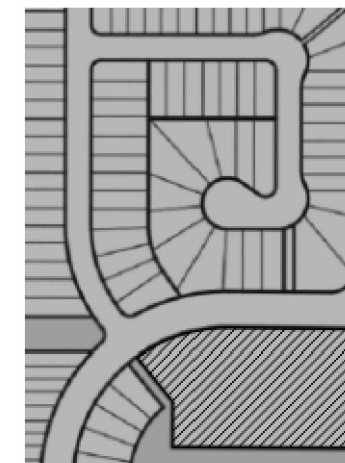
DESIGNED BY:



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KEY PLAN



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02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN Z312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / LIGHTING

DRAWING NO.

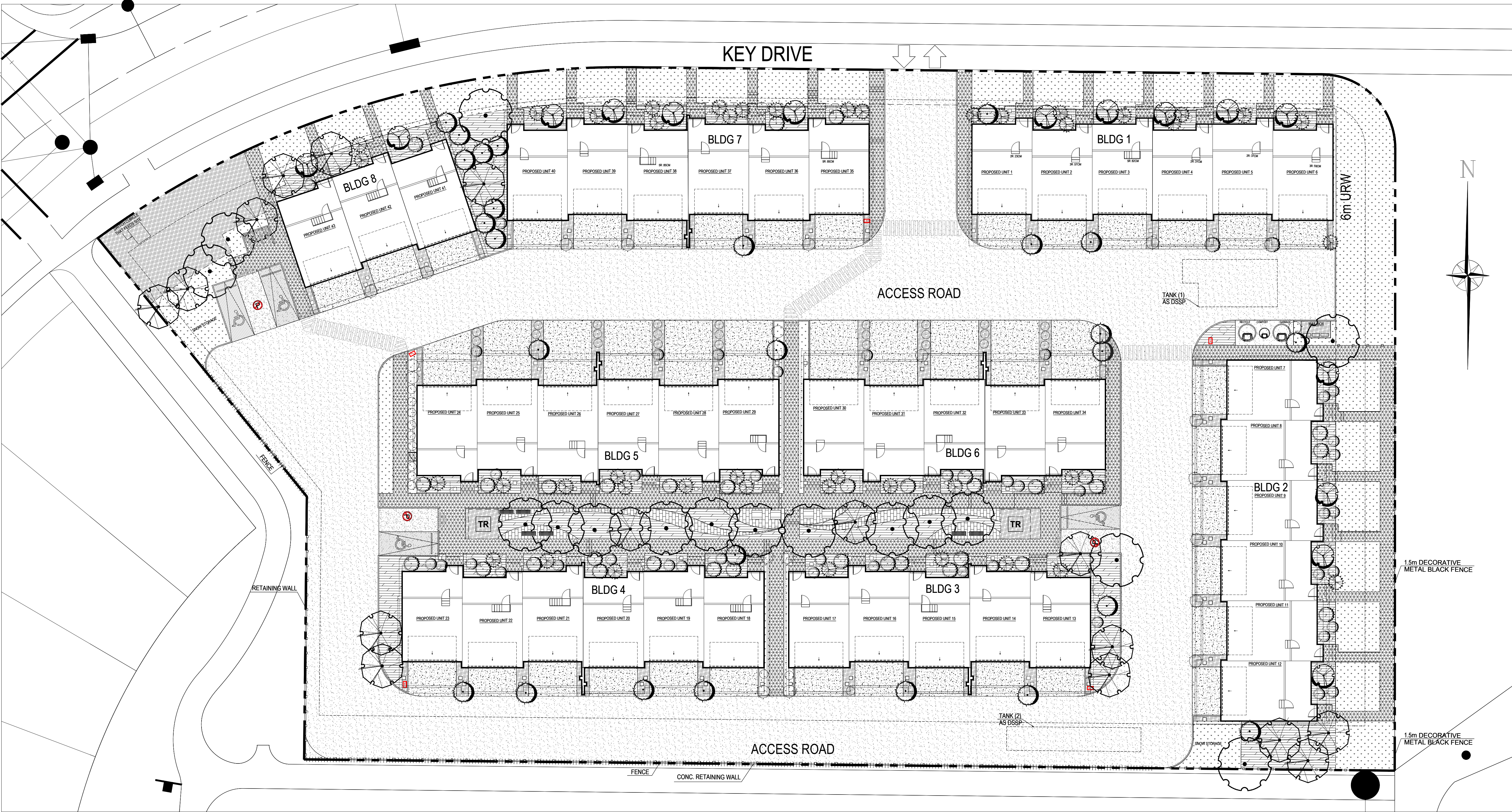
A-007

DRAWN BY:
N.S / A.M

CHECKED BY:
E.Z / H.A

DATE:
2025_05_14

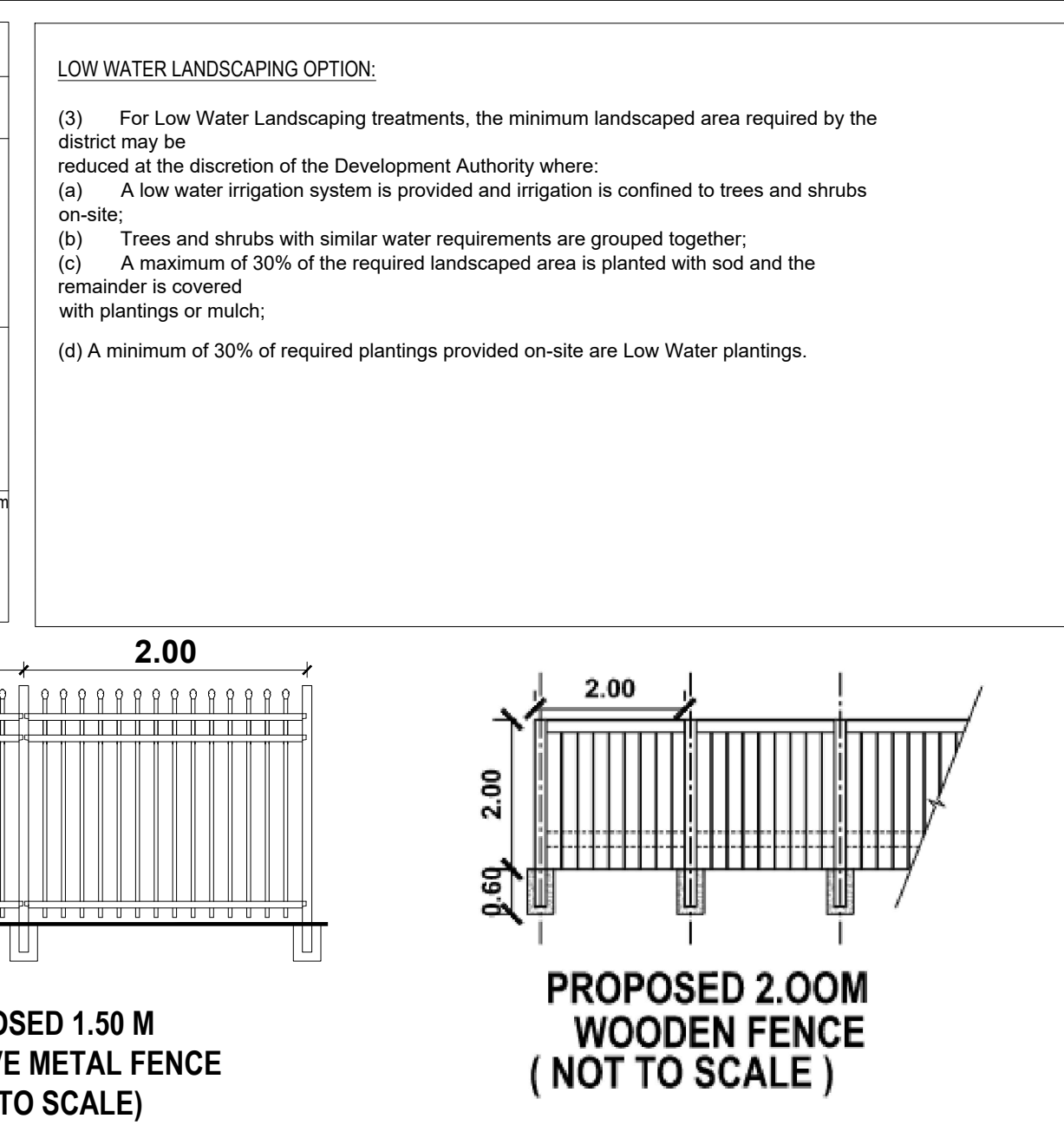
SCALE: 1: 200



LEGEND FOR LANDSCAPE			
	PROPOSED BUILDINGS	= 2475.07m ² or 30.54%	
	ASPHALT LANE	= 2243.46 m ² = 27.68%	
	CONCRETE APRON	= 822.935 m ² = 10.15%	
	SOD	= 790.73 m ² = 9.75%	
	PLANTING BEDS	= 665.961m ² = 8.22%	
	CONCRETE SIDEWALK	= 684.673 m ² = 8.45%	
	CURB	= 26.356 m ² = 0.33%	
	BARKCHIP / MULCH	= 326.658 m ² = 4.03%	
	EXPOSED PAVING	= 68.807 m ² = 0.85%	
TOTAL = 8104.625 m ²			
AREA CALCULATION:			
TOTAL LOT AREA	= 8104.625 m ²	= 100.00%	
1. BUILDING AREA	= 2473.805 m ²	= 30.52%	
2. NON-LANDSCAPE AREA	= 3078.338 m ²	= 37.98%	
3. LANDSCAPE	= 2551.217m ²	= 31.48%	

AREA BREAKDOWN:			
2. NON-LANDSCAPE AREA	= 3092.74 m ²	= 38.16%	
ASPHALT LANE	= 2243.46 m ²	= 72.53%	
CONCRETE APRON	= 822.935 m ²	= 26.60%	
CURB	= 26.356m ²	= 0.85%	
3. LANDSCAPE	= 2536.82 m ²	= 31.30%	
A. HARDSCAPE:			
CONCRETE SIDEWALK	= 684.673m ²	= 26.98%	
EXPOSED PAVING	= 68.807 m ²	= 2.71%	
B. SOFTSCAPE:			
SOD	= 790.73 m ²	= 31.17%	
PLANTING BEDS	= 665.961 m ²	= 26.25%	
BARK CHIP / MULSH	= 326.658 m ²	= 12.87%	
LANDSCAPE CALCULATION:			
LANDSCAPE REQUIRED	= 1620.925 m ²	= 20.00%	
LANDSCAPE PROVIDED	= 2551.217 m ²	= 31.30%	
SYMBOL	DESCRIPTION		
	WAY FINDING SIGN		

ENHANCED LANDSCAPE CALCULATIONS: R-3			
BYLAW		REQUIRED	PROVIDED
3.8. 2. (a)	1.0 trees and 2.0 shrubs are planted for every 30m ² of landscaped area provided	Total landscape area provided = 2551.217 sq.m. No. of trees required 2551.217/30 = 85 Trees No. of shrubs required 86 x 2 = 172 Shrubs	- No. of trees provided=85 Trees - No. of shrubs provided= 170 Shrubs
3.8. 2. (b)	All deciduous trees have a minimum caliper of 70mm at the time of planting		Total proposed deciduous trees have a minimum caliper of 70mm= 32
3.8. 2. (c)	Coniferous trees have a minimum height of 3.0 metres at the time of planting.		Total proposed Coniferous trees have a minimum height of 3.0 metres=54



LOW WATER DECIDUOUS TREES;							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT. AT	DESCRIPTION
NEW		16	Acer ginnala	Amur Maple	B&B	min 70mm caliper	All deciduous trees have a minimum caliper of 70mm at the time of planting
NEW		16	Prunus padus commutata	Mayday	B&B	min 70mm caliper	
LOW WATER CONIFEROUS TREES:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT. X SPR.)	DESCRIPTION
NEW		26	Picea pungens	Blue Spruce	B&B	3m height at planting	Coniferous trees have a minimum height of 3.0 metres at the time of planting.
NEW		28	Pinus contorta var. latifolia	Lodgepole pine	B&B	3m height at planting	
LOW WATER SHRUBS:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT. X SPR.)	
NEW		15	Elaeagnus commutata	Wolf willow	POTTED	0.60m height and 0.60m caliper at planting	
NEW		35	Ribes alpinum	Alpine currant	POTTED	0.60m height and 0.60m caliper at planting	
NEW		37	Amelanchier alnifolia	Saskatoon berry		0.60m height and 0.60m caliper at planting	
CONIFEROUS SHRUBS; TOTAL 2:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	MATURE SIZE (HT. X SPR.)	
NEW		43	Calgary Carpet Juniper	Juniperus sabina 'calgary carpet'	POTTED	0.80m height and 0.60m caliper at planting	
NEW		42	Dwarf Mugo Pine	pinus mugo 'var. pumilio'	POTTED	0.60m height and 0.60m caliper at planting	

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KEY PLAN

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02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / LANDSCAPE

DRAWING NO.

A-008

DRAWN BY:
N.S / A.M

CHECKED BY:
E.Z / H.A

DATE:
2025_05_14

SCALE: 1: 200



SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	ELECTRIC METER
	GAS METER

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ISSUES:

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LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

**MULTI-FAMILY
TOWNHOMES**
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

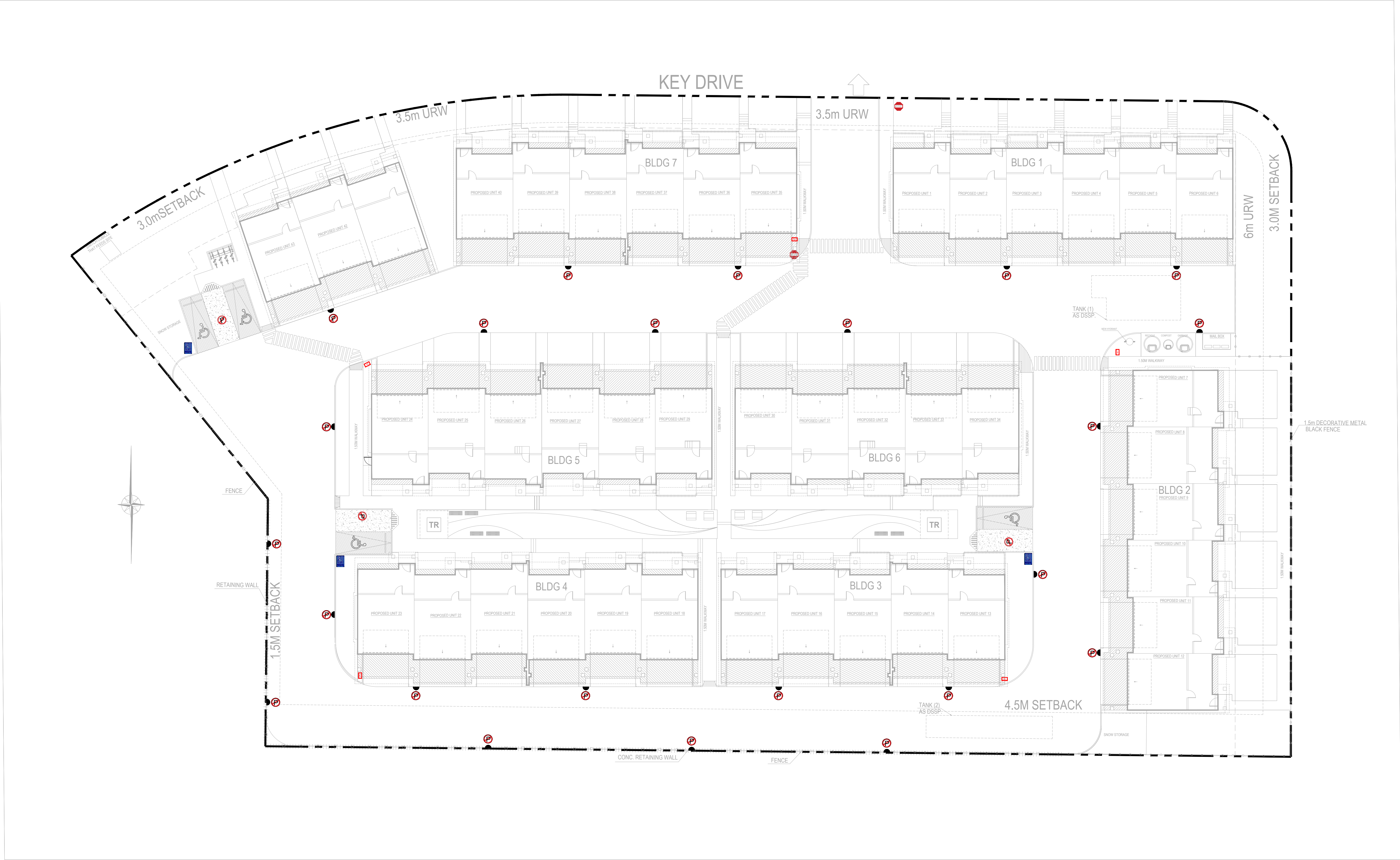
**SITE PLAN /
ELEC.&GAS METER**

DRAWING NO.

A-009

DRAWN BY: N.S / A.M	CHECKED BY: E.Z / H.A	DATE: 2025_05_14
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SCALE: 1: 200

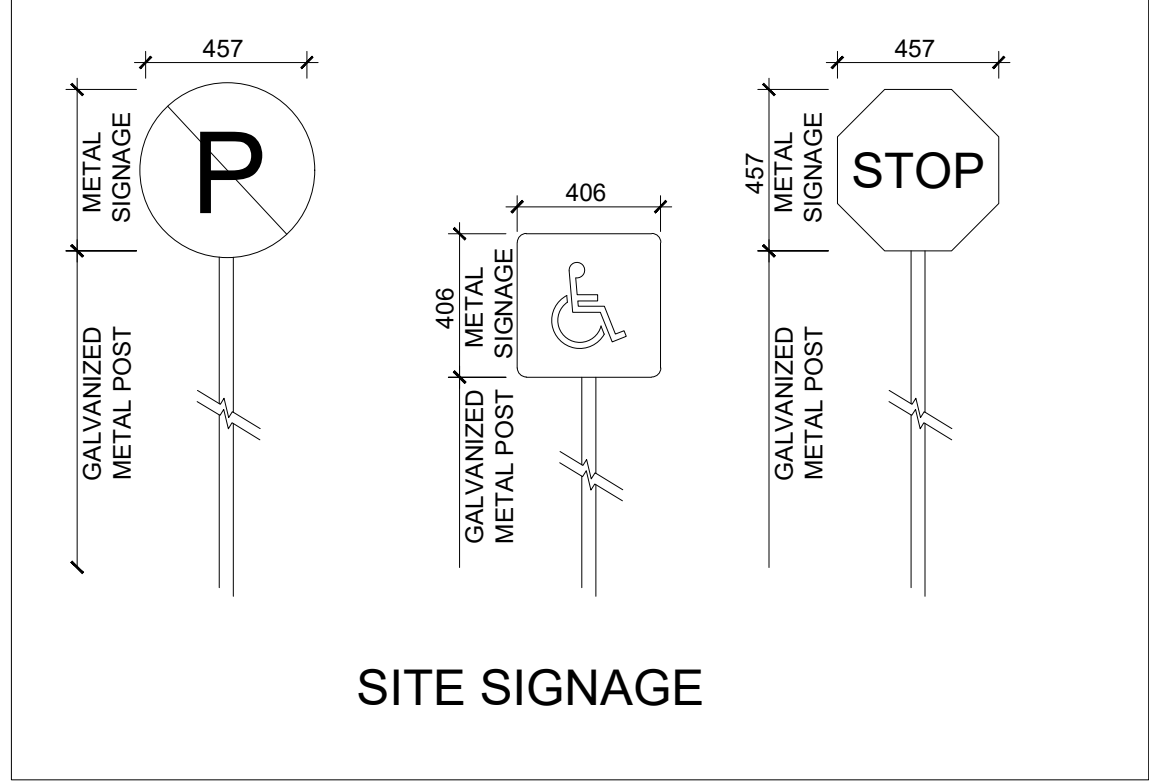


SYMBOL	DESCRIPTION
	NO PARKING SIGN
	STOP SIGN
	HANDICAP SIGN
	WAY FINDING SIGN

NOTE :

- NO PARKING SIGNS ON BOTH SIDES OF THE FIRE ACCESS ROUTE WHERE THE ROAD WIDTH IS LESS THAN 7.49M

-NO PARKING SIGNS ON ONE SIDE OF THE ROUE WHERE THE WIDTH IS BETWEEN 7.5 M ,8.99 M .



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DESIGN GROUP

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / SIGNS

DRAWING NO.

A-010

DRAWN BY:

N.S / A.M

CHECKED BY:

E.Z / H.A

DATE:

2025_05_14

SCALE: 1: 200

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DESIGN GROUP

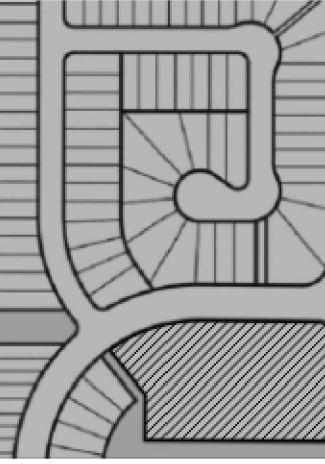
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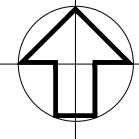
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03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

AMENITY SPACES

DRAWING NO.

INFO-002

DRAWN BY:

N.S / A.M

CHECKED BY:

E.Z / H.A

DATE:

2025_05_14

SCALE: 1: 200

AMENITY SPACE CALCULATION:

REQUIRED AMENITY SPACE = 25.0 Sq m. for each unit.
TOTAL AMENITY SPACE REQUIRED = 25 X 43 = 1075 Sq m.

PROVIDED AMENITY SPACE = BALCONIES + COMMON AREA
= 824.940 Sq m.

AMENITY SPACE PROVIDED FOR EACH UNIT= 19.18 Sq m.

AREA NEED TO BE RELAXED FOR AMENITY = 5.8 Sq m. (25 Sq m. required)
RELAXATION REQUIRED FOR 23.2% OF AMENITY SPACE FOR ENTIRE SITE.

COMMN AREA =176.45 M²
AMENITY SPACES OF BALCONIES=648.74 M²
TOTAL AMENITY SPACES AREA=825.190 M²

60

REQUIREMENTS FOR CONTROL OF RADON SEEPAGE FROM SUBGRADE:

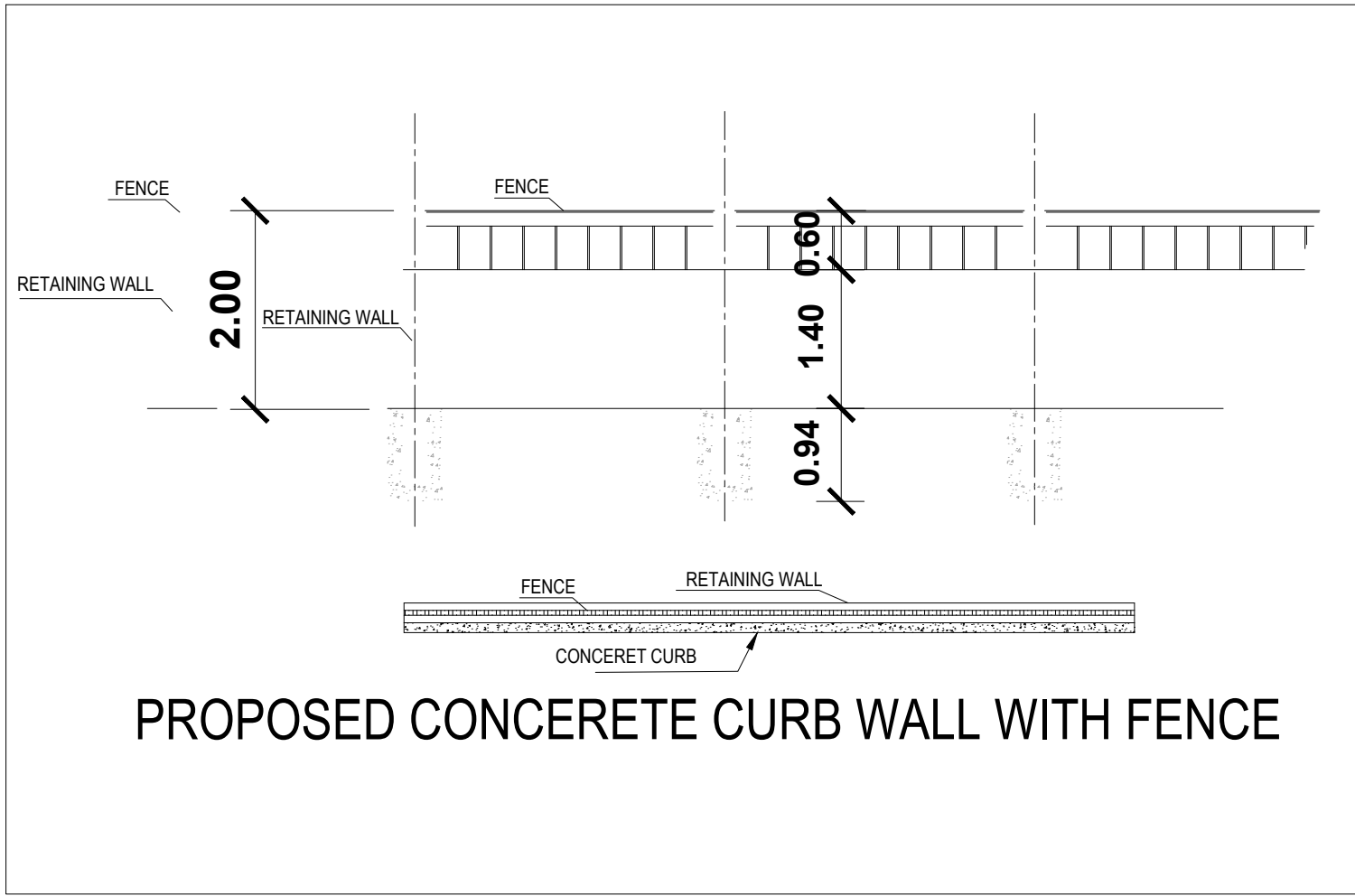
- CLEAN GRAVEL GROUND COVER TO ALLOW SEEPAGE.
- CONTINUOUS SEALED POLY BELOW SLAB.
- POLY SEALED AT SEAMS & AT PERIMETER OF FOUNDATION.
- ELASTOMERIC POLYURETHANE SEALANT.
 - USE 1/2" TUBE FOR APPROXIMATE 2' MIN LENGTH OF DEAD.
 - SMOOTH CAULKING INTO PLACE TO FORCE CAULK INTO PLACE.
- RADON PIPE INSTALLED BELOW SLAB TO COLLECT & ROUTE RADON GAS, AS PER MESH, DWGS.
- PIPE OUTLET SEALED AT PENETRATION OF SLAB.
- RADON OUTLET CAPPED & LABELLED FOR RADON EXTRACTION ONLY.
- SEE MECHANICAL DRAWINGS FOR UNDER-SLAB COLLECTION POINTS & RELEASE LINES.



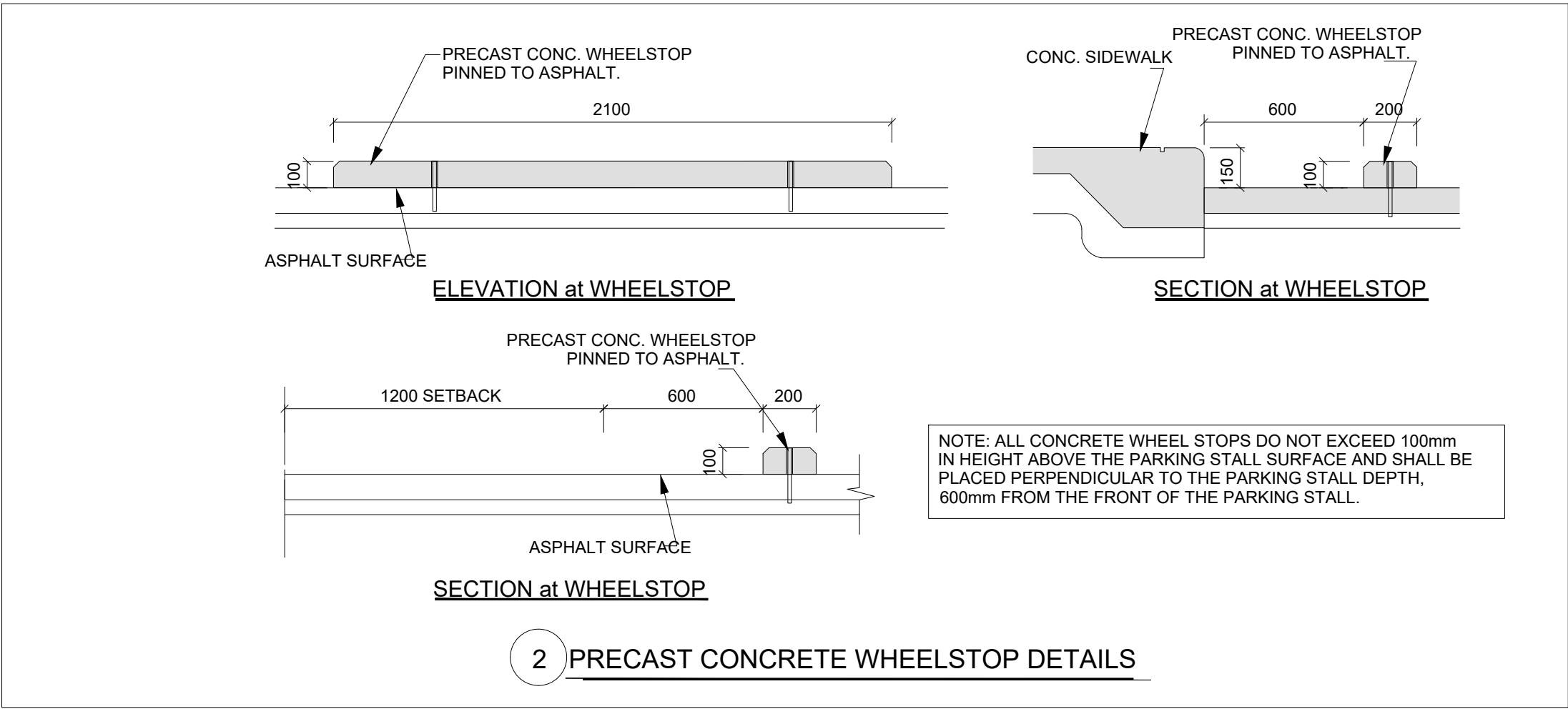
EXAMPLE OF CAP LABEL
PIPE NOT TO BE USED FOR ANY OTHER PURPOSE.



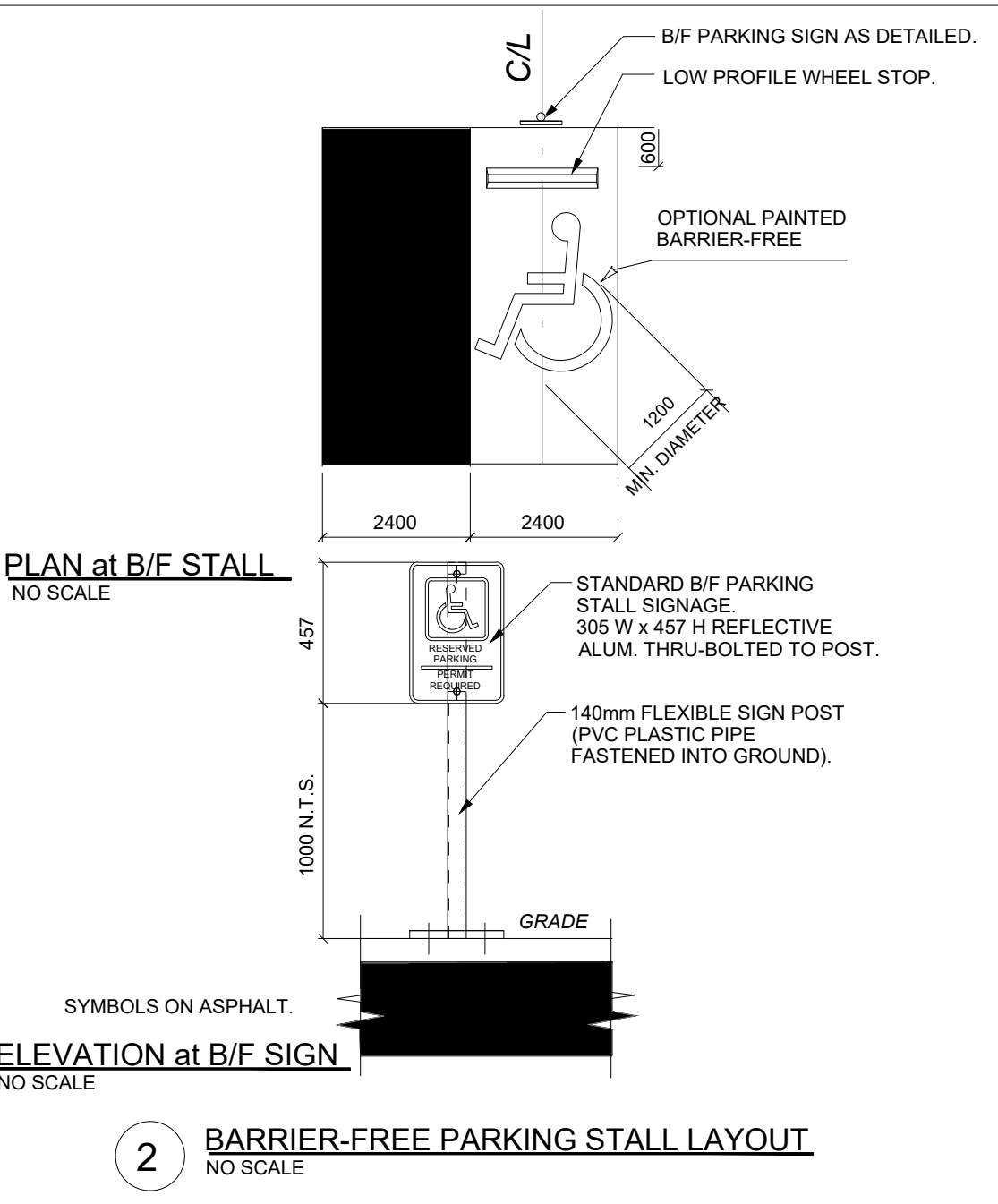
EXAMPLE OF SEALED PENETRATIONS
POLY SEALED AROUND PIPES, PIPES SEALED AT SLAB SURFACE.



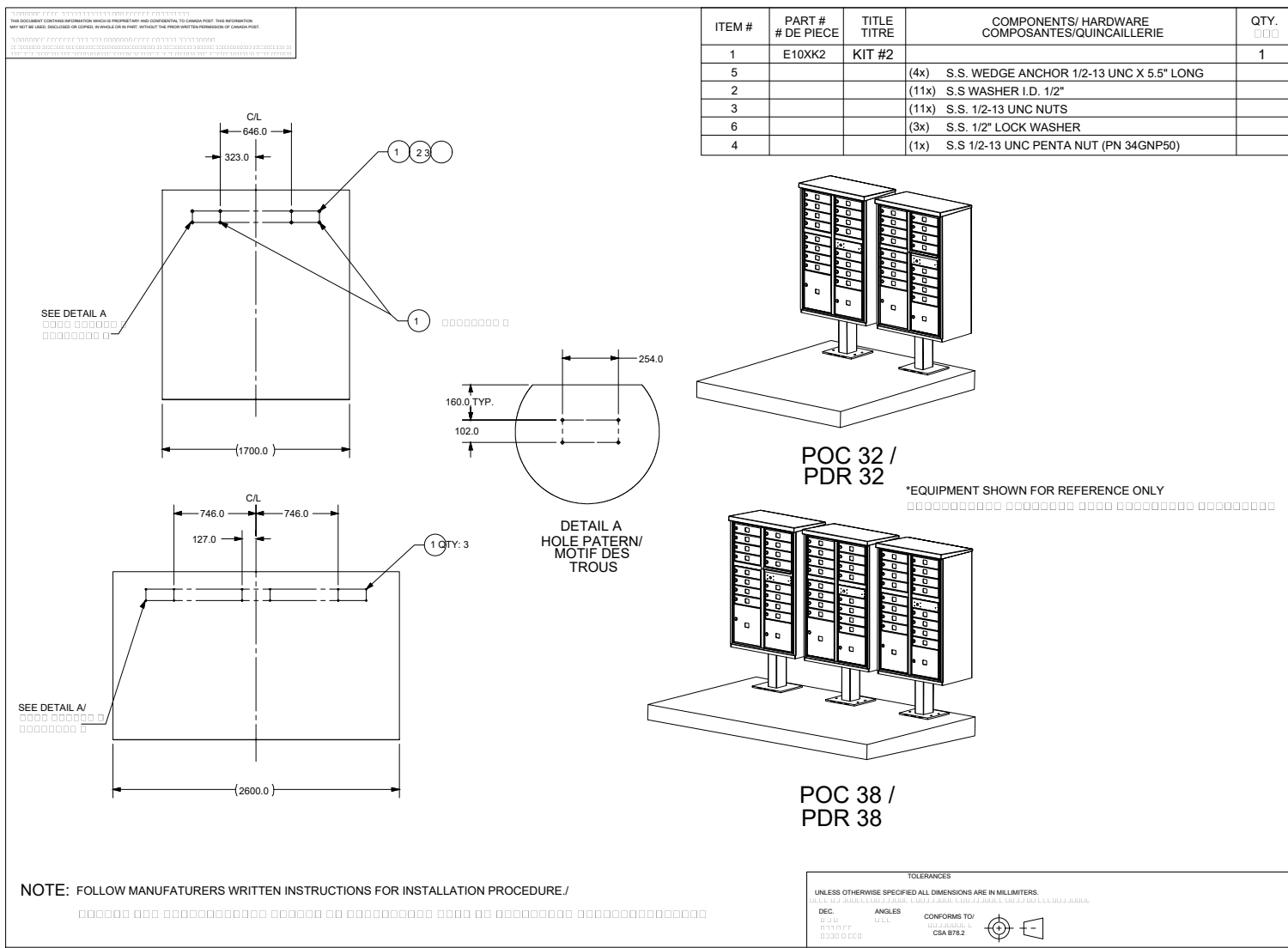
PROPOSED CONCRETE CURB WALL WITH FENCE



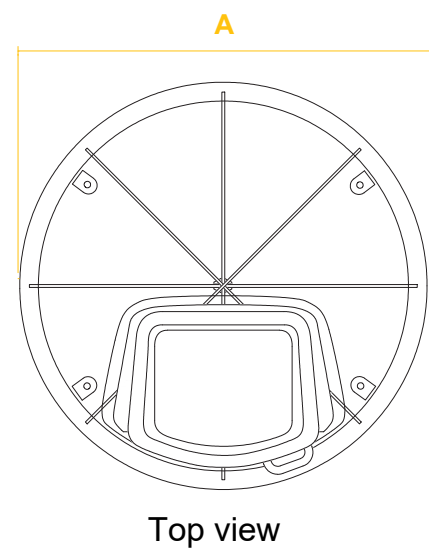
2 PRECAST CONCRETE WHEELSTOP DETAILS



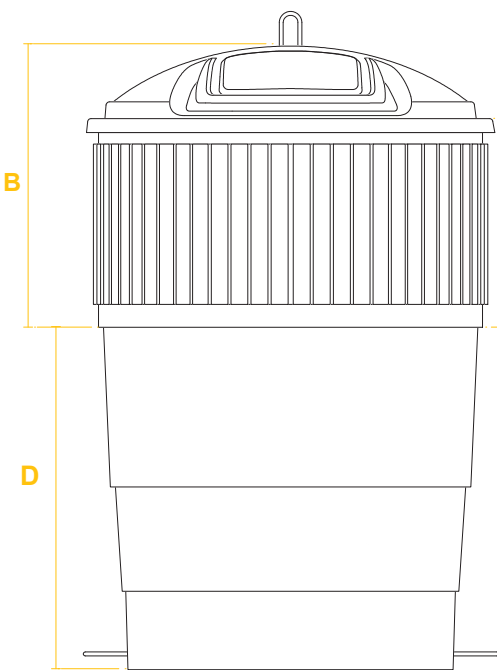
2 BARRIER-FREE PARKING STALL LAYOUT
NO SCALE



EarthBin® il™ EB500T
Specification for In-Ground Crane Lift Waste & Recycling Containers



Top view



Front view

Model:	EB500T
Capacity/Volume:	5000 litre (6.5 cubic yard)
Capacity/Weight:	1250 kg (2750 lbs)
Diameter (A):	1.8 m (70.8 in)
Height (B):	1.2 m (48.5 in)
Feed Height (C):	1.0 m (39.4 in)
Depth In-Ground (D):	1.5 m (60 in)
Standard Feed Opening:	52 cm x 58 cm (20.5 in x 23 in)
Configuration:	Round semi-buried in-ground waste & recycling with vertical lift system (Crane lift)
Feed Door:	Optional colours - Black, Blue; lockable and door stay
Lift frame:	Quick lift system meets "Design of Below-the-Hook Lifting Devices" ASME BTH-1
Bag:	Soft bag; soft bag with liquid retention tank
Framing:	Available in Black, Dark Brown or Dark Grey
Liner:	Ground sleeve features a Patented Anchor system
Signage:	Standard text to indicate different types of materials: Garbage, cardboard, recycling
Materials:	<ul style="list-style-type: none">• Ground sleeve liner: Rigid rotomolded premium virgin Polyethylene 100% recyclable, UV stabilized, continuous sealed part, liquid tight• Hardware: galvanized steel, stainless steel or aluminum to ensure long life• Lid: 100% recycled black Polyethylene thermoformed textured surface• Door: 100% recycled black Polyethylene or coloured Polyethylene thermoformed textured surface• Framing: 100% recycled plastic• Signage: Premium outdoor aluminum• Lift frame: Galvanized steel• Bag: Polypropylene woven bag with inner liner; polypropylene woven bag with Polyethylene liquid retention tank;
Designed in Canada Made in Canada	

OPTIONAL EQUIPMENT SHOWN

*SPECIFICATIONS MAY CHANGE WITHOUT NOTICE

Explore further at www.earthbin.com . Contact us or book a site visit: **1-844-213-BINS (2467)**

21-11

DESIGNED BY:



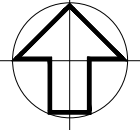
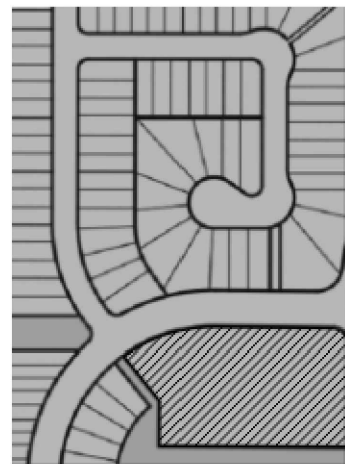
RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202.4216 10STREET NE
CALGARY, AB
T2E6K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z.H.A
02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

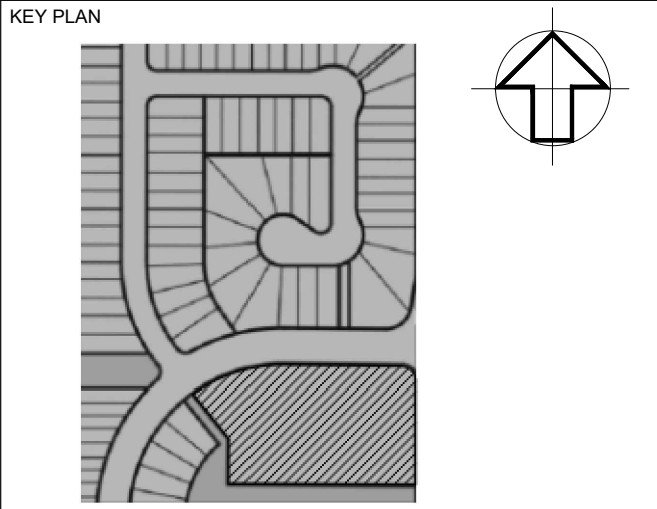
DETAILS

DRAWING NO.

A-012

DRAWN BY: N.S / A.M	CHECKED BY: E.Z / H.A	DATE: 2025_05_14
------------------------	--------------------------	---------------------

SCALE: 1: 200



NOTES

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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S.	E.Z.H.A.
02	2025/03/24	DTR	N.S./A.M.	E.Z.H.A.
03	2025/05/14	DTR2	A.M.	E.Z.

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S./A.M.	E.Z.H.A.

THE CLIENT:

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS:

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SNOW STORAGE

DRAWING NO.

INFO-001

DRAWN BY:	CHECKED BY:	DATE:
N.S./A.M.	E.Z./H.A.	2025_05_14
SCALE: 1: 200		

DESIGNED BY:

TRICOR

DESIGN GROUP

RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL

tricordesigns.com

#202-4218-108 STREET NE
CALGARY, AB
T2E6K3

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KEY PLAN

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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z/H.A
02	2025/03/24	DTR	N.S/A.M	E.Z/H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z/H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE, AIRDRIE, AB
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / PHASES

DRAWING NO.

A-011

DRAWN BY:

N.S / A.M

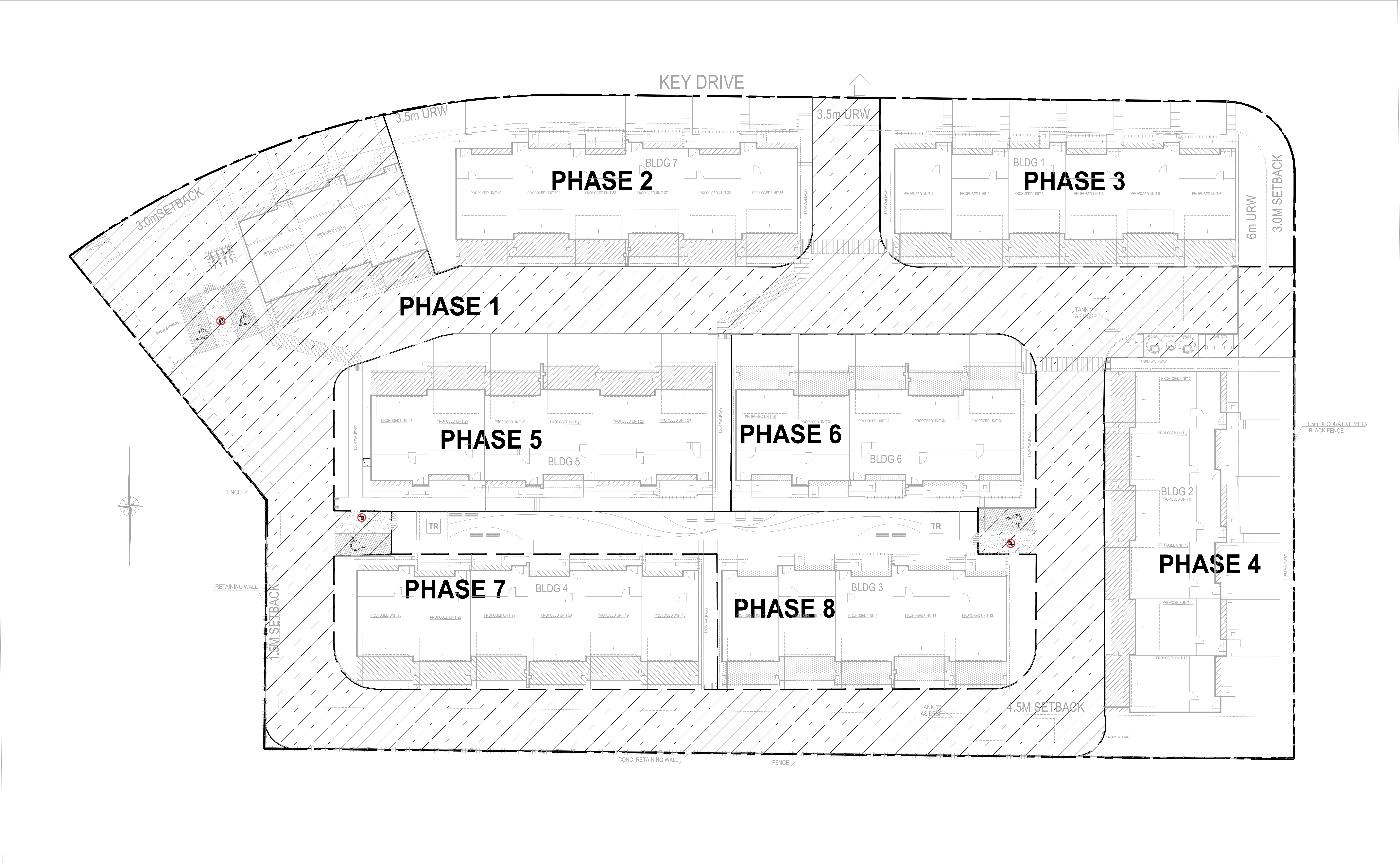
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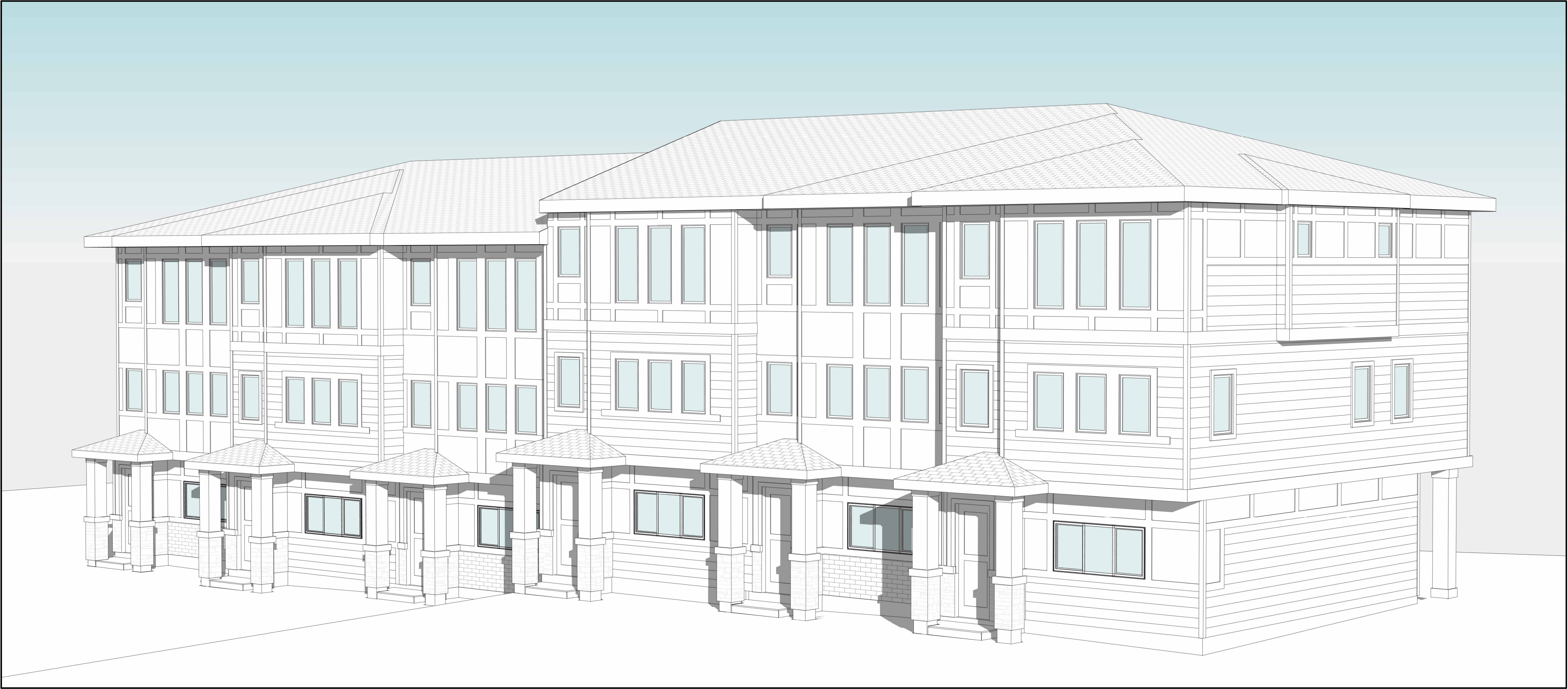
E.Z / H.A

DATE:

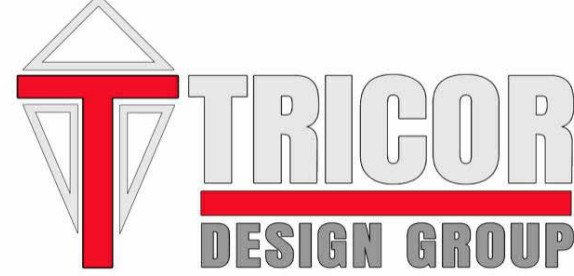
2025_06_14

SCALE: 1: 200





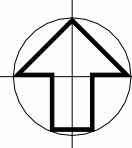
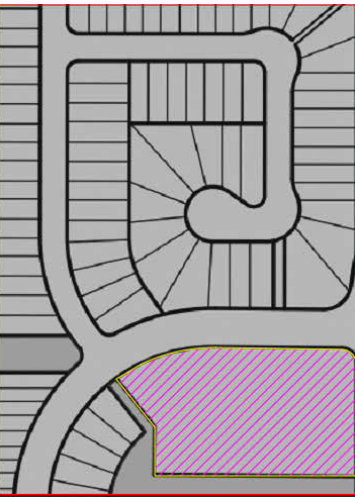
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, PHONE: (403)203-1970
CALGARY, AB, T2E 6K3 FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :

**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**3D VIEWS
BUILDING (1)**

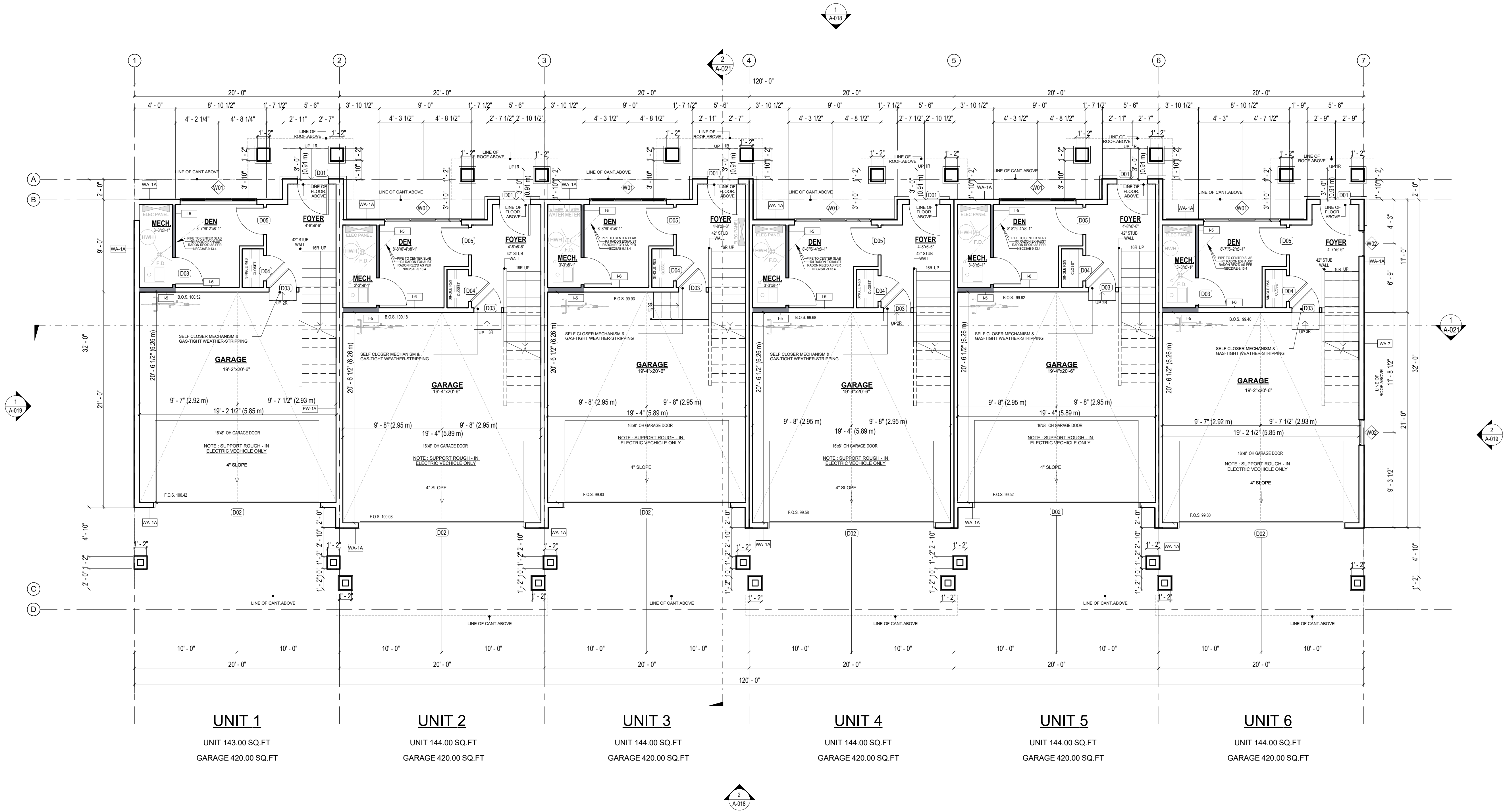
DRAWING NO.

A-013

DRAWN BY: H.H.N.S.H.M/
K.H.A.A/Z.R.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_12
SCALE:

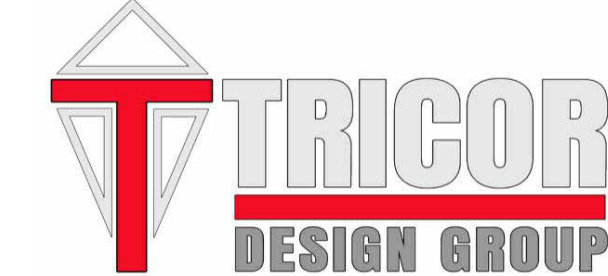
W08 :WILL BE (W0CD).

GROUND FLOOR NOTE : (W0CD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") .THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

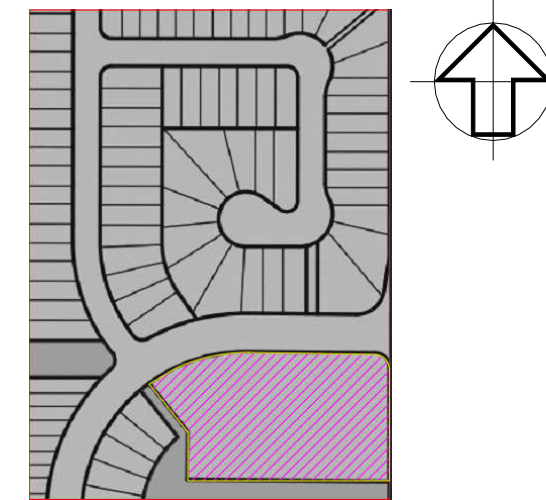
DESIGNED BY:



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tricordesigns.com

#202.4216 10 STREET NE, CALGARY, AB T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING (1)

DRAWING NO.

A-014

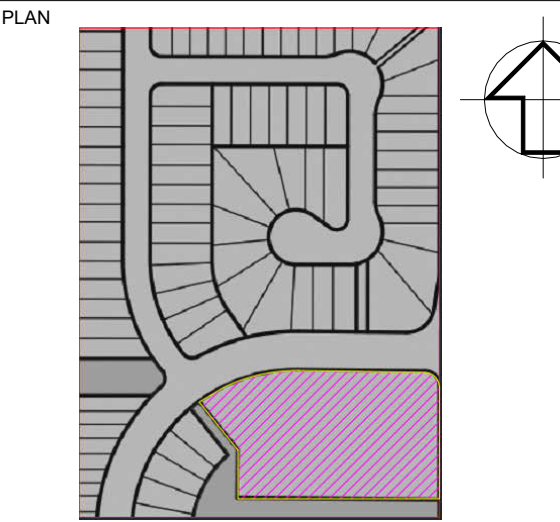
DRAWN BY: H.H.N.S.H.M./K.H.A.A.Z.Z.O.M.M.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_06_12

SCALE: 3/16" = 1'-0"

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")

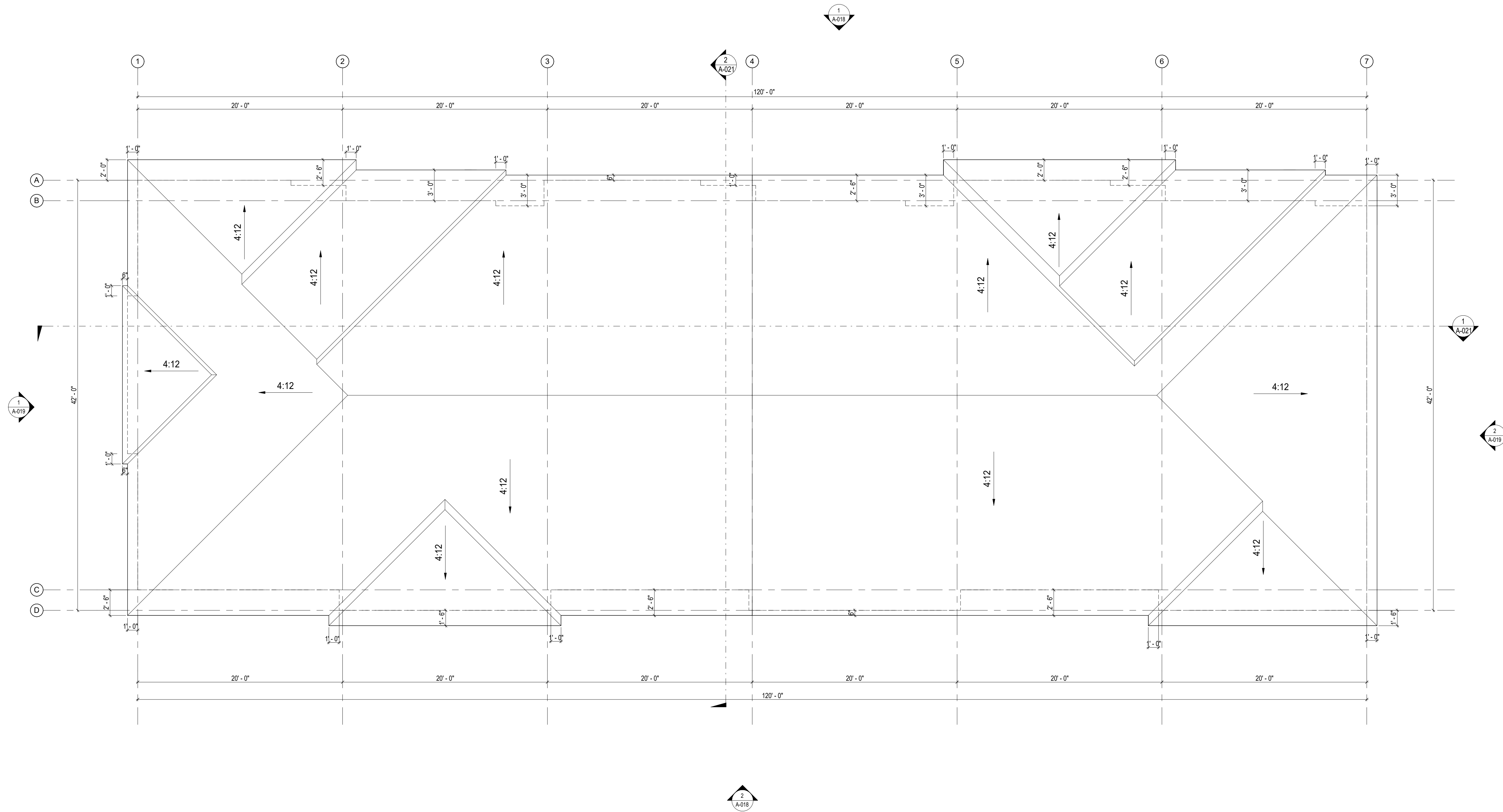


SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



DATE	DESCRIPTION	DRAWN BY	CHKD BY
25_01_12	TRAFFIC REVIEW SCOPE	N.S/H.W K.H/A.A	E
25_03_24	DTR	H.H/Z/R/E/M	E/Z
25_05_12	DTR 2	M.M	E/Z

CLIENT :		
LUXURIA HOMES AIRDRIE, AB		
SUBJECT NAME & ADDRESS :		
MULTI-FAMILY TOWNHOMES 3010 KEY DRIVE SW LOT 1, BLOCK 1, PLAN 2312456		
DRAWING SET :		
DEVELOPMENT PERMIT SET		
DRAWING TITLE :		
SECOND FLOOR PLAN BUILDING (1)		
DRAWING NO.		
A-016		
DRAWN BY:	CHECKED BY:	DATE:
H.N.N.S/H.M / H.A.H.A.Z/R.O.M	E.Z.H./A.M	25.05.12
E: 3/16" = 1'-0"		



1 ROOF FLOOR PLAN
3/16" = 1'-0"

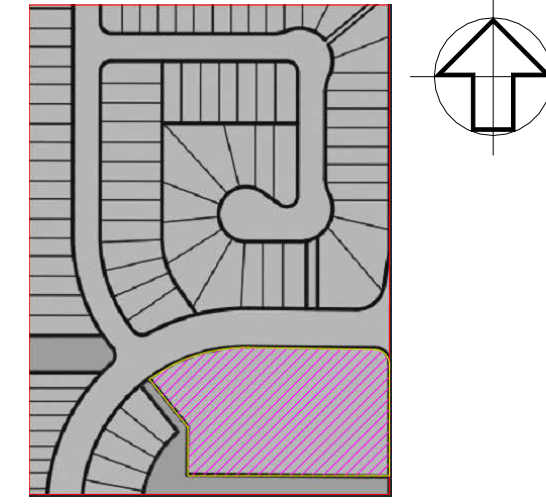
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, PHONE: (403)203-1970
CALGARY, AB, FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.A.A.	E.ZH.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.ZH.A/A.M
03	25_05_12	DTR 2	M.M	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.A.A.	E.ZH.A
02	25_04_30	BUILDING PERMIT	M.M	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN
BUILDING (1)

DRAWING NO.

A-017

DRAWN BY: H.H.N.S.H.M/ K.H.A.A.Z.R.M.M	CHECKED BY: E.ZH.A/A.M	DATE: 25_06_12
--	---------------------------	-------------------

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL
W/FULL GLAZING AND
VERTICALSTACKGLAZING



1 FRONT(NORTH) ELEVATION
3/16" = 1'-0"



2 REAR (SOUTH)ELEVATION
3/16" = 1'-0"

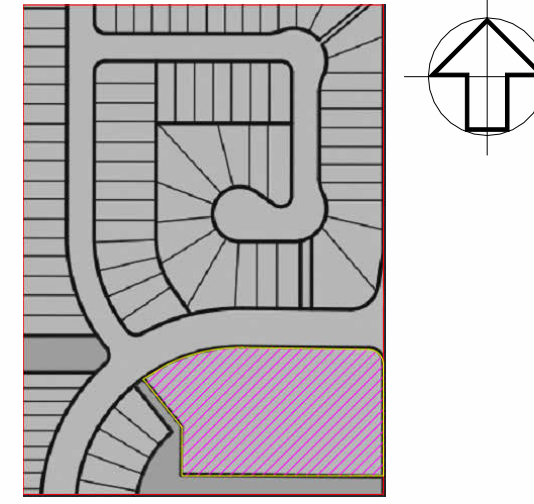
DESIGNED BY:



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tricordesigns.com

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PHONE: (403)203-1970 FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING (1)

DRAWING NO.

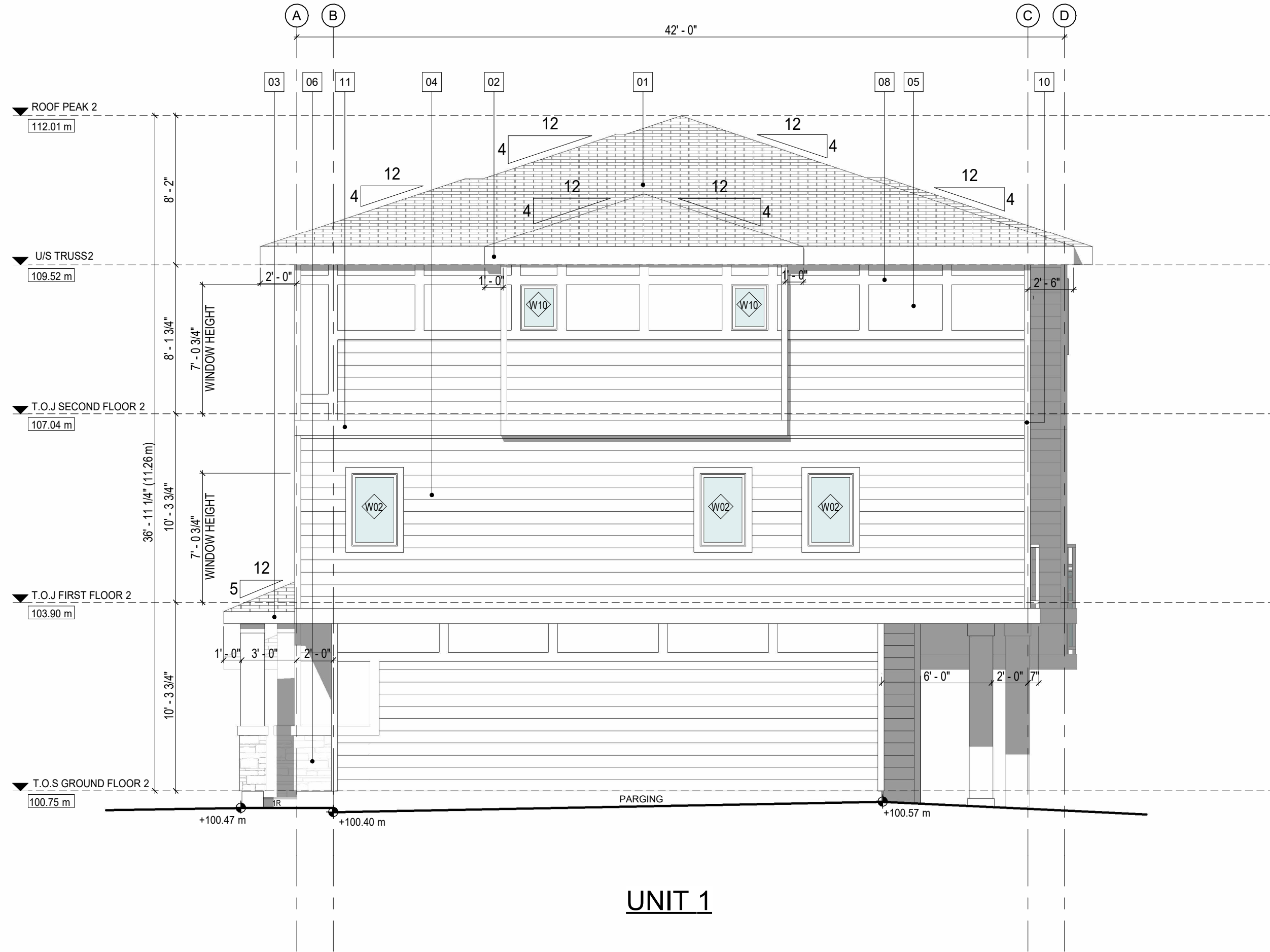
A-018

DRAWN BY: H.H.N.S.H.M./K.H.A.A./Z.Z.O.M.M.	CHECKED BY: E.Z.H.A./A.M.	DATE: 25_06_12
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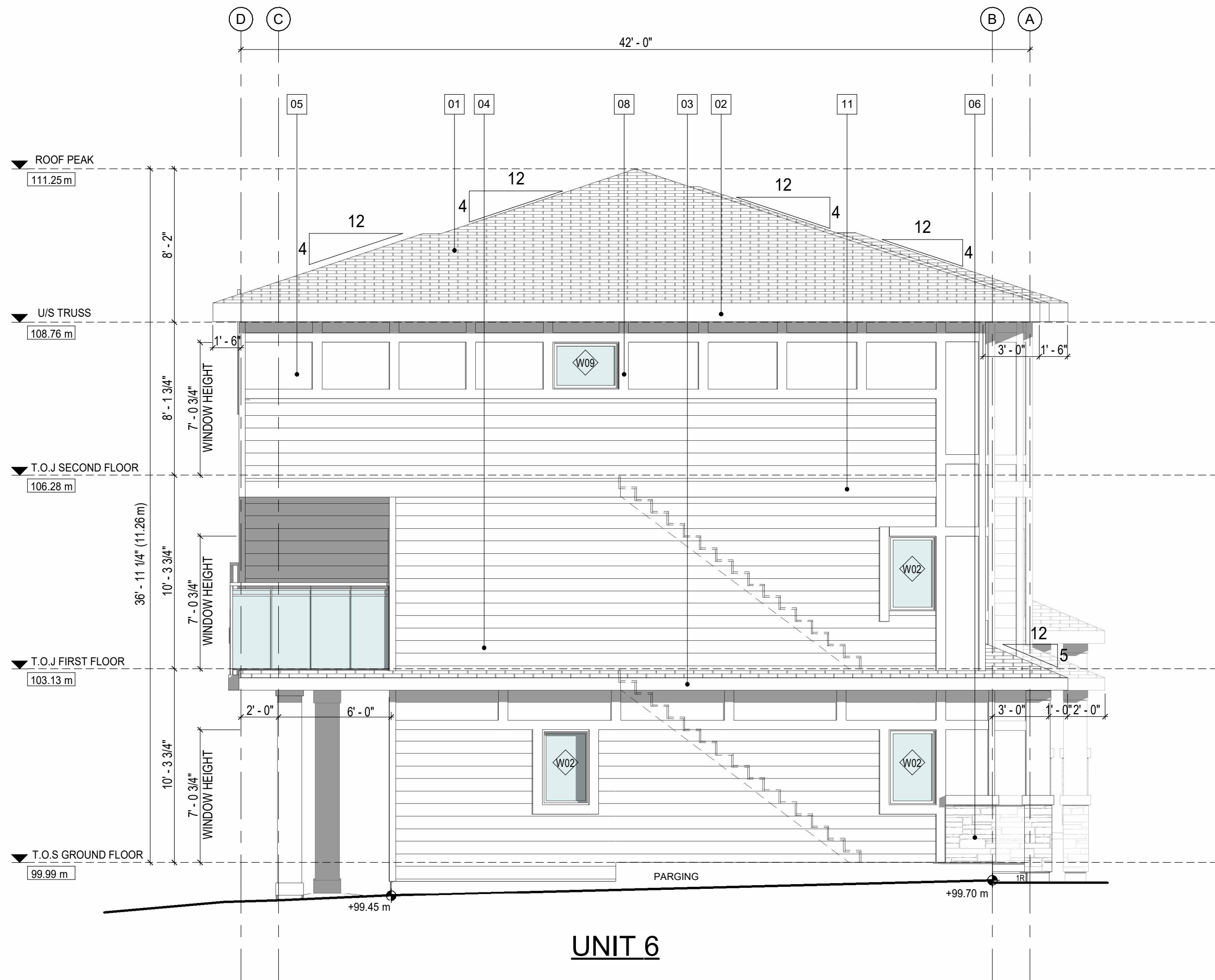
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

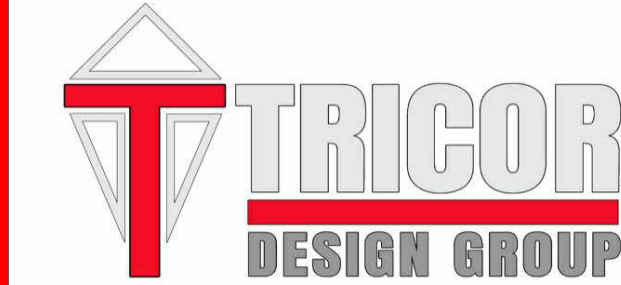


1 RIGHT (WEST) ELEVATION
3/16" = 1'-0"



2 LEFT (EAST)ELEVATION
3/16" = 1'-0"

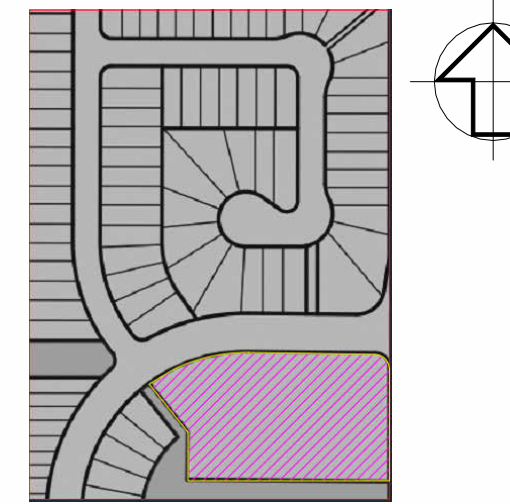
DESIGNED BY:



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tricordesigns.com

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CALGARY, AB, FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING (1)

DRAWING NO.

A-019

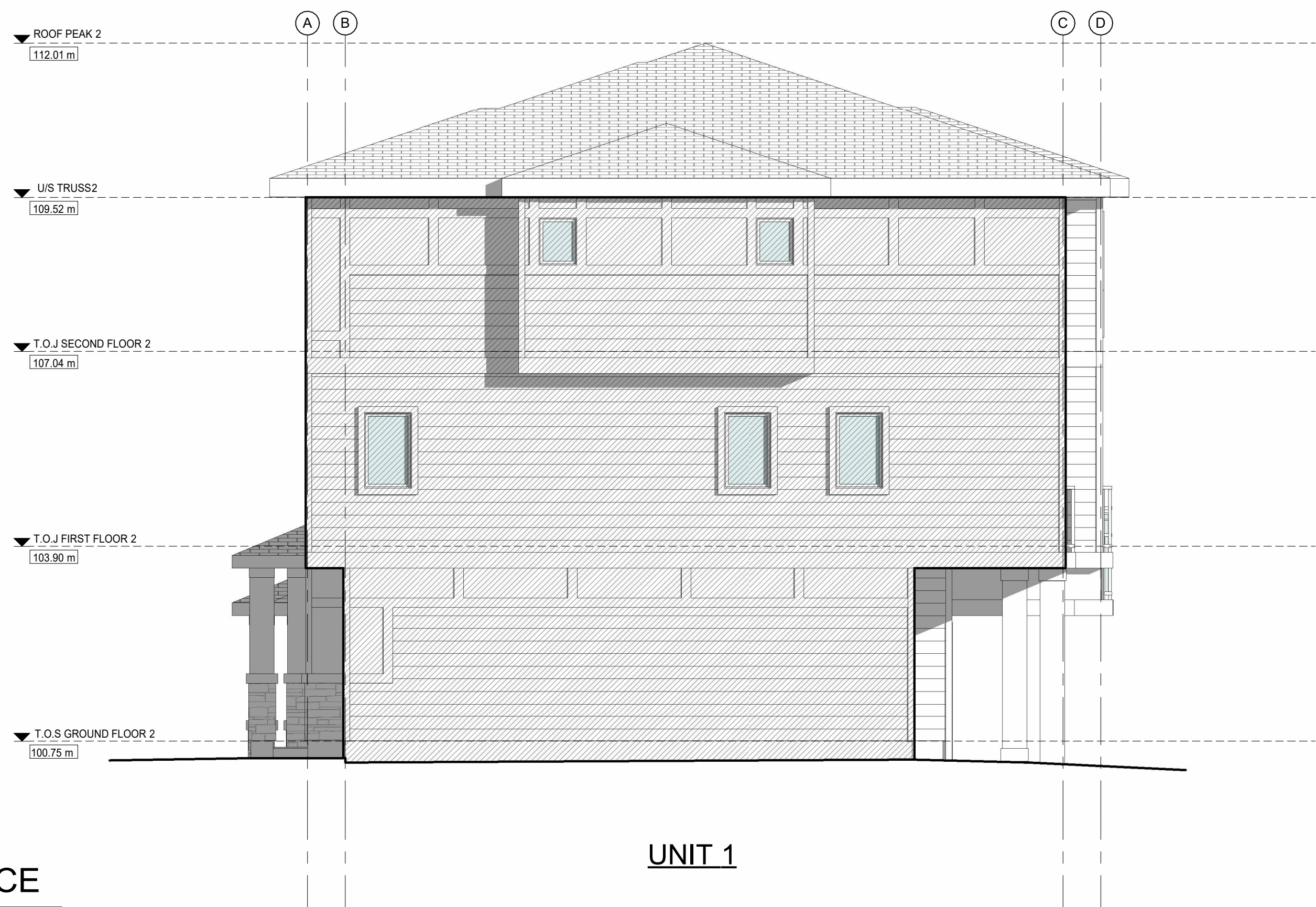
DRAWN BY: H.H.N.S.H.M/
K.H.A.A/Z.Z.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_12

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 1		UNIT 2		UNIT 3		UNIT 4		UNIT 5		UNIT 6	
CODE CHECK EXPOSED BUILDING FACE	591 SQ.FT	54.93 SQ.M	638 SQ.FT	59.31 SQ.M	617 SQ.FT	57.31 SQ.M	619 SQ.FT	57.54 SQ.M	587 SQ.FT	54.58 SQ.M	633 SQ.FT	58.85 SQ.M
SETBACK	18" - 10"	5.74 m	17" - 10"	5.43 m	18" - 10"	5.74 m	18" - 11"	5.77 m	19" - 5"	5.92 m	18" - 5"	5.62 m
PERCENTAGE OF ALLOWED OPENINGS	51.13%		45.14%		50.11%		50.42%		53.78%		47.86%	
SQ.FT OF ALLOWED OPENING	302.29 SQ.FT	28.08 SQ.M	288.18 SQ.FT	26.77 SQ.M	309.10 SQ.FT	28.72 SQ.M	312.25 SQ.FT	29.01 SQ.M	315.93 SQ.FT	29.35 SQ.M	303.17 SQ.FT	28.16 SQ.M
ACTUAL SQ.FT OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	151.14 SQ.FT	14.04 SQ.M	144.09 SQ.FT	13.39 SQ.M	154.55 SQ.FT	14.36 SQ.M	156.13 SQ.FT	14.50 SQ.M	157.97 SQ.FT	14.68 SQ.M	151.58 SQ.FT	14.08 SQ.M

1 REAR (SOUTH)ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 1	
CODE CHECK EXPOSED BUILDING FACE	1098 SQ.FT	102.04 SQ.M
SETBACK	16" - 1"	4.90 m
PERCENTAGE OF ALLOWED OPENINGS	15.15%	
SQ.FT OF ALLOWED OPENING	166.40 SQ.FT	15.46 SQ.M
ACTUAL SQ.FT OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	83.20 SQ.FT	7.73 SQ.M

2 RIGHT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN

NOTES
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / K.H.A.A	E.Z.H.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :
**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
**UNPROTECTED OPENINGS
BUILDING (1)**

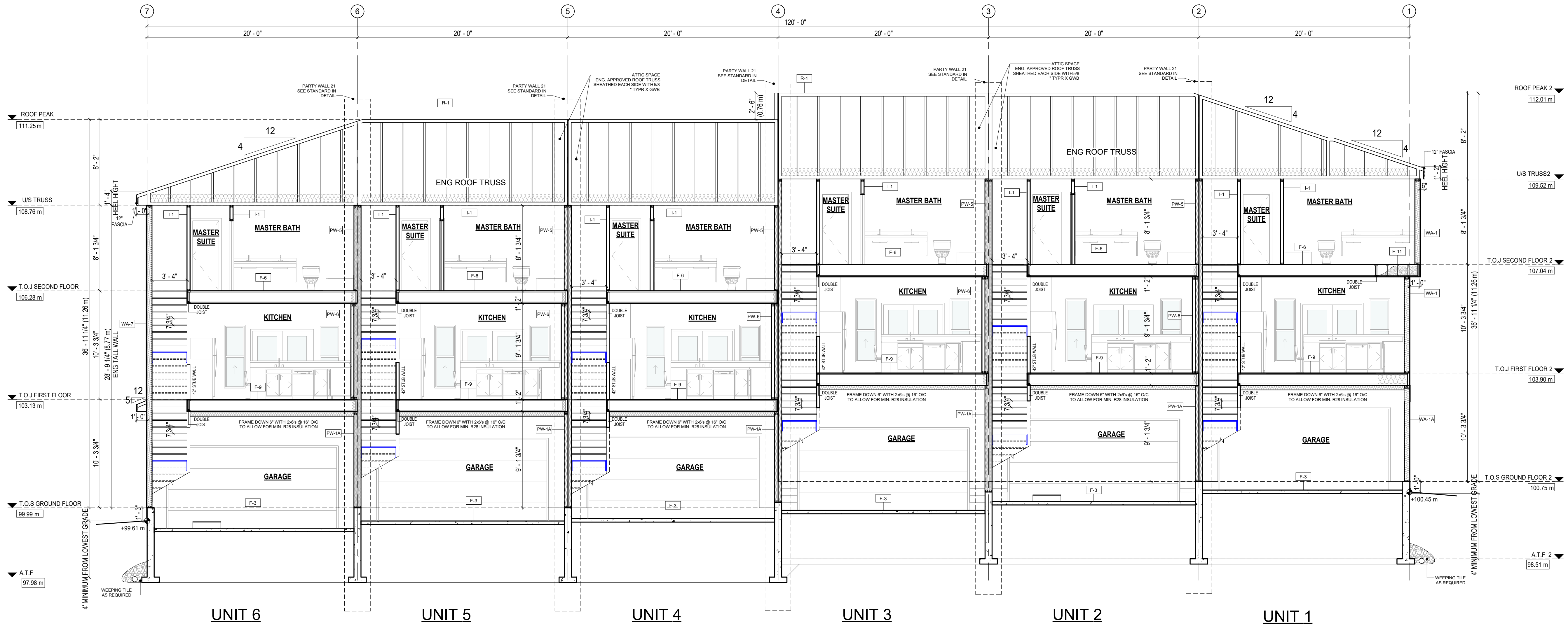
DRAWING NO.
A-020

DRAWN BY: H.H.N.S.H.M / K.H.A.A / Z.Z.O.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_12
SCALE: 3/16" = 1'-0"

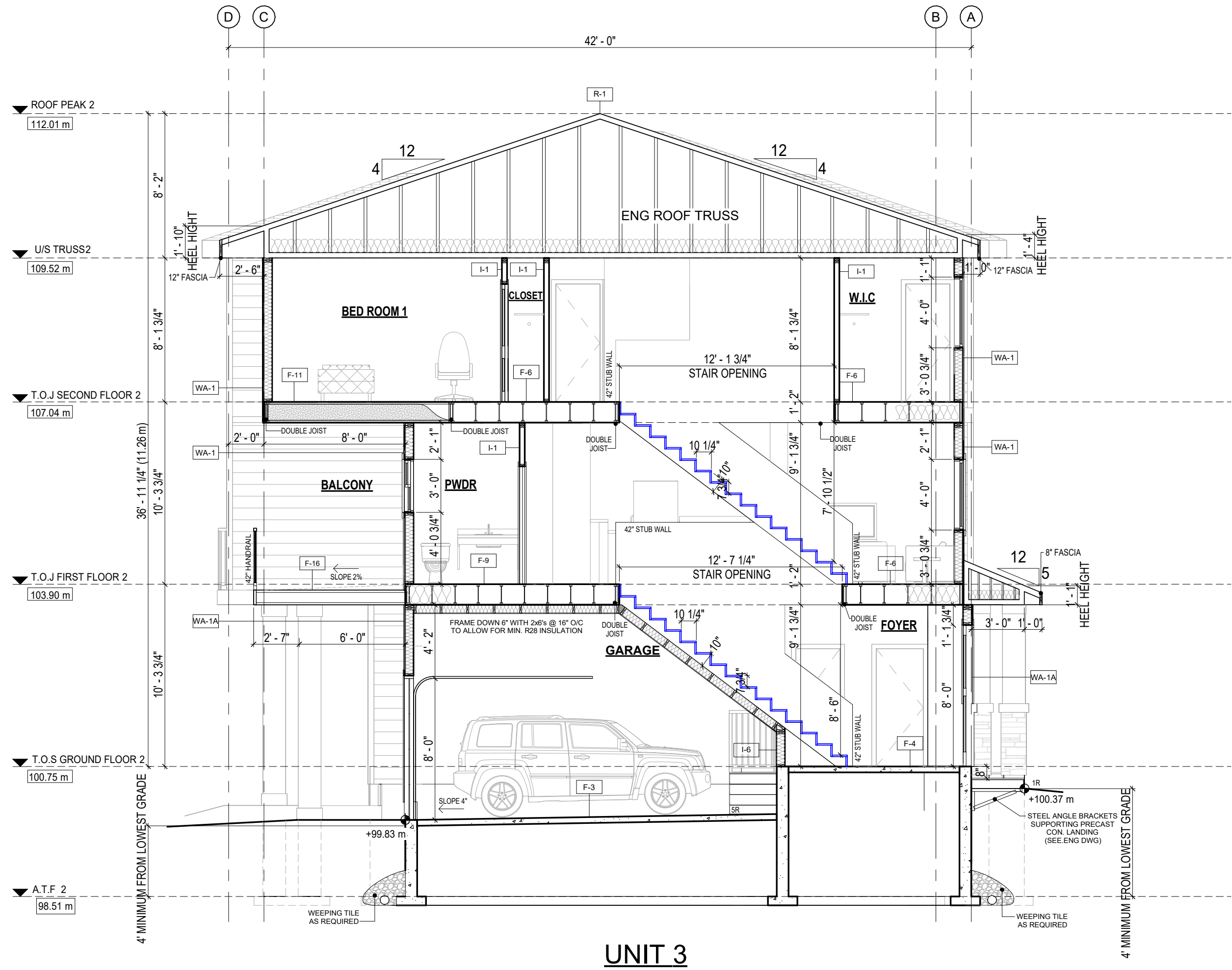
NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE

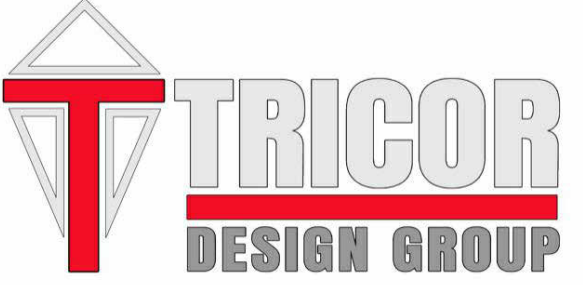


1 SECTION 1
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"

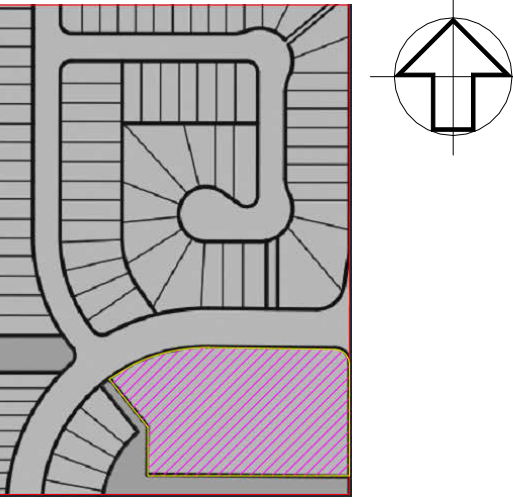
DESIGNED BY:



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tricordesigns.com

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M./E.Z.H.A.A.M	
03	25_05_12	DTR 2	M.M.	E.Z.H.A.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1 & SECTION 2
BUILDING (1)

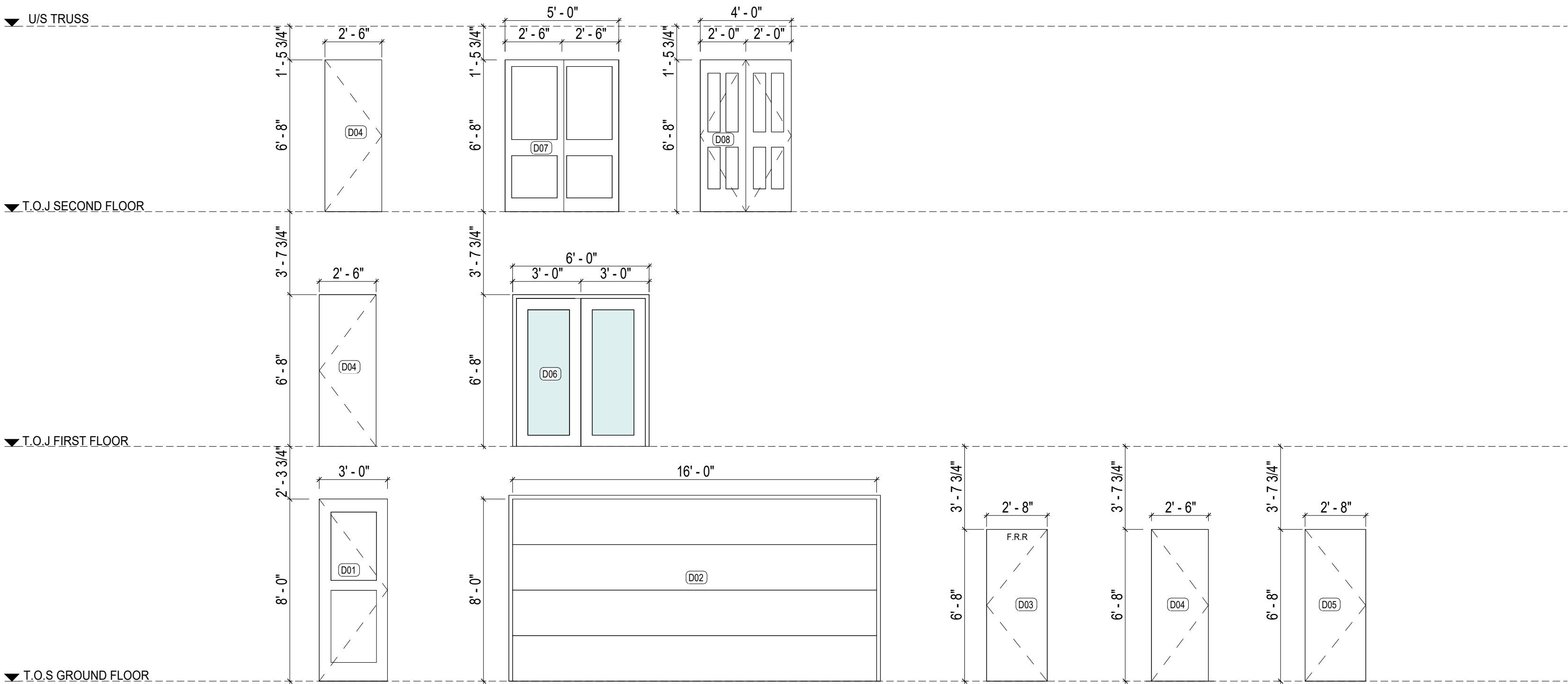
DRAWING NO.

A-021

DRAWN BY: H.H.N.S.H.M./K.H.A.A.Z.Z.O.M.M. CHECKED BY: E.Z.H.A.A.M. DATE: 25_06_12

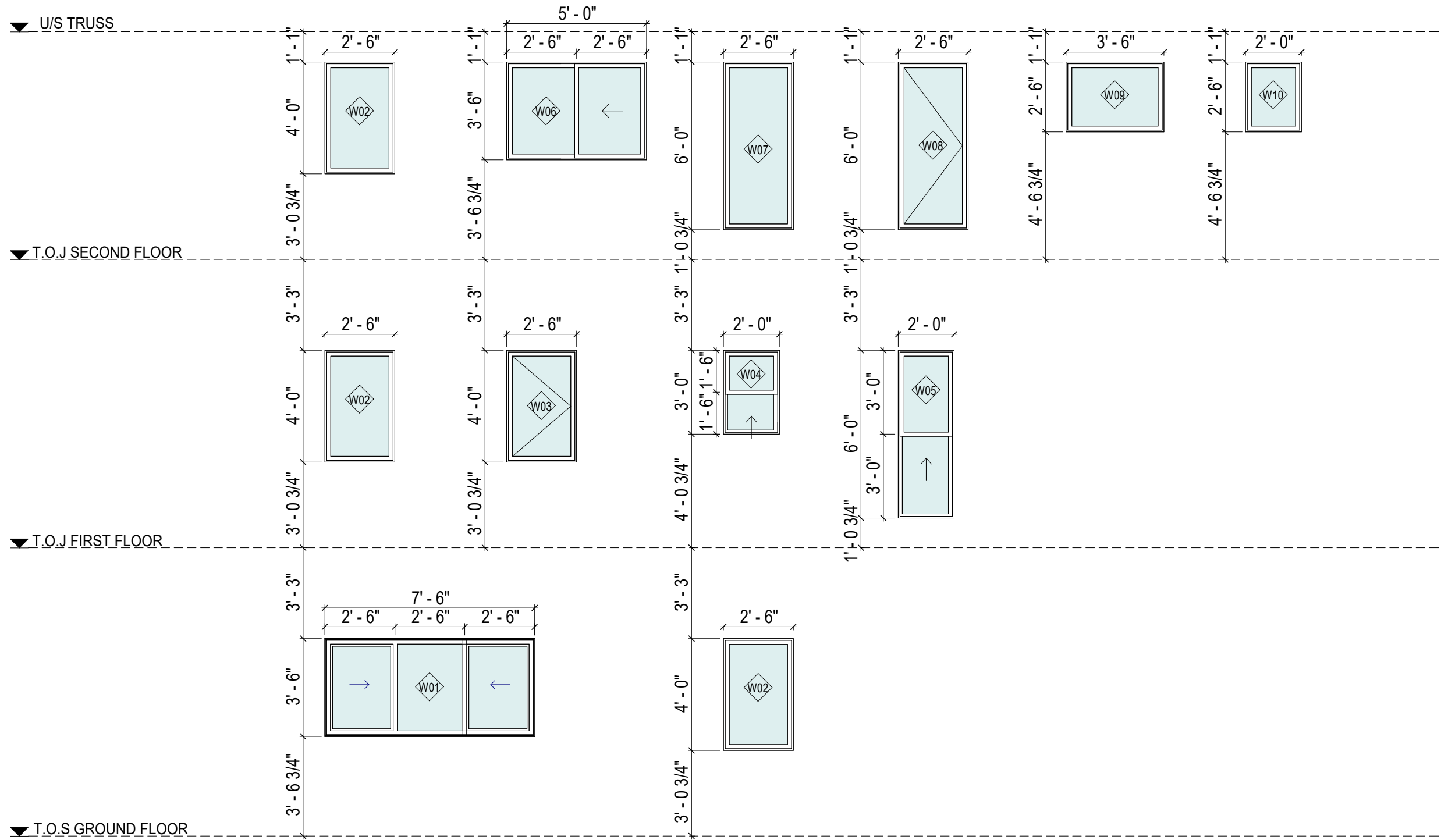
SCALE: 3/16" = 1'-0"

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL
W/FULL GLAZING AND
VERTICAL STACK GLAZING



1 DOORS TYPES
1/4" = 1'-0"

W08 :WILL BE (WOCD).



2 WINDOWS TYPES
1/4" = 1'-0"

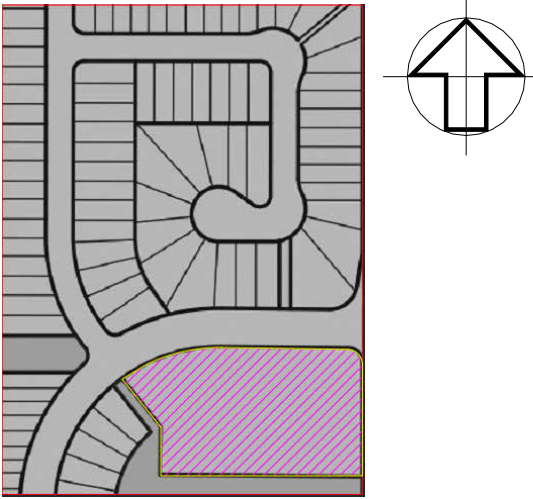
DESIGNED BY:



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KEY PLAN



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NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.A.A	E.ZH.A
02	25_03_24	DTR	H.HZ.R.E.M	E.ZH.A/A.M
03	25_05_12	DTR 2	M.M	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.A.A	E.ZH.A
02	25_04_30	BUILDING PERMIT	M.M	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS & WINDOWS TYPES
BUILDING (1)

DRAWING NO.

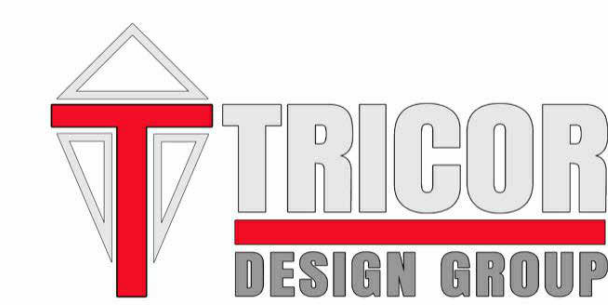
A-022

DRAWN BY: H.H.N.S.H.M / K.H.A.A.Z.Z.M.M
CHECKED BY: E.ZH.A/A.M
DATE: 25_06_12

SCALE: 1/4" = 1'-0"



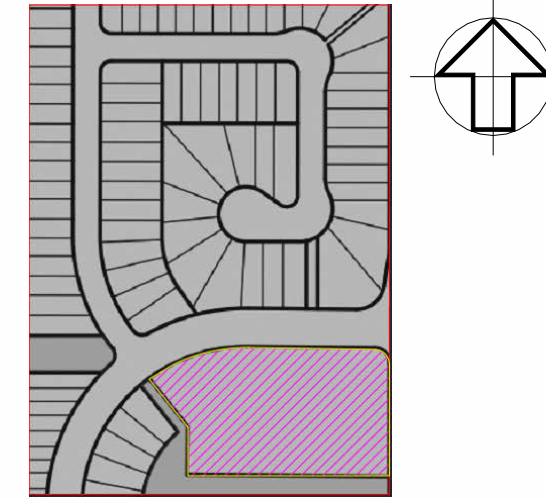
DESIGNED BY:



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tricordesigns.com

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING 2

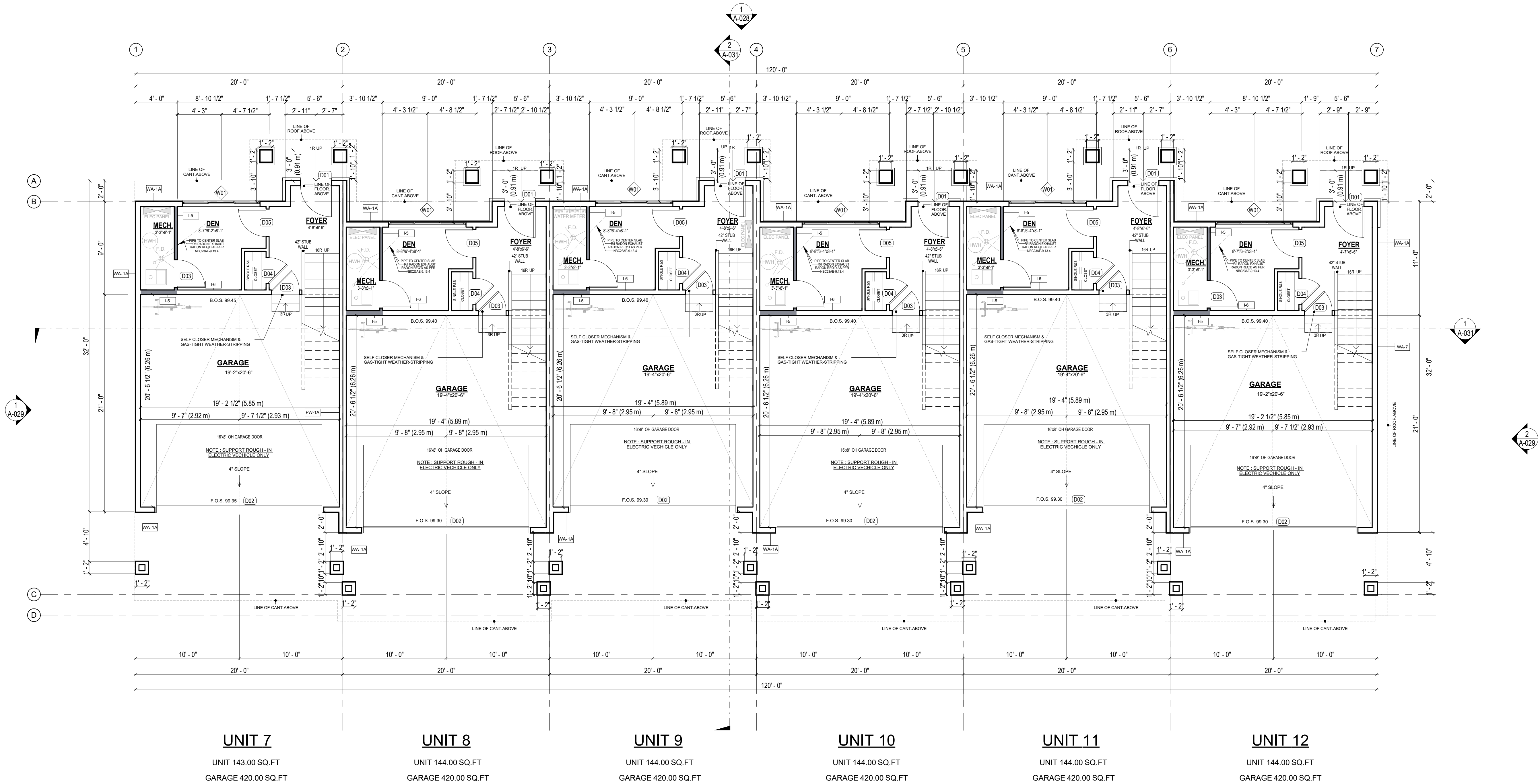
DRAWING NO.

A-023

DRAWN BY: N.S.H.M/
Z.R.K.H/H.H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14
SCALE:

W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") ,THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

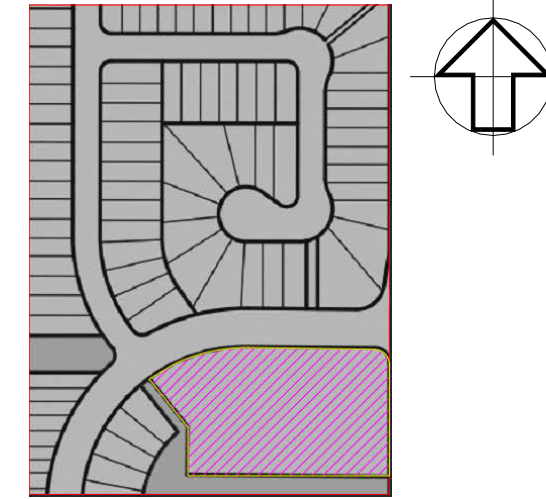
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING 2

DRAWING NO.

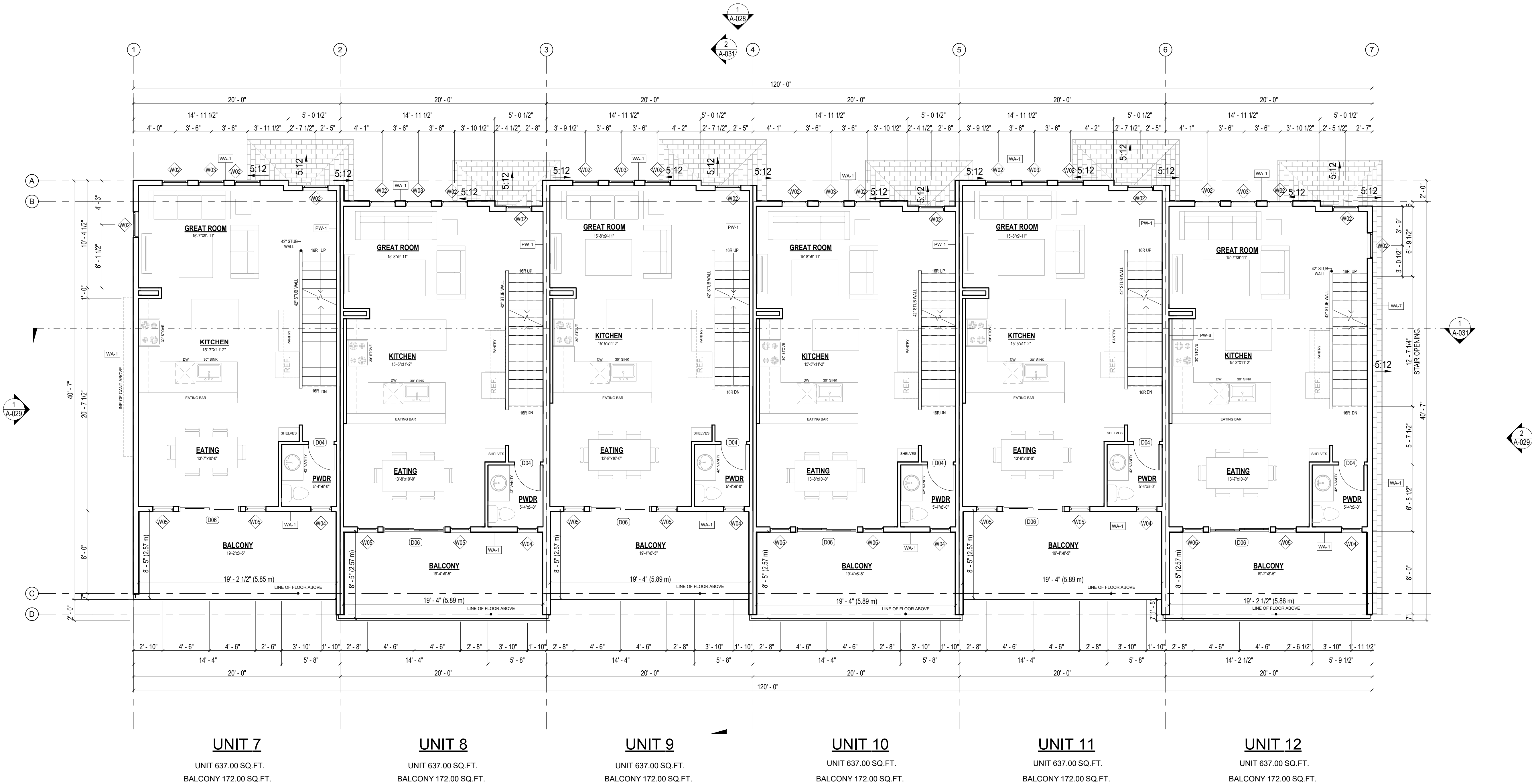
A-024

DRAWN BY: N.S.H.M / Z.R.K.H/H.H.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"

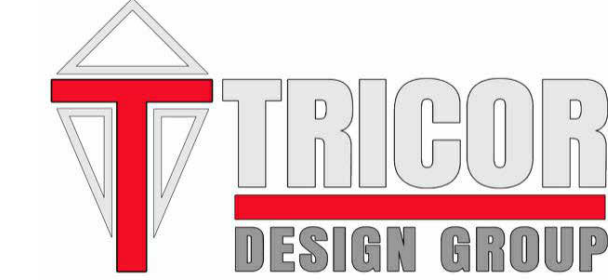
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

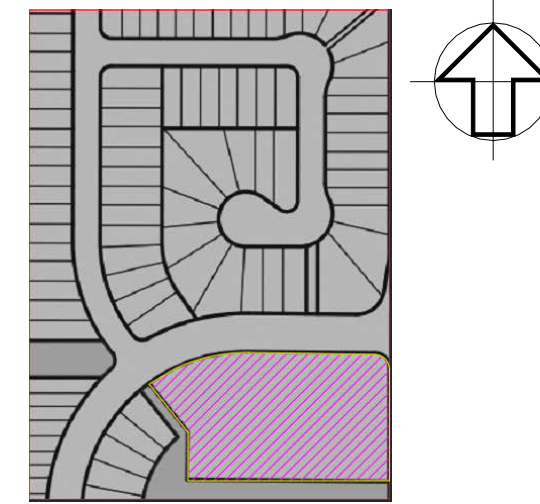
DESIGNED BY:



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tricordesigns.com

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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING 2

DRAWING NO.

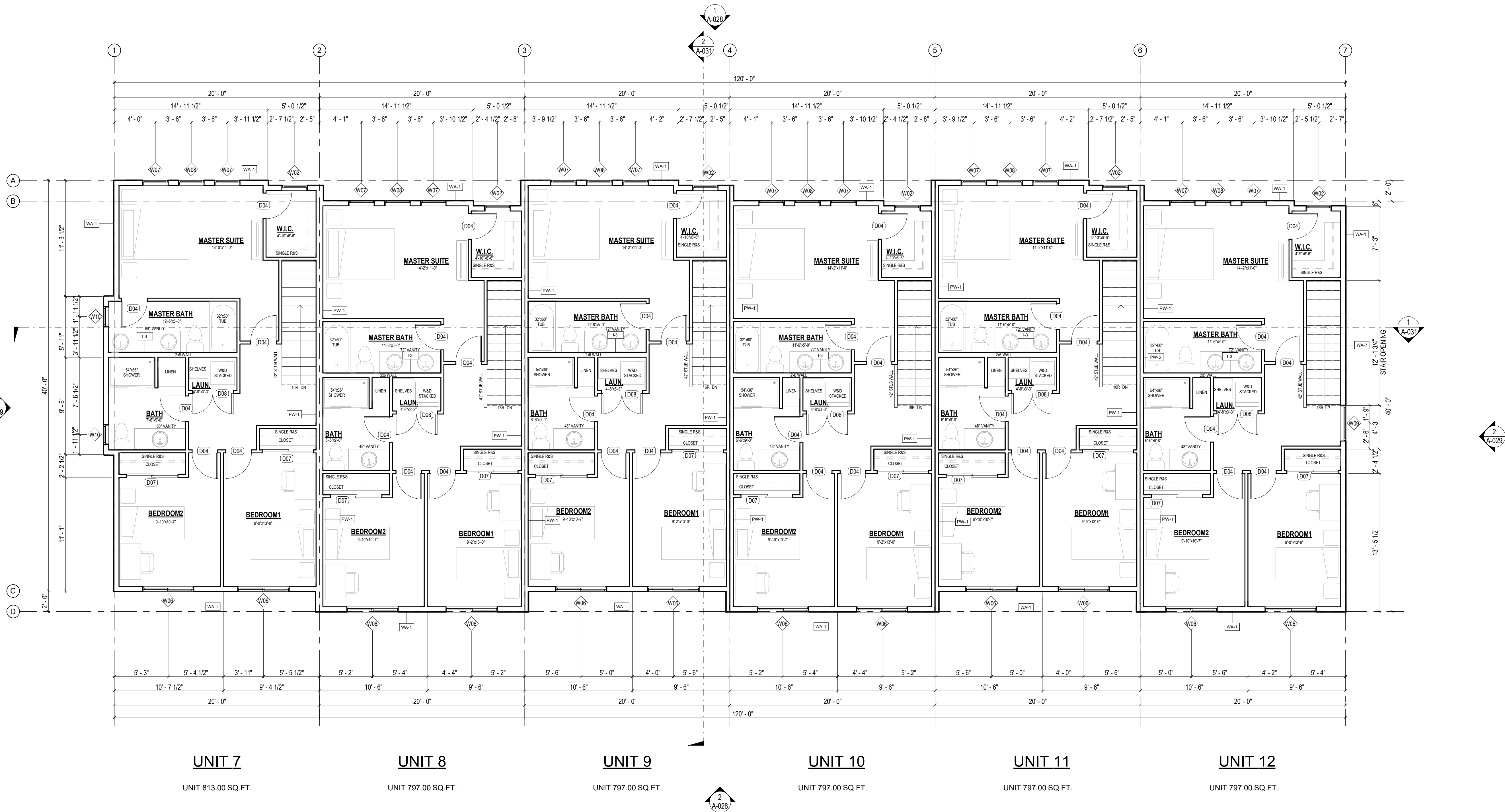
A-025

DRAWN BY: N.S.H.M / Z.R.K.H / H.H.M
CHECKED BY: E.Z.H.A / A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

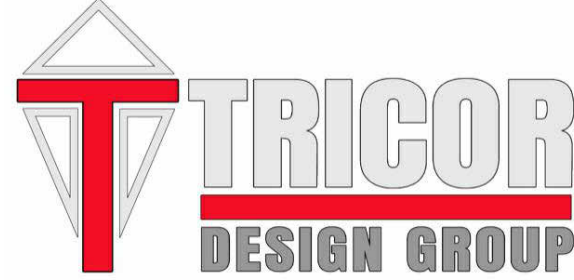
W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



1 SECOND FLOOR PLAN
3/16" = 1'-0"

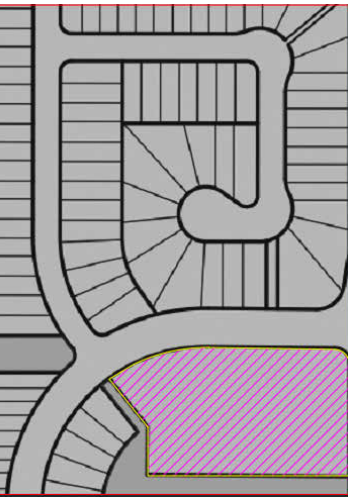
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_03_24	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	H.H.Z.R.	E.Z.H.A./A.M.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

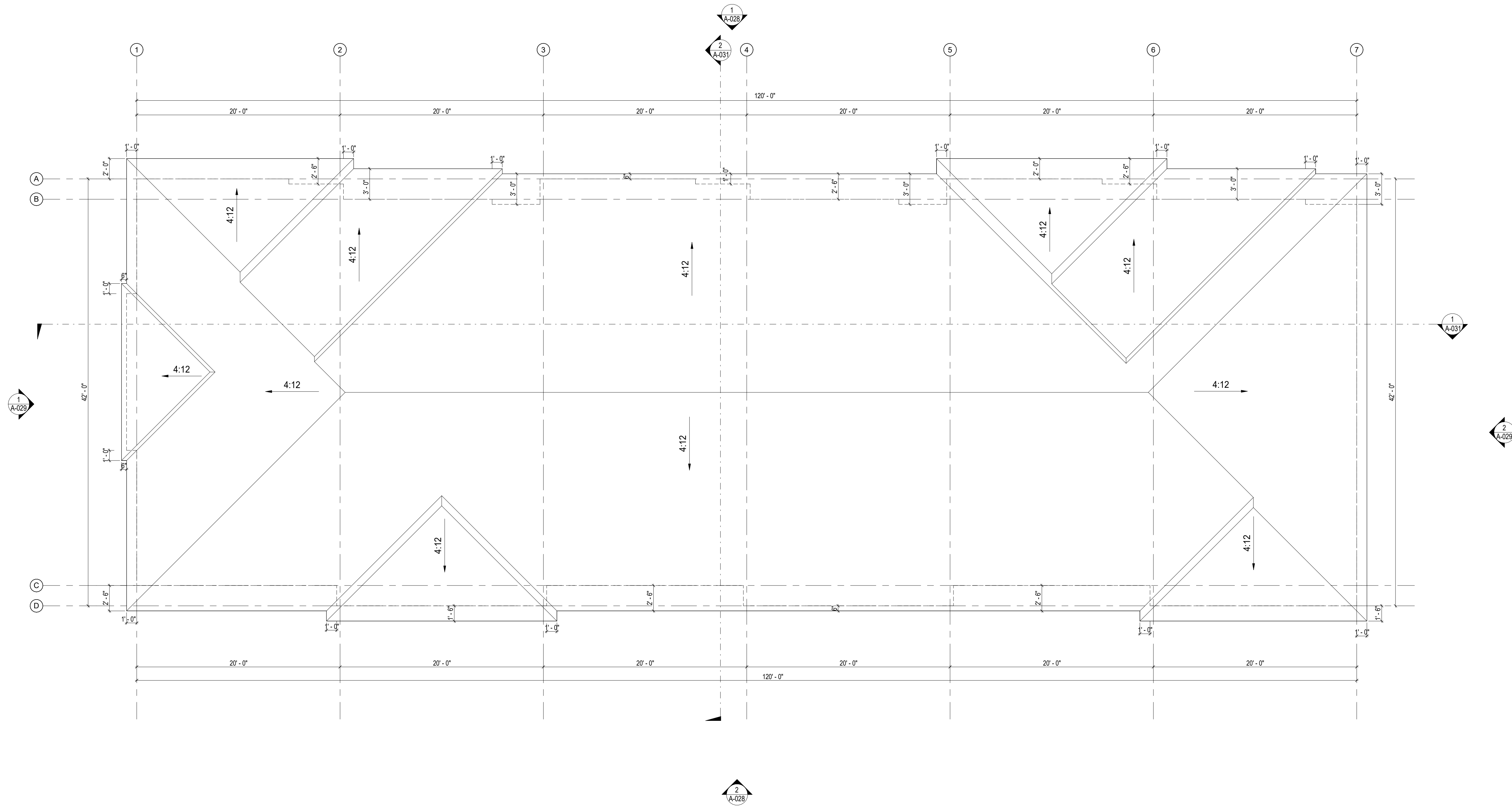
SECOND FLOOR PLAN
BUILDING 2

DRAWING NO.

A-026

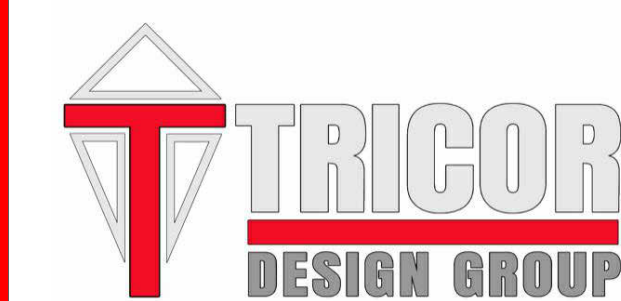
DRAWN BY: N.S.H.M./Z.R.K.H./H.H.M.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_05_14

SCALE: 3/16" = 1'-0"



1 ROOF FLOOR PLAN
3/16" = 1'-0"

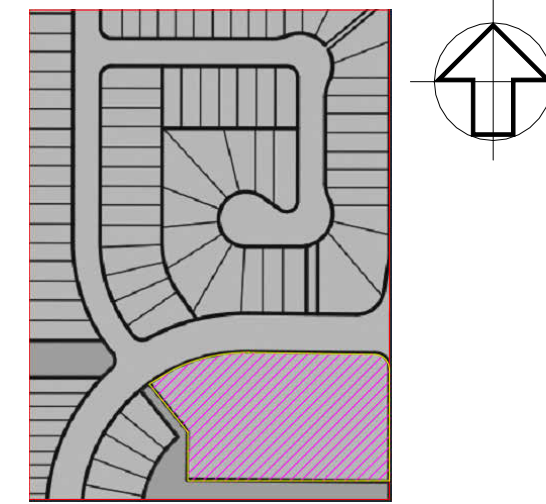
DESIGNED BY:



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tricordesigns.com

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN
BUILDING 2

DRAWING NO.

A-027

DRAWN BY: N.S.H.M./Z.R.K.H/H.H.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL :
CLOPAY MODERN STEEL
W/FULL GLAZING AND
VERTICAL STACK

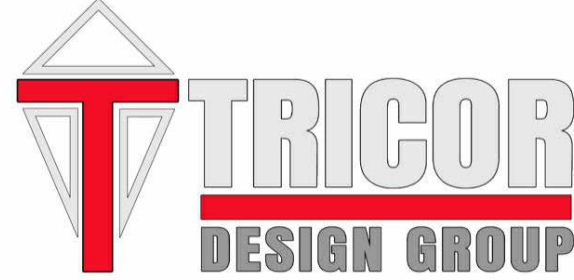


1 FRONT(EAST) ELEVATION
3/16" = 1'-0"



2 REAR(WEST) ELEVATION
3/16" = 1'-0"

DESIGNED BY:

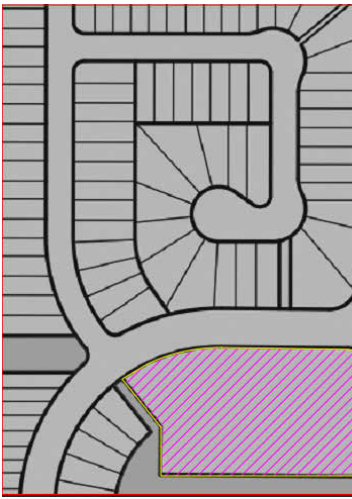


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CAL GARY, AB,
T2E 0K3

PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigins.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING 2

DRAWING NO.

A-028

DRAWN BY:

N.S.H.M./Z.R.K.H/H.H.M

CHECKED BY:

E.Z.H.A/A.M

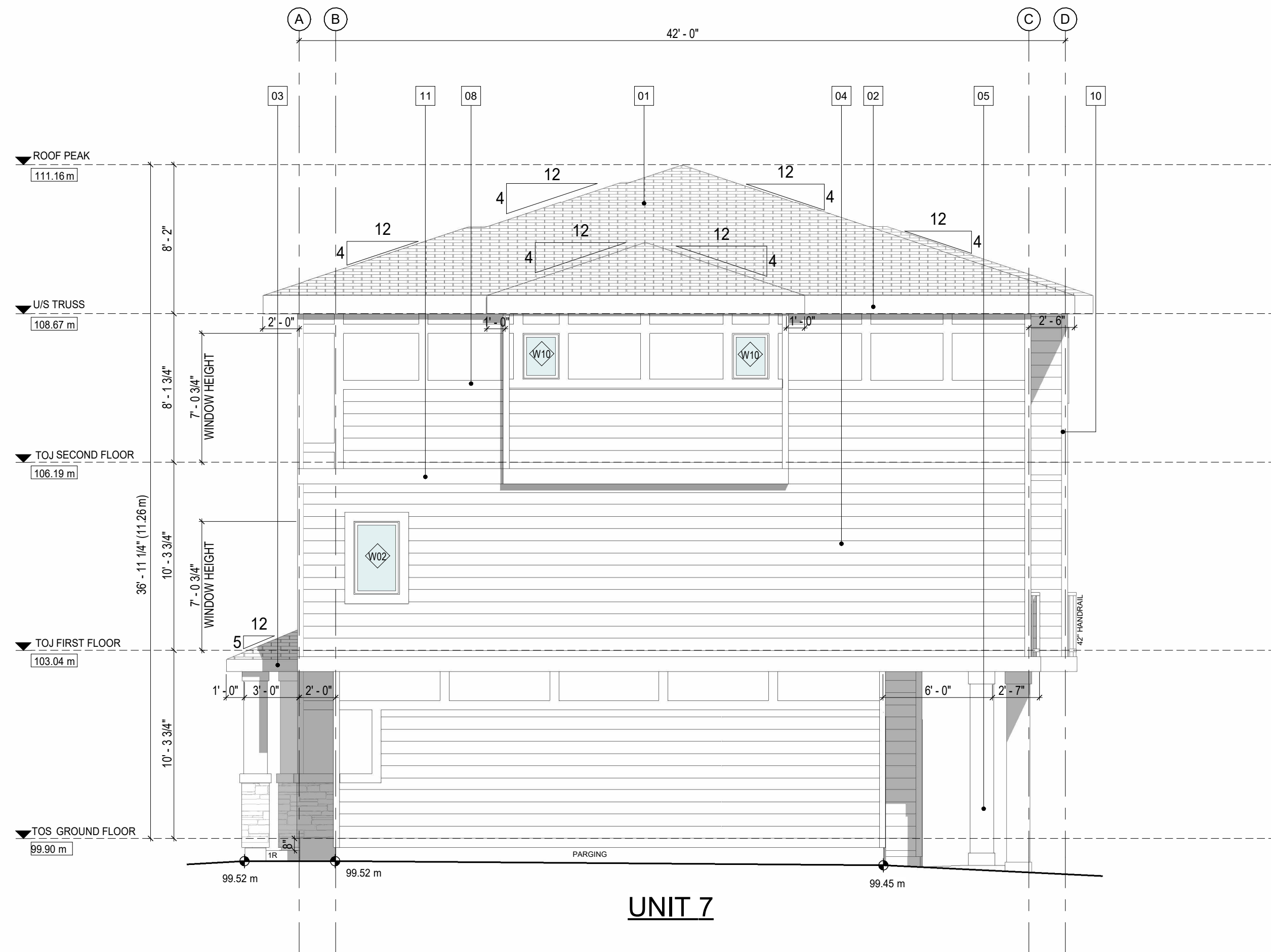
DATE:

25_06_14

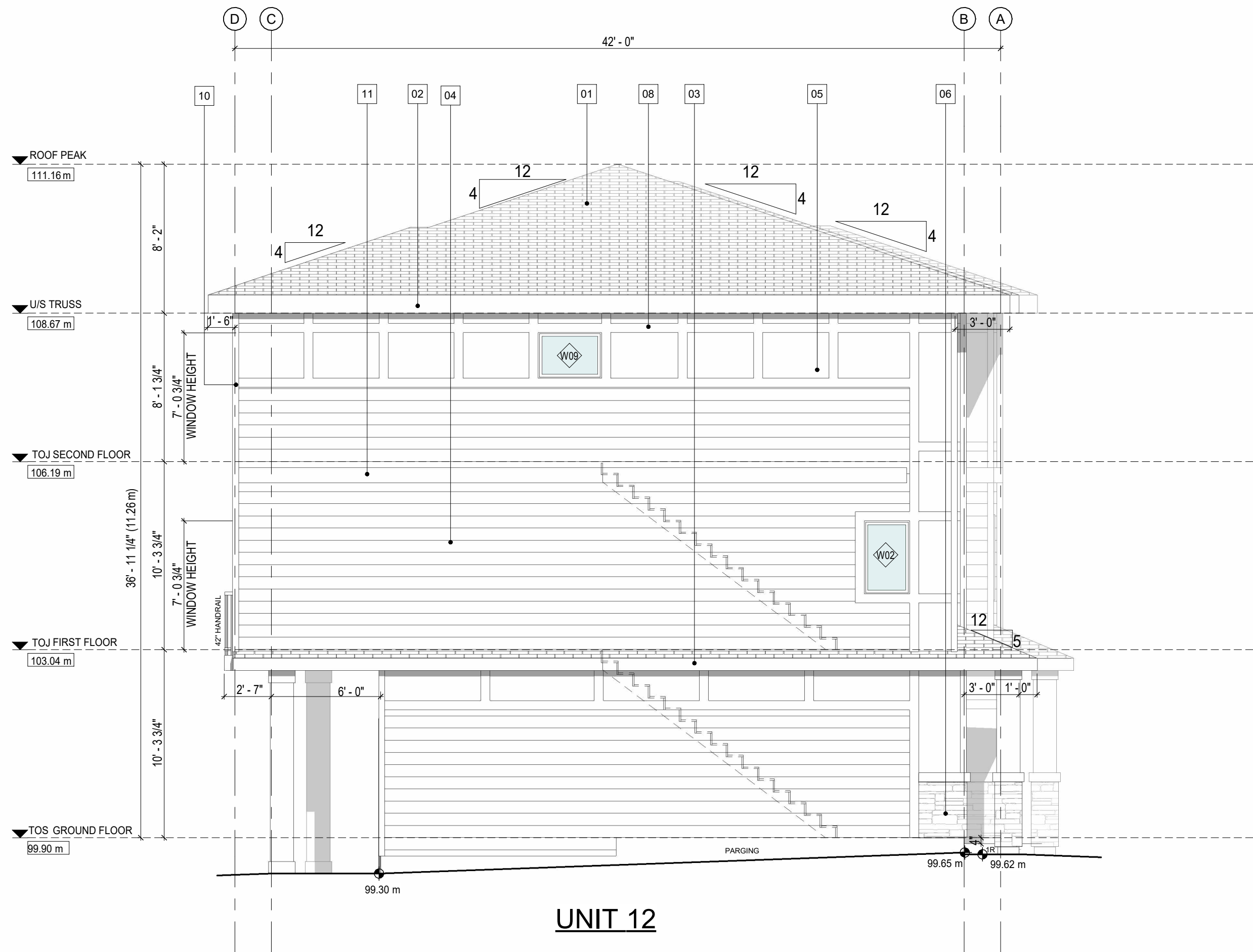
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).



1 RIGHT(NORTH) ELEVATION
3/16" = 1'-0"



2 LEFT(SOUTH) ELEVATION
3/16" = 1'-0"

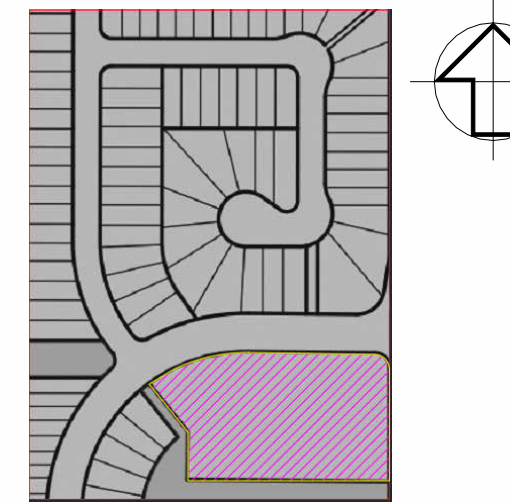
DESIGNED BY:



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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING 2

DRAWING NO.

A-029

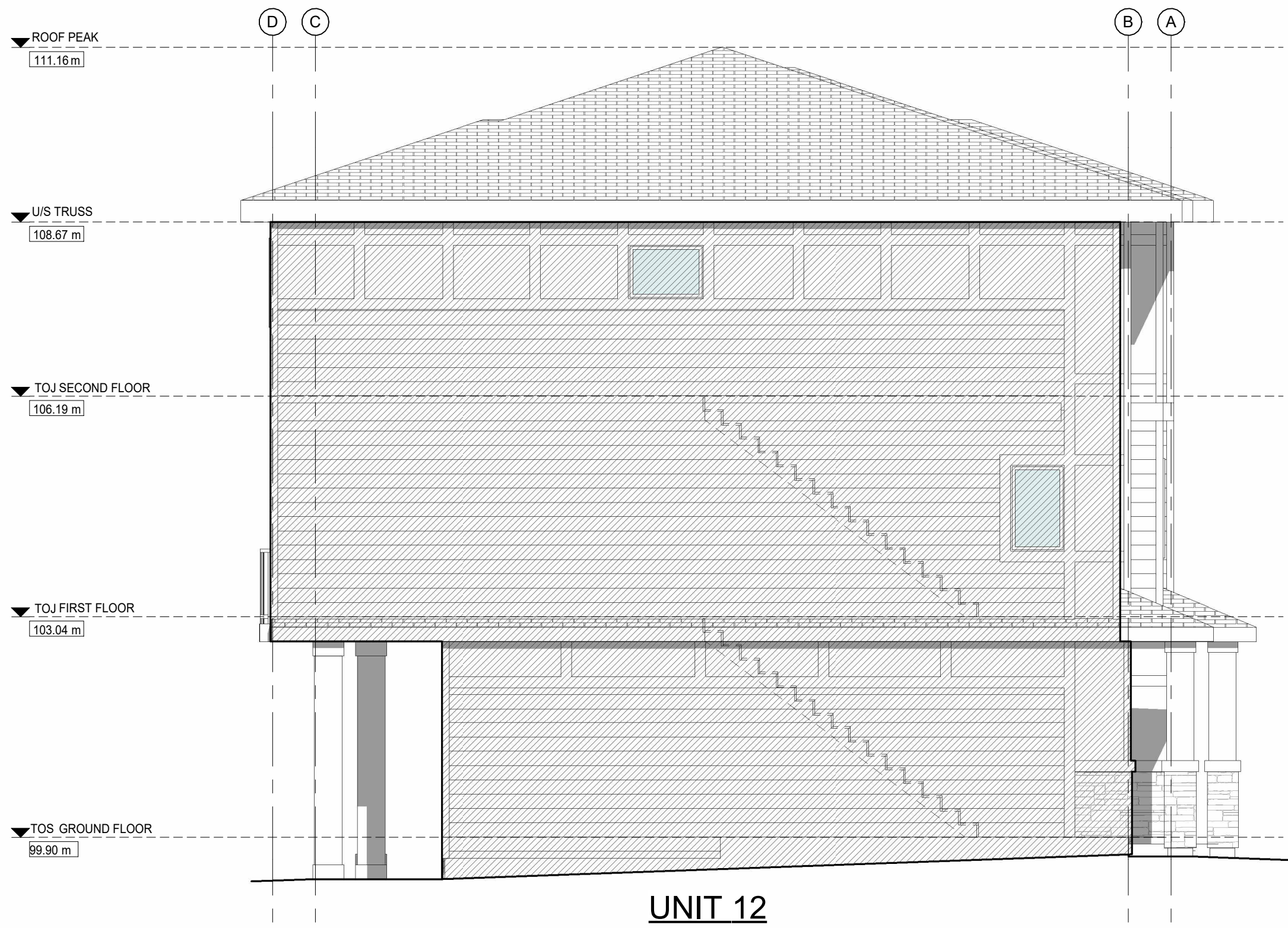
DRAWN BY: N.S.H.M/
Z.R.K.H/H.H.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"



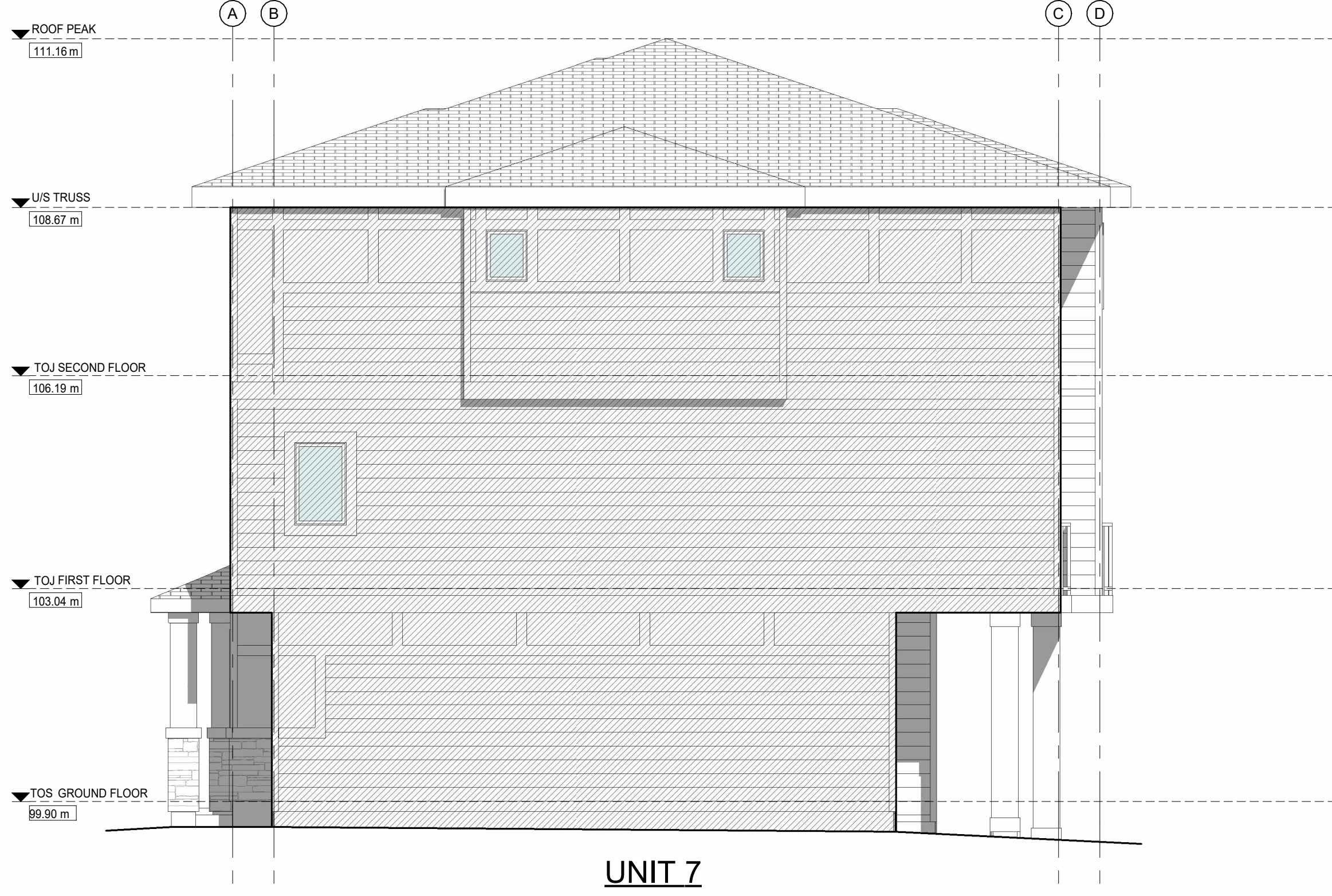
1 REAR(WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 7		UNIT 8		UNIT 10		UNIT 11		UNIT 12	
CODE CHECK EXPOSED BUILDING FACE	606 SQ.FT	56.26 SQ.M	634 SQ.FT	58.86 SQ.M	634 SQ.FT	58.87 SQ.M	596 SQ.FT	55.37 SQ.M	628 SQ.FT	58.30 SQ.M
SETBACK	15' - 5"	4.69 m	14' - 5"	4.39 m	17' - 4"	5.29 m	17' - 11"	5.45 m	15' - 9"	4.79 m
PERCENTAGE OF ALLOWED OPENINGS	36.19%		31.43%		43.44%		46.94%		36.94%	
SQ.FT.OF ALLOWED OPENING	219.15 SQ.FT	20.36 SQ.M	199.13 SQ.FT	18.50 SQ.M	275.24 SQ.FT	25.57 SQ.M	279.75 SQ.FT	25.99 SQ.M	231.82 SQ.FT	21.54 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	109.58 SQ.FT	10.18 SQ.M	99.56 SQ.FT	9.25 SQ.M	137.62 SQ.FT	12.79 SQ.M	139.87 SQ.FT	12.99 SQ.M	115.91 SQ.FT	10.77 SQ.M



UNPROTECTED OPENINGS	UNIT 12	
CODE CHECK EXPOSED BUILDING FACE	1119 SQ.FT	103.99 SQ.M
SETBACK	16' - 2"	4.94 m
PERCENTAGE OF ALLOWED OPENINGS	15.29%	
SQ.FT.OF ALLOWED OPENING	171.14 SQ.FT	15.90 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	85.57 SQ.FT	7.95 SQ.M

2 LEFT(SOUTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 7	
CODE CHECK EXPOSED BUILDING FACE	1107 SQ.FT	102.83 SQ.M
SETBACK	18' - 5"	5.62 m
PERCENTAGE OF ALLOWED OPENINGS	17.67%	
SQ.FT.OF ALLOWED OPENING	195.58 SQ.FT	18.17 SQ.M
ACTUAL SQ.FT.OF OPENINGS	20.00 SQ.FT	1.86 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	97.79 SQ.FT	9.08 SQ.M

3 RIGHT(NORTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

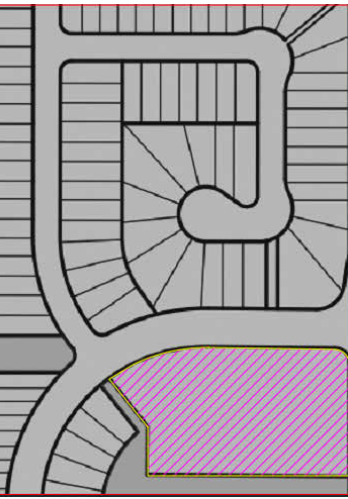
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/M
03	25_05_14	DTR 2	M.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UPROTECTED OPENINGS
REAR/LEFT/ RIGHT ELEVATIONS
BUILDING 2

DRAWING NO.

A-030

DRAWN BY: N.S.H.M / Z.R.K.H / H.H.M
CHECKED BY: E.Z.H.A / M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

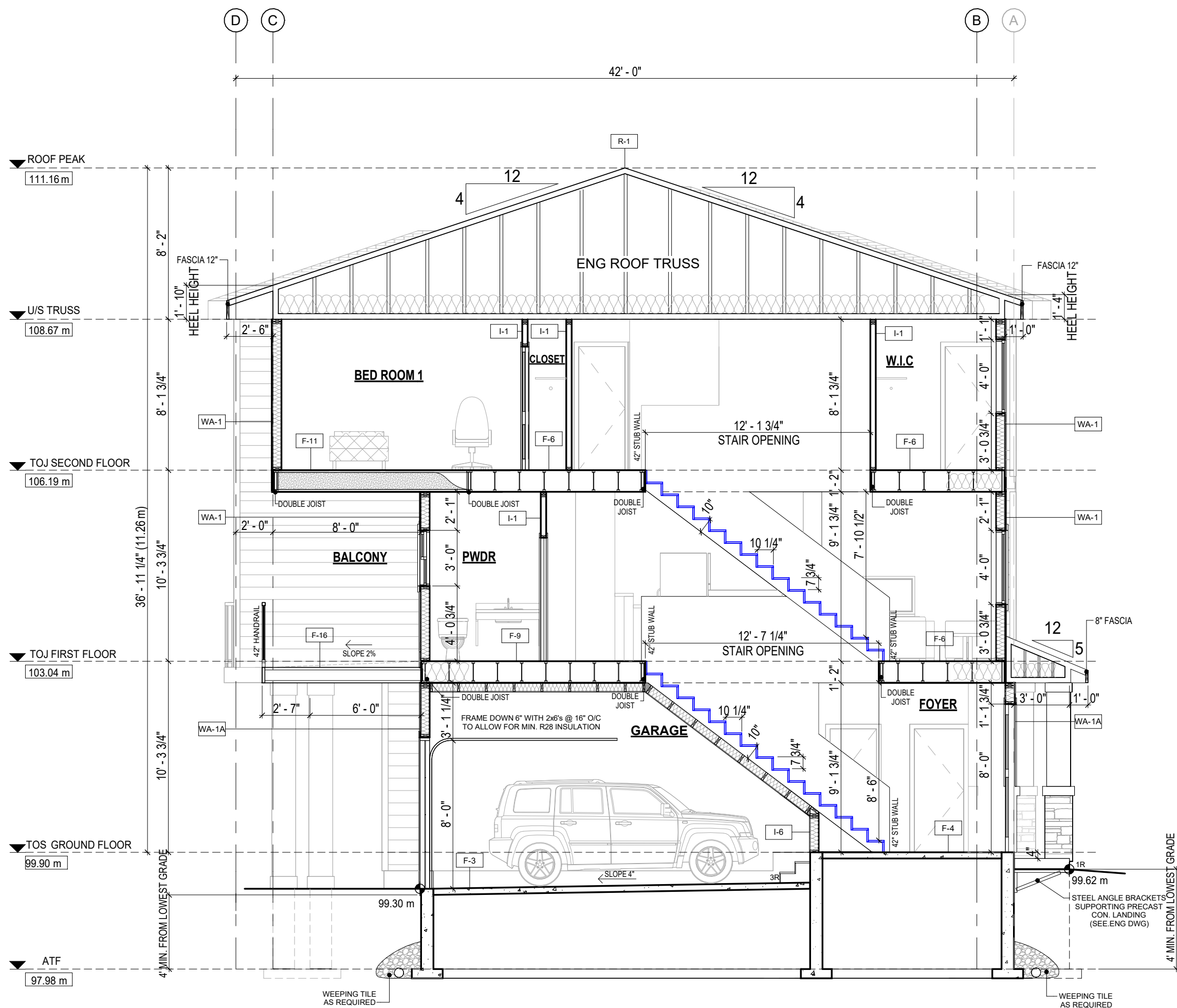
NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE



1 SECTION 1-1
3/16" = 1'-0"



UNIT 9

2 SECTION 2-2
3/16" = 1'-0"

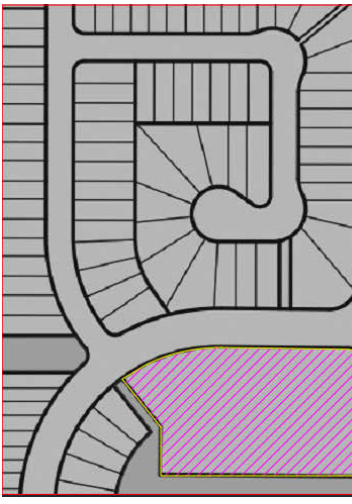
DESIGNED BY:



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tricordesigns.com

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T2E 0K3 EMAIL: info@tricordesigns.com

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1-1/ SECTION2-2
BUILDING 2

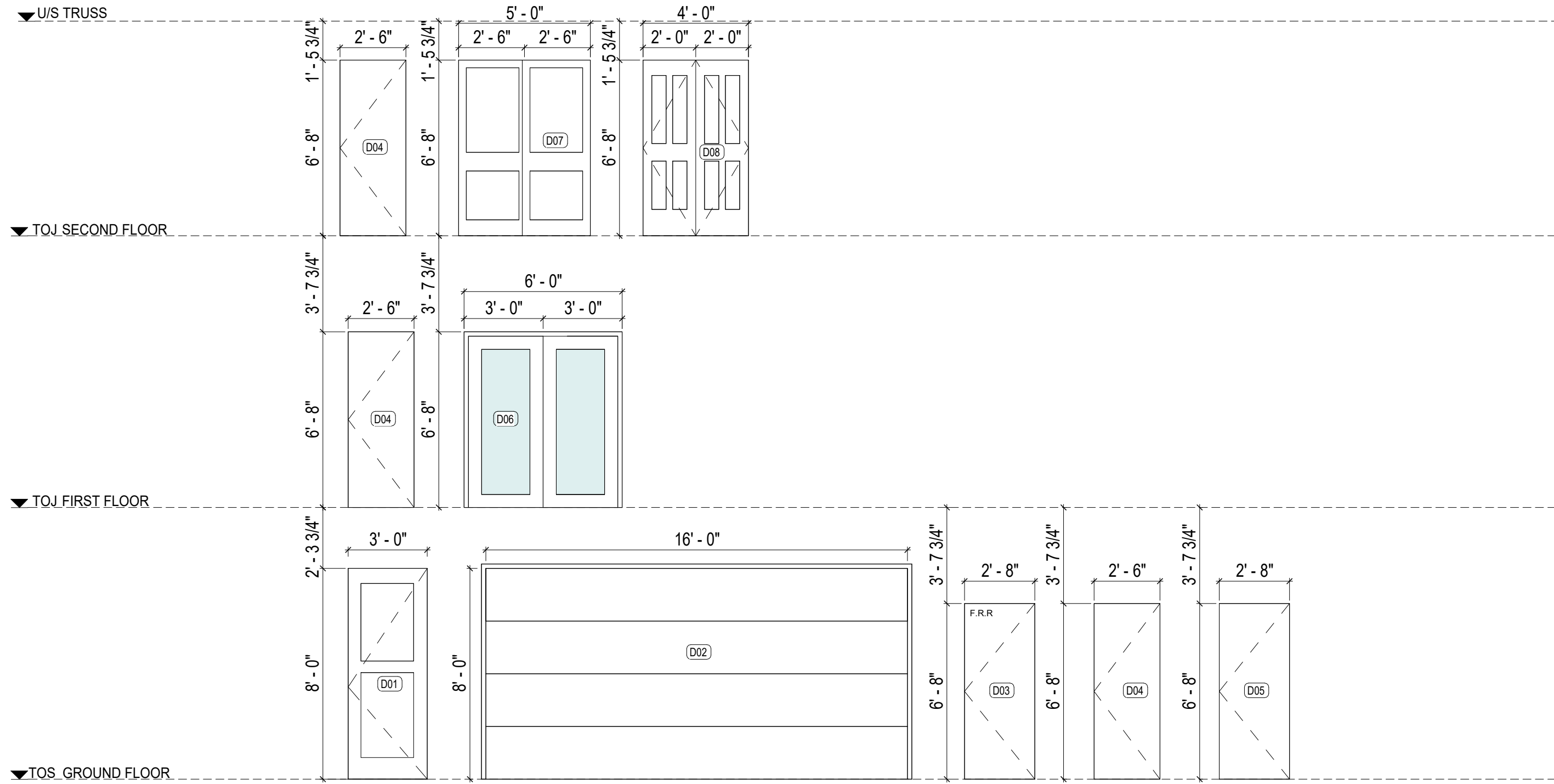
DRAWING NO.

A-031

DRAWN BY: N.S.H.M./Z.R.K.H/H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

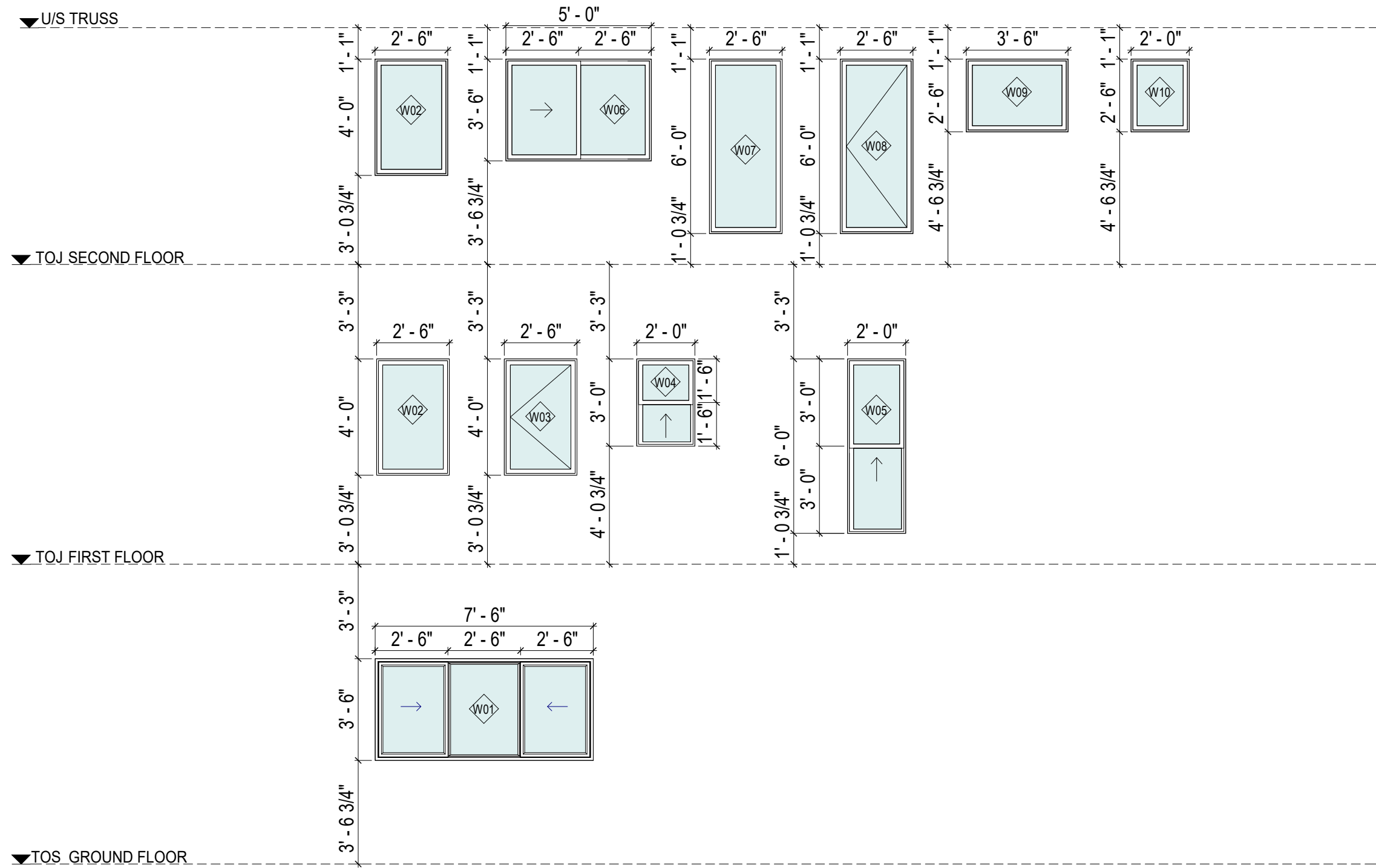
GARAGE DOOR MODEL :
CLOPAY MODERN STEEL
W/FULL GLAZING AND
VERTICAL STACK



1 DOORS TYPES

1/4" = 1'-0"

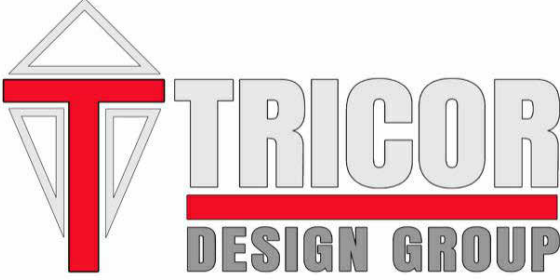
W08 :WILL BE (WOCD).



2 WINDOWS TYPES

1/4" = 1'-0"

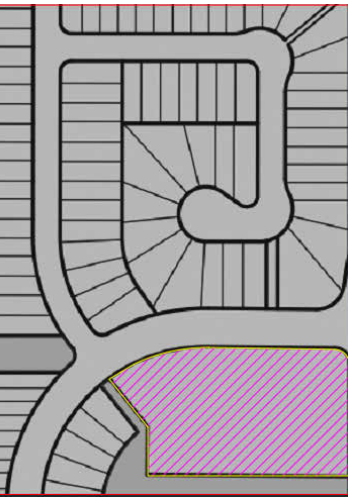
DESIGNED BY:



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tricordesigns.com

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T2E 0K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

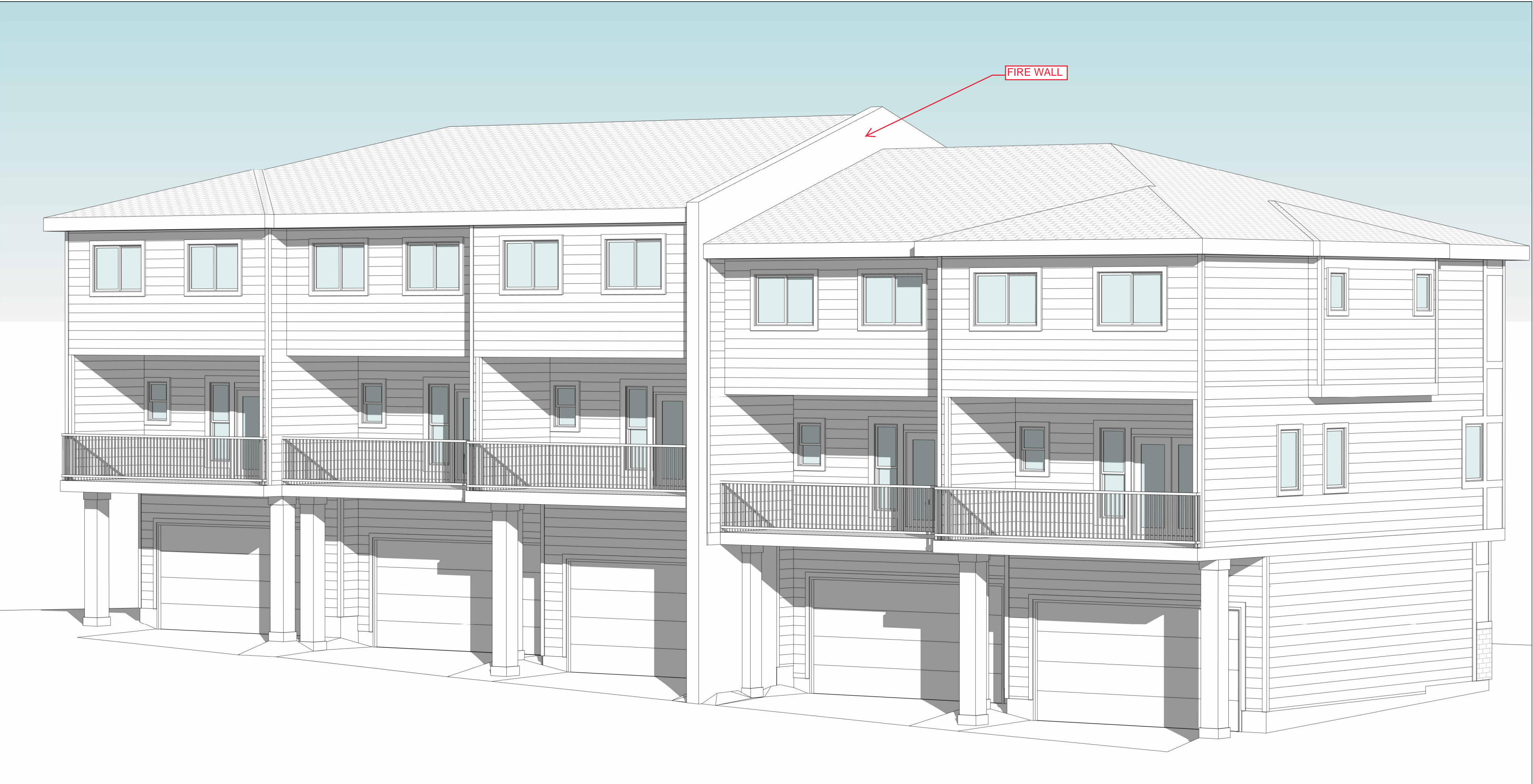
WINDOWS & DOORS TYPES
BUILDING 2

DRAWING NO.

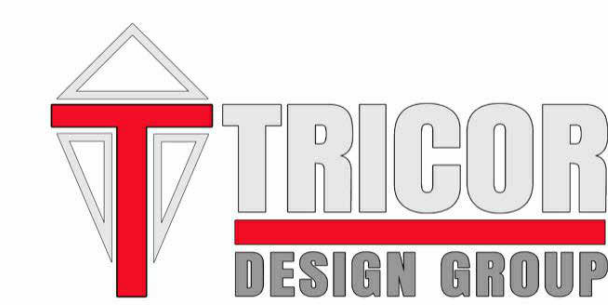
A-032

DRAWN BY: N.S.H.M / Z.R.K.H/H.H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 1/4" = 1'-0"



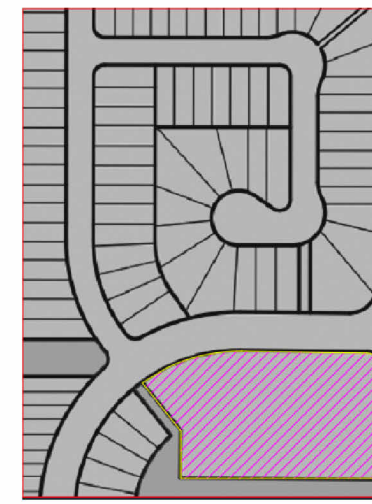
DESIGNED BY:



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KEY PLAN



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REVISIONS:

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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

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02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

**LUXURIA HOMES
AIRDRIE ,AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**3D VIEWS
BUILDING 3**

DRAWING NO.

A-033

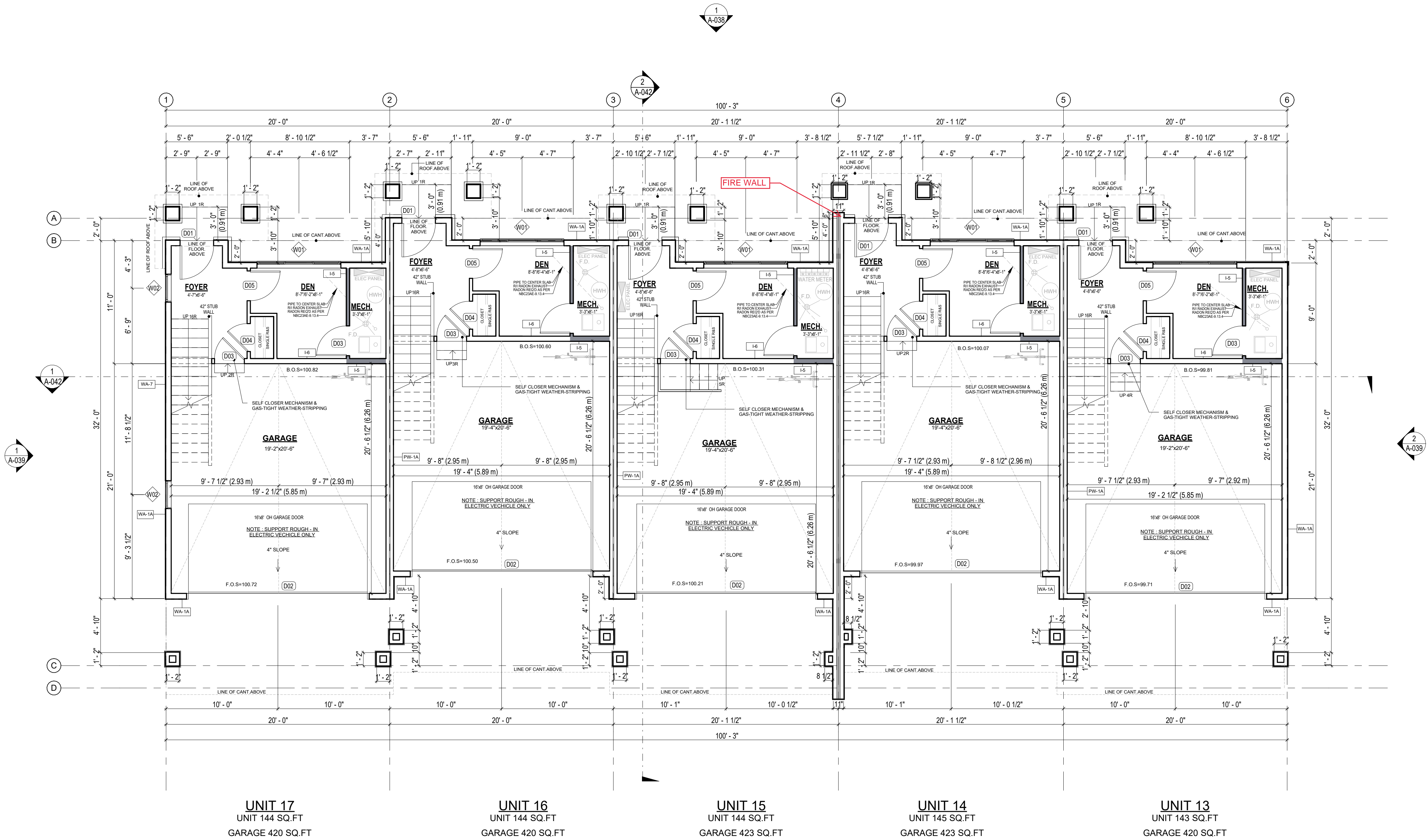
DRAWN BY:
N.S.K.H.S.S/
H.J.Z.R.H.E/H

CHECKED BY:
E.Z.H.A/A.M

DATE:
25_06_14

SCALE:

W8 :WILL BE (WOCD).
GROUND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN SILL HEIGHT
AND OUTSIDE GRADE IS MORE
THAN (72") , AND THE OPENING
PORTION WINDOW IS LESS THAN
(36") ,THAT WILL ALLOW THE
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

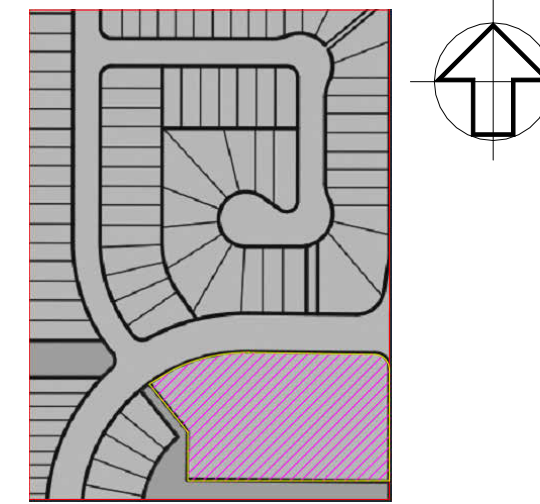
DESIGNED BY:



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KEY PLAN



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REVISIONS:

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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/M
03	25_05_14	DTR 2	E.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING 3

DRAWING NO.

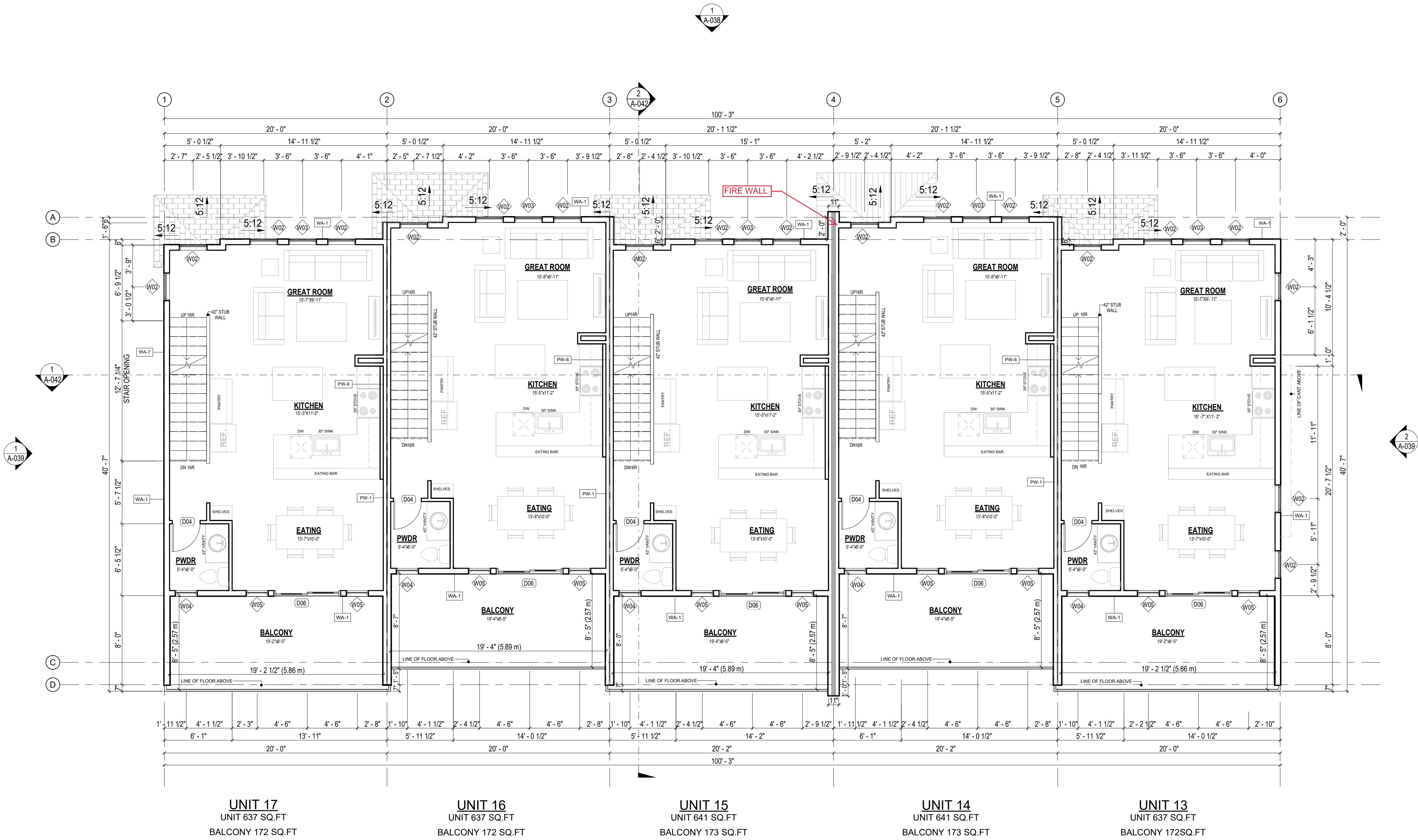
A-034

DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H
CHECKED BY: E.Z.H.A/M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

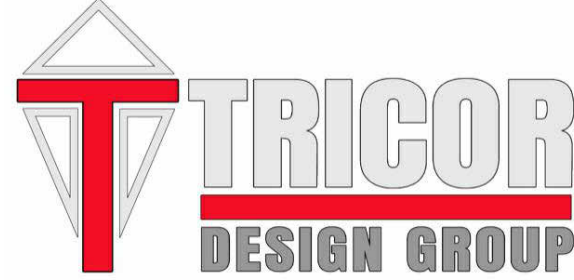
W8 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

DESIGNED BY:

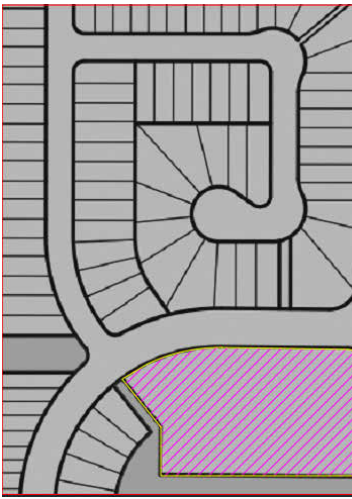


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KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	E.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING 3

DRAWING NO.

A-035

DRAWN BY:

N.S.K.H.S./H.I.Z.R.H.E.

CHECKED BY:

E.Z.H.A./A.M.

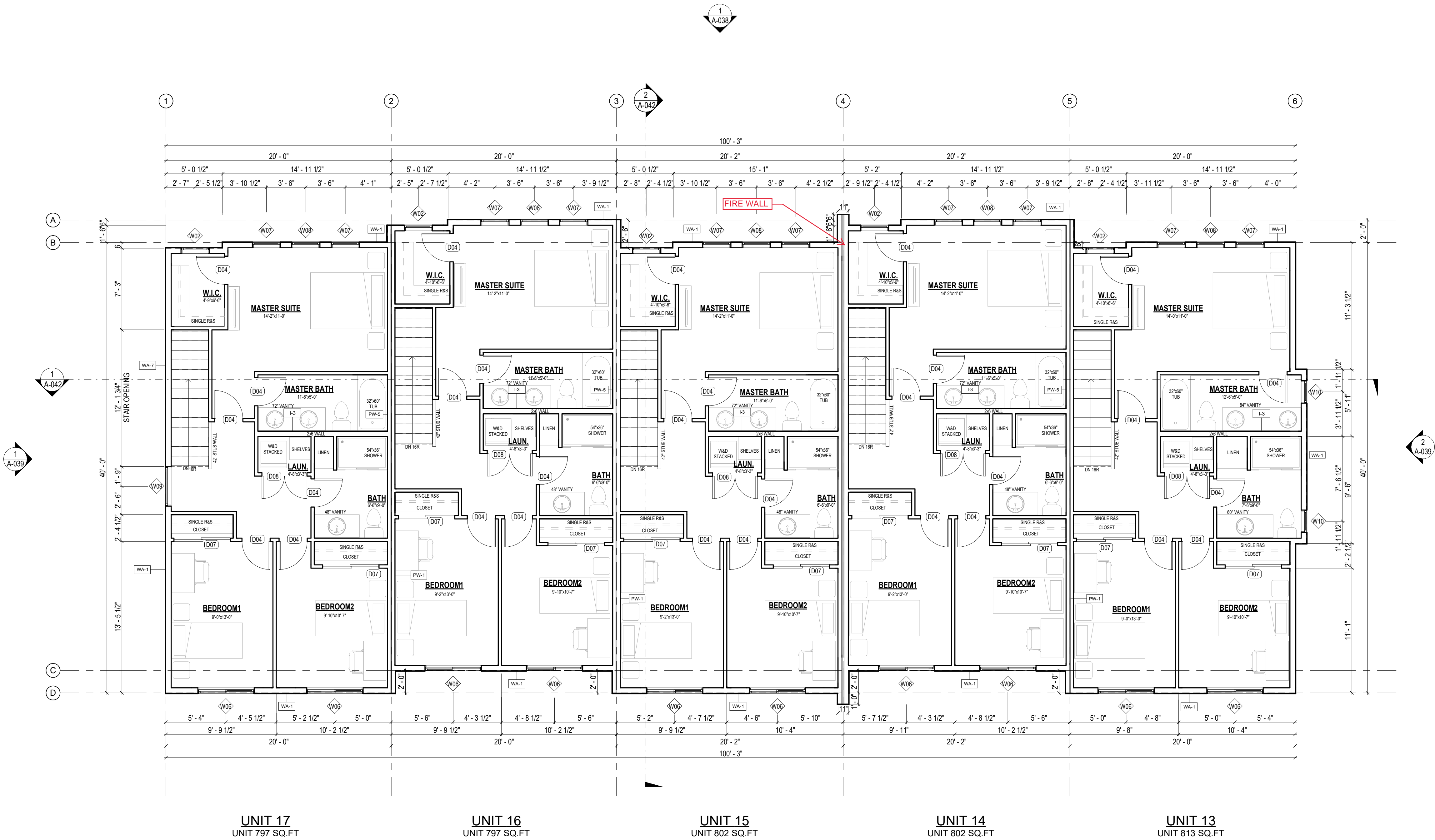
DATE:

25_06_14

SCALE: 3/16" = 1'-0"

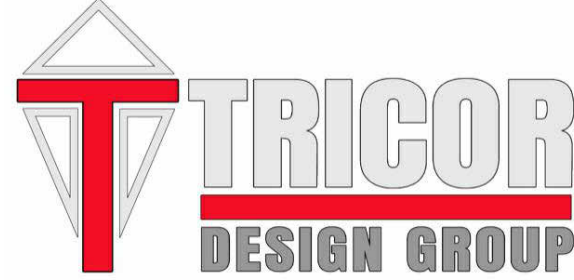
W8 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



1 SECOND FLOOR PLAN
3/16" = 1'-0"

DESIGNED BY:

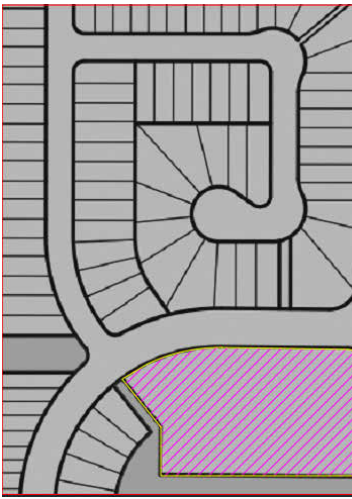


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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/M
03	25_05_14	DTR 2	E.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN
BUILDING 3

DRAWING NO.

A-036

DRAWN BY:

CHECKED BY:

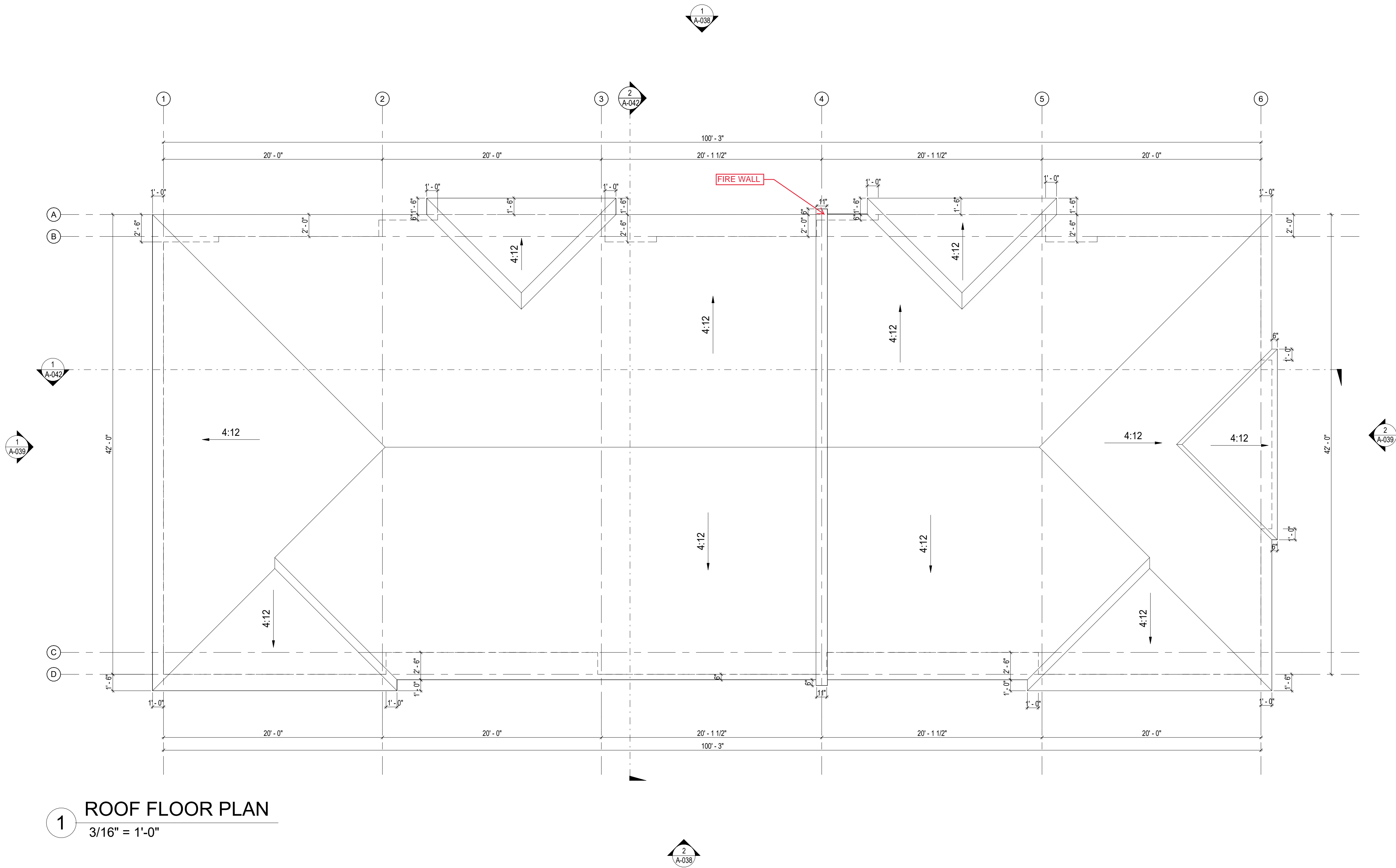
DATE:

N.S.K/H.S.S./H.I.Z.R.H.E/H.H

E.Z.H.A/M

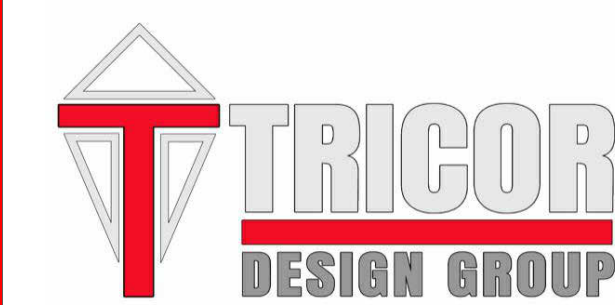
25_06_14

SCALE: 3/16" = 1'-0"



1 ROOF FLOOR PLAN
3/16" = 1'-0"

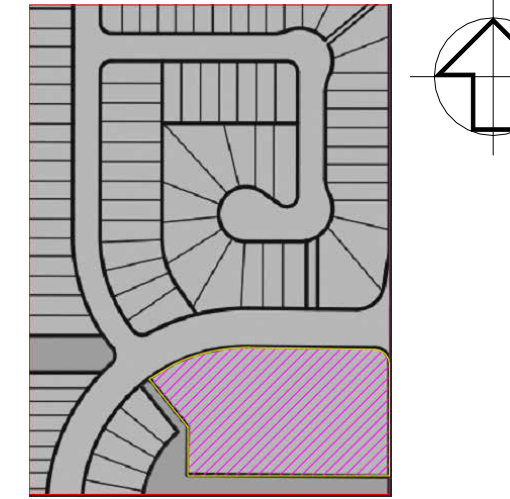
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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S /H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S /H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN
BUILDING 3

DRAWING NO.

A-037

DRAWN BY: N.S.K.H.S.S / H.I.Z.R.H.E
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"

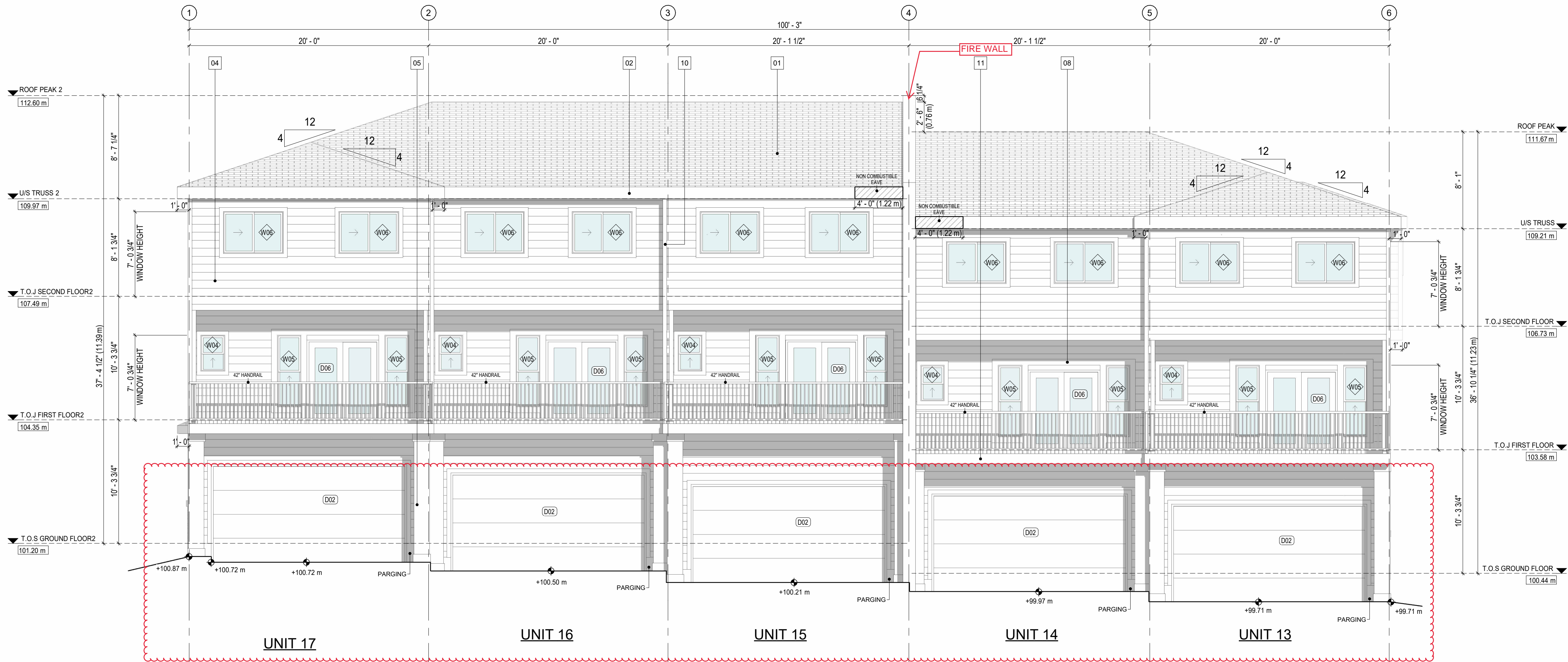
MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL HARDIE SIDING
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING



1 FRONT (NORTH) ELEVATION
3/16" = 1'-0"



2 REAR (SOUTH)ELEVATION
3/16" = 1'-0"

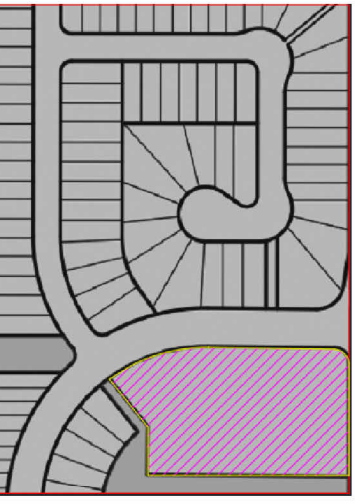
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING 3

DRAWING NO.

A-038

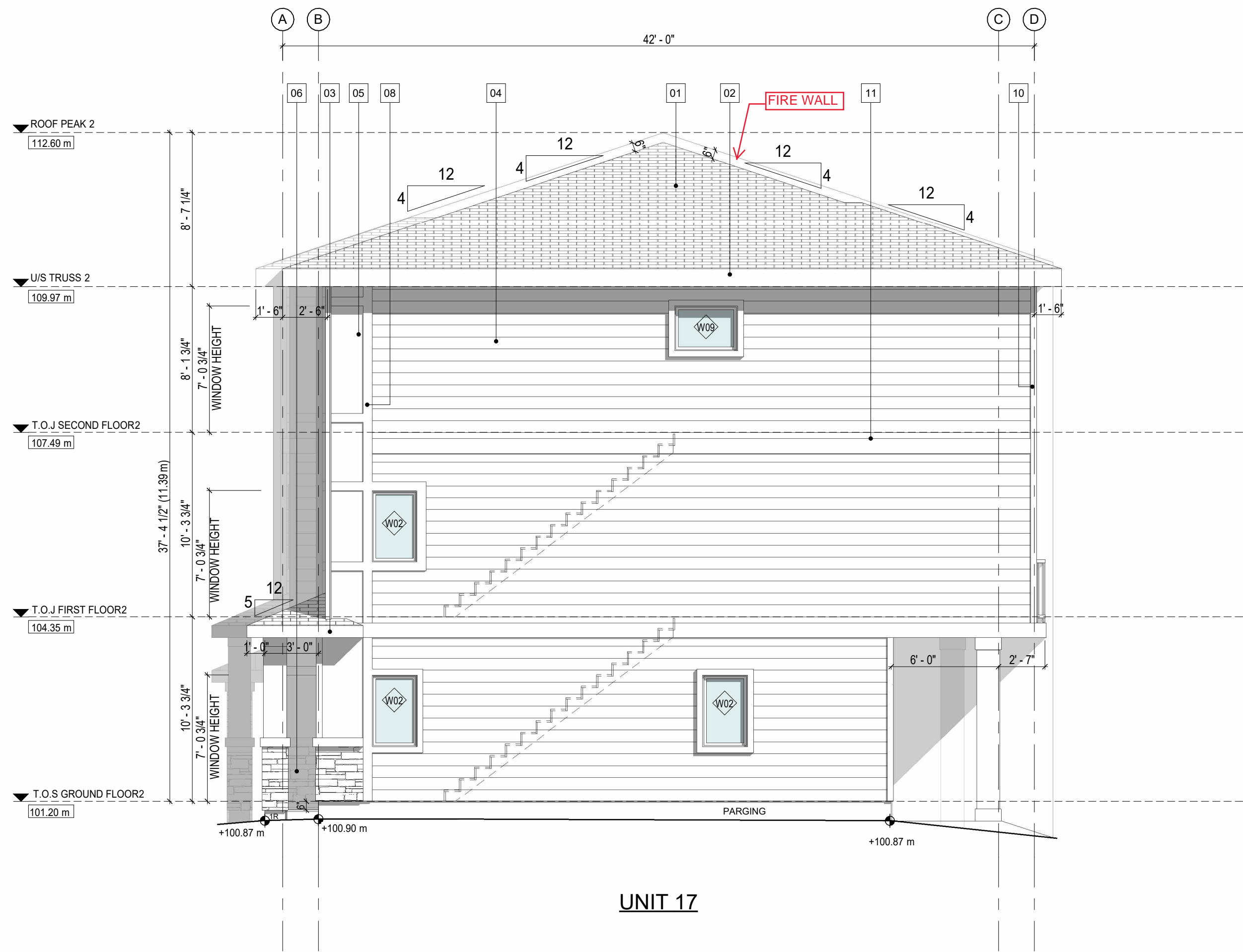
DRAWN BY: N.S.K.H.S./H.I.Z.R.H.E/H
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

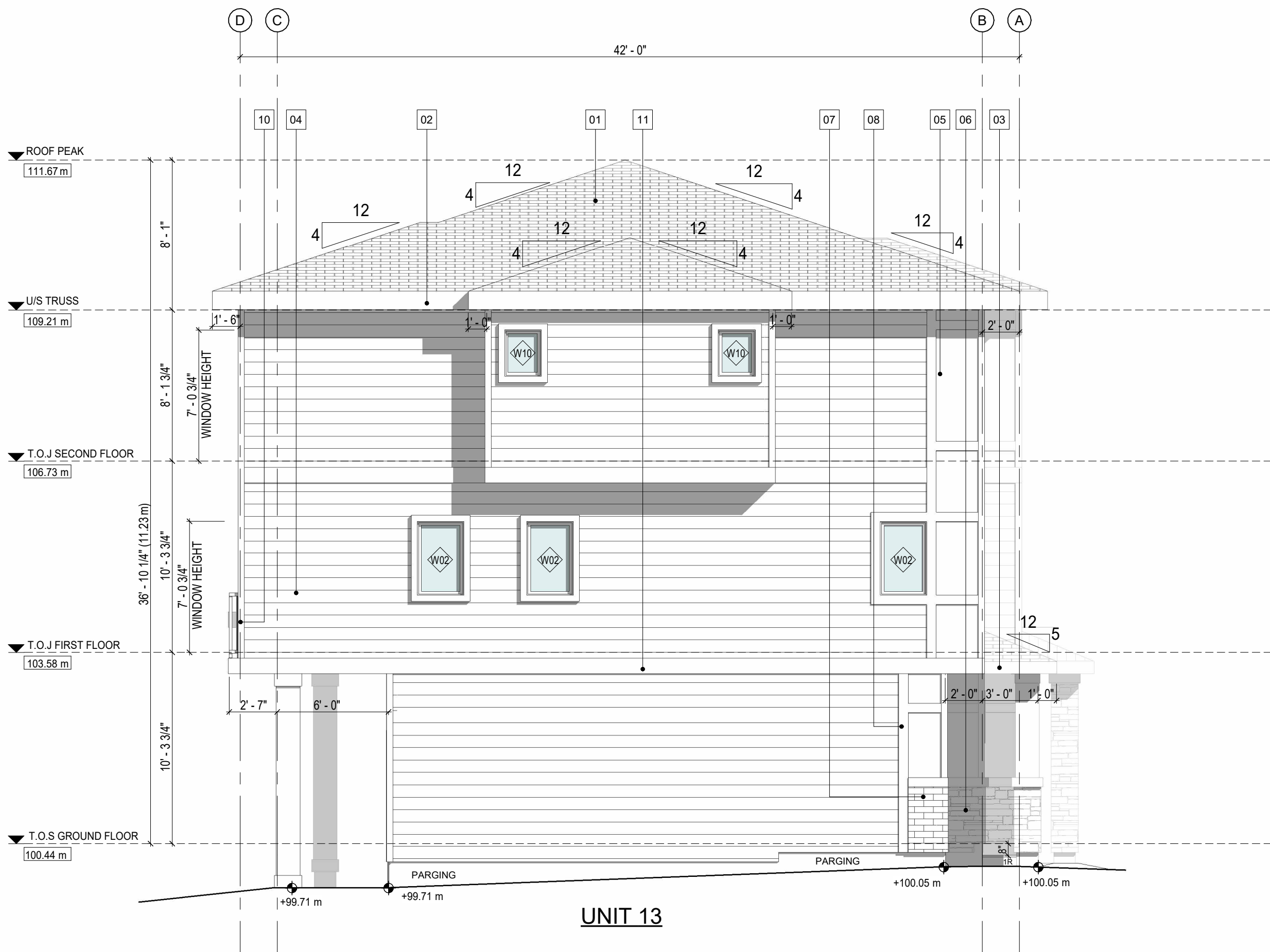
MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL HARDIE SIDING
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

1 RIGHT (WEST) ELEVATION
3/16" = 1'-0"



UNIT 17



UNIT 13

2 LEFT(EAST) ELEVATION
3/16" = 1'-0"

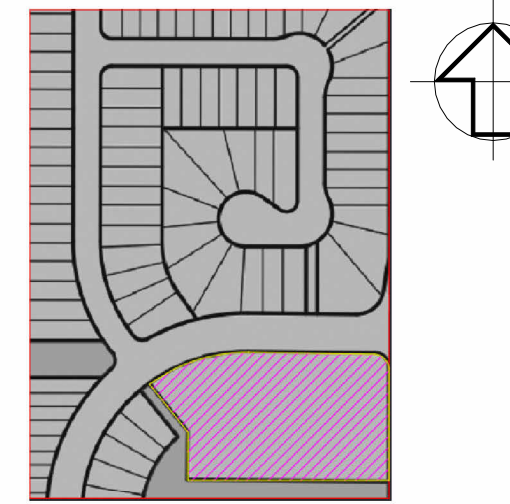
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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING 3

DRAWING NO.

A-039

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E/H
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"



FRONT (NORTH) ELEVATION
LIMITING DISTANCE

1

3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 13		UNIT 14		UNIT 15		UNIT 16		UNIT 17	
CODE CHECK EXPOSED BUILDING FACE	591 SQ.FT	54.88 SQ.M	632 SQ.FT	58.75 SQ.M	574 SQ.FT	53.32 SQ.M	627 SQ.FT	58.26 SQ.M	589 SQ.FT	54.69 SQ.M
SETBACK	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	34.65%		29.59%		35.07%		29.7%		39.01%	
SQ.FT.OF ALLOWED OPENING	204.67 SQ.FT	19.01 SQ.M	187.12 SQ.FT	17.38 SQ.M	201.28 SQ.FT	18.70 SQ.M	186.24 SQ.FT	17.30 SQ.M	229.64 SQ.FT	21.33 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	102.33 SQ.FT	9.51 SQ.M	93.56 SQ.FT	8.69 SQ.M	100.64 SQ.FT	9.35 SQ.M	93.12 SQ.FT	8.65 SQ.M	114.82 SQ.FT	10.67 SQ.M



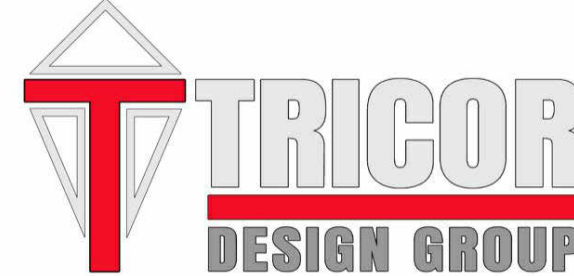
REAR (SOUTH)ELEVATION
LIMITING DISTANCE

2

3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 17		UNIT 16		UNIT 15		UNIT 14		UNIT 13	
CODE CHECK EXPOSED BUILDING FACE	619 SQ.FT	57.50 SQ.M	602 SQ.FT	55.97 SQ.M	665 SQ.FT	61.76 SQ.M	590 SQ.FT	54.81 SQ.M	636 SQ.FT	59.07 SQ.M
SETBACK	23' - 9"	7.23 m	25' - 11"	7.91 m	24' - 2"	7.36 m	26' - 4"	8.03 m	24' - 6"	7.48 m
PERCENTAGE OF ALLOWED OPENINGS	78.06%		92.92%		77.47%		100%		81.83%	
SQ.FT.OF ALLOWED OPENING	483.10 SQ.FT	44.88 SQ.M	559.79 SQ.FT	52.01 SQ.M	515.02 SQ.FT	47.85 SQ.M	589.94 SQ.FT	54.81 SQ.M	520.32 SQ.FT	48.34 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	241.55 SQ.FT	22.44 SQ.M	279.89 SQ.FT	26.00 SQ.M	257.51 SQ.FT	23.92 SQ.M	294.97 SQ.FT	27.40 SQ.M	260.16 SQ.FT	24.17 SQ.M

DESIGNED BY:

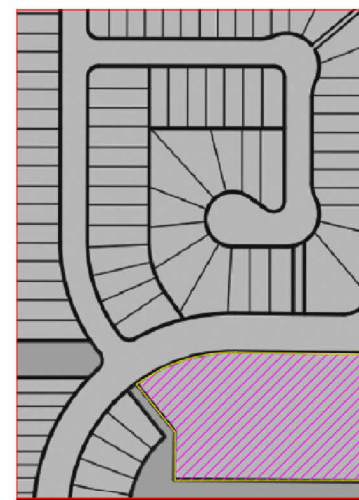


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z/R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (1)
BUILDING 3

DRAWING NO.

A-040

DRAWN BY:

CHECKED BY:

DATE:

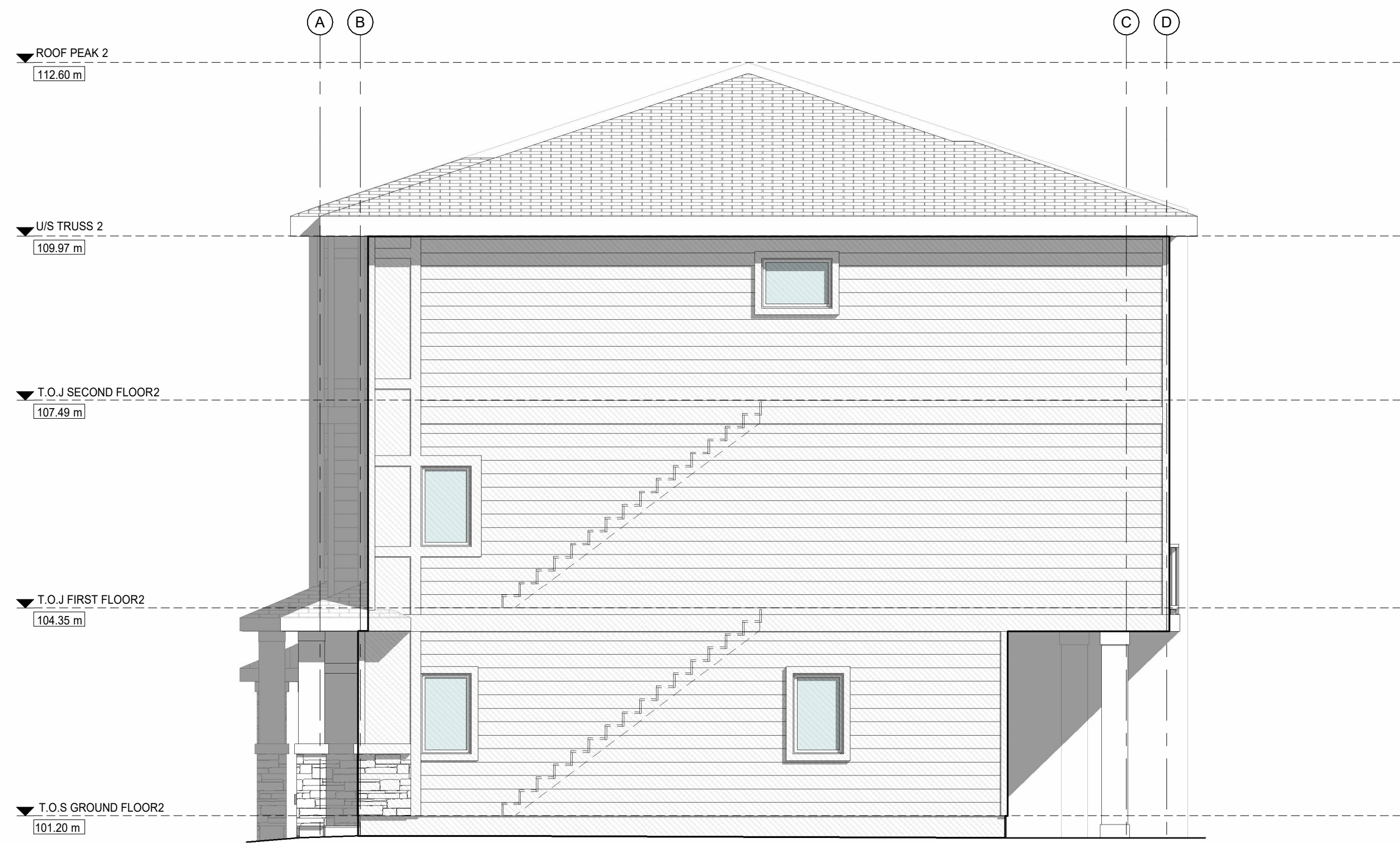
N.S.K/H.S.S./H.I.Z/R.H.E/H

E.Z.H.A/A.M

25_06_14

SCALE: 3/16" = 1'-0"

1 RIGHT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNIT 17

UNPROTECTED OPENINGS	UNIT 17	
CODE CHECK EXPOSED BUILDING FACE	1107 SQ.FT	102.88 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	77.52 SQ.FT	7.20 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	38.76 SQ.FT	3.60 SQ.M

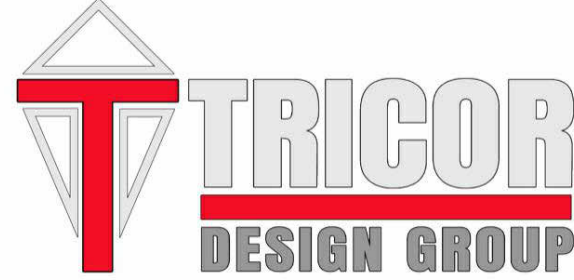
2 LEFT(EAST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNIT 13

UNPROTECTED OPENINGS	UNIT 13	
CODE CHECK EXPOSED BUILDING FACE	1122 SQ.FT	104.20 SQ.M
SETBACK	17' - 4"	5.29 m
PERCENTAGE OF ALLOWED OPENINGS	16.52%	
SQ.FT.OF ALLOWED OPENING	185.30 SQ.FT	17.21 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	92.65 SQ.FT	8.61 SQ.M

DESIGNED BY:

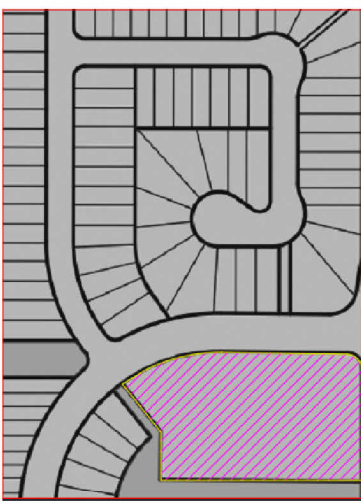


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (2)
BUILDING 3

DRAWING NO.

A-041

DRAWN BY:

CHECKED BY:

DATE:

N.S.K.H.S.S./H.I.Z.R.H.E/H

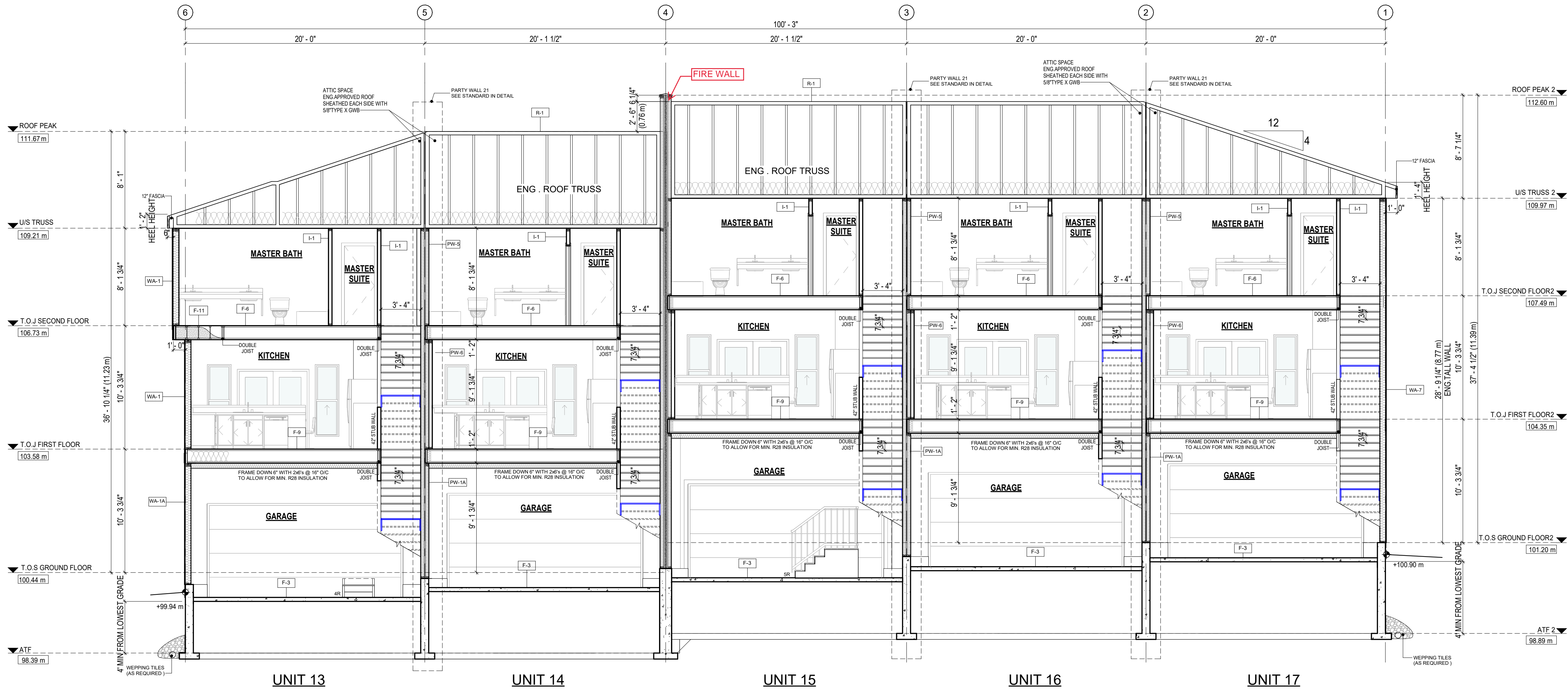
E.Z.H.A/A.M

25_05_14

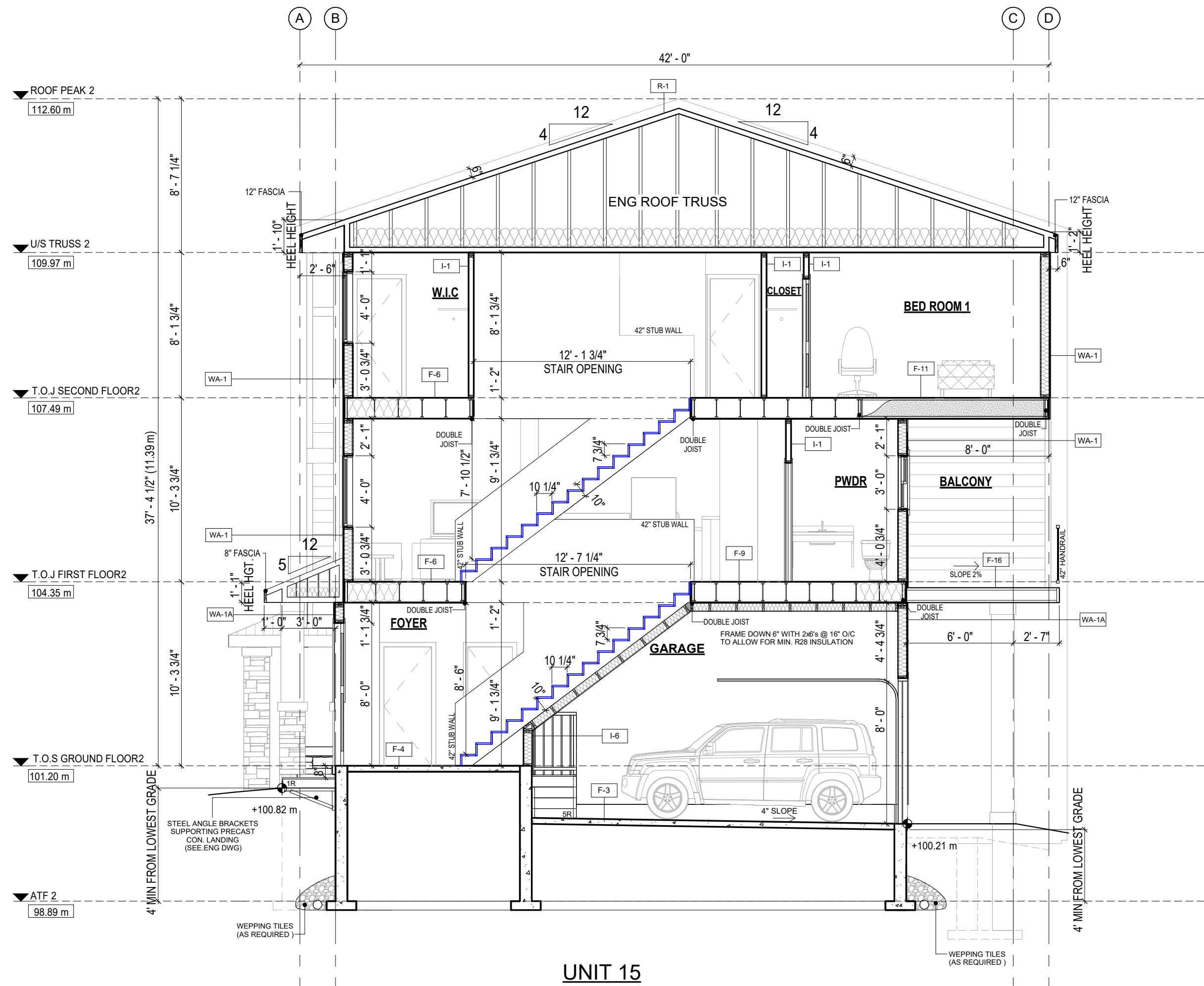
SCALE: 3/16" = 1'-0"

NOTES:
" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM
LOWEST GRADE

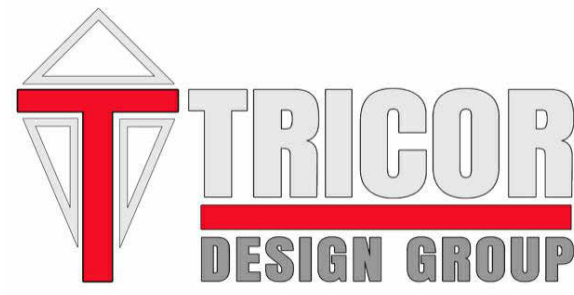


1 SECTION 1-1
3/16" = 1'-0"



2 SECTION 2-2
3/16" = 1'-0"

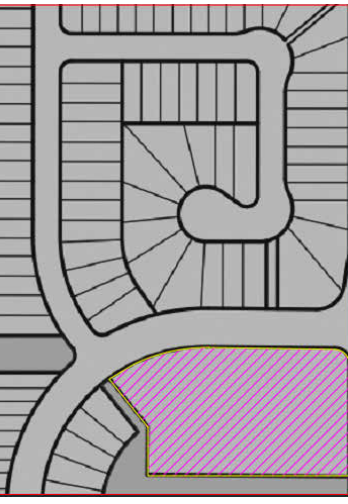
DESIGNED BY:



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CALGARY, AB. FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

BUILDING SECTIONS
BUILDING 3

DRAWING NO.

A-042

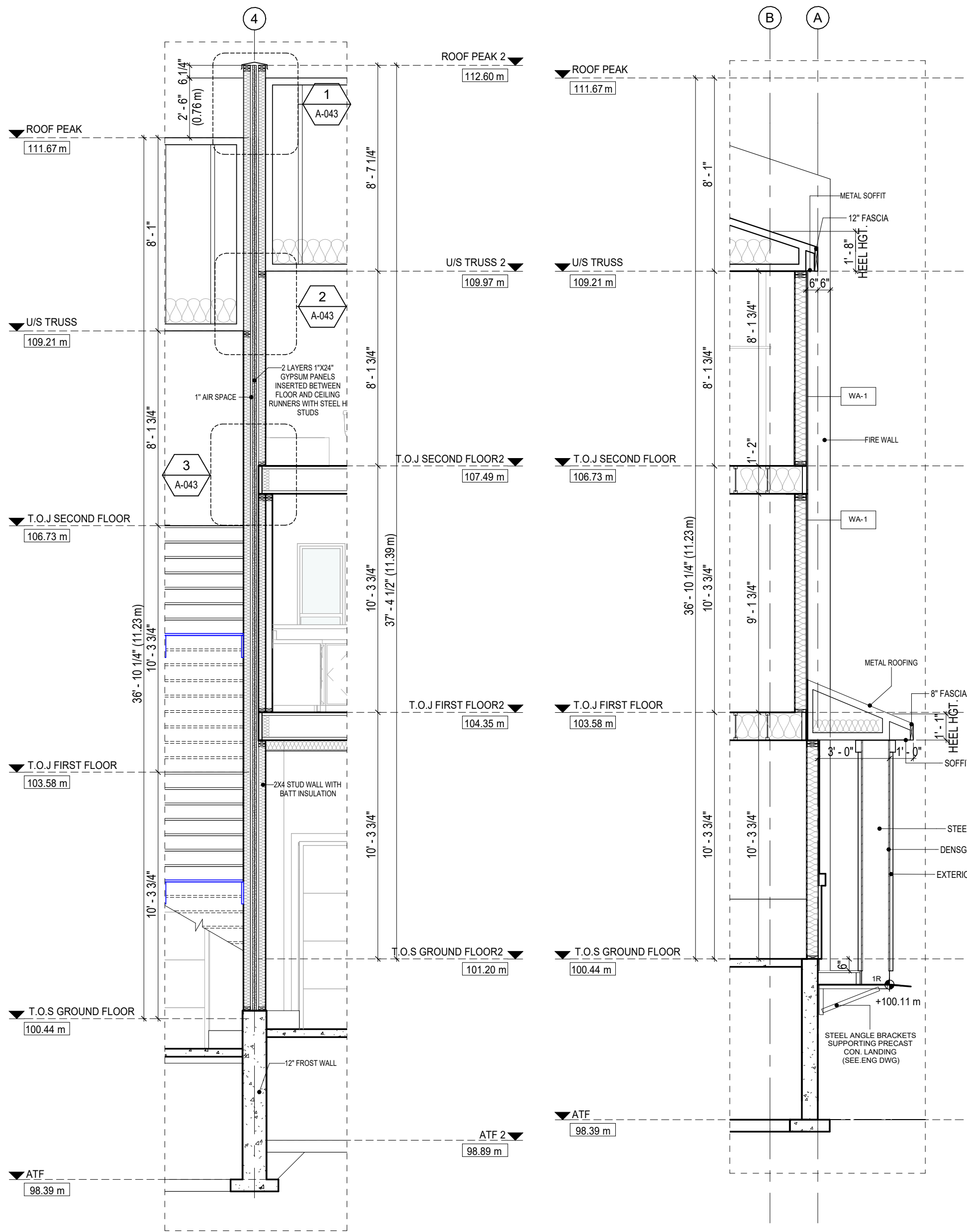
DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E.
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE

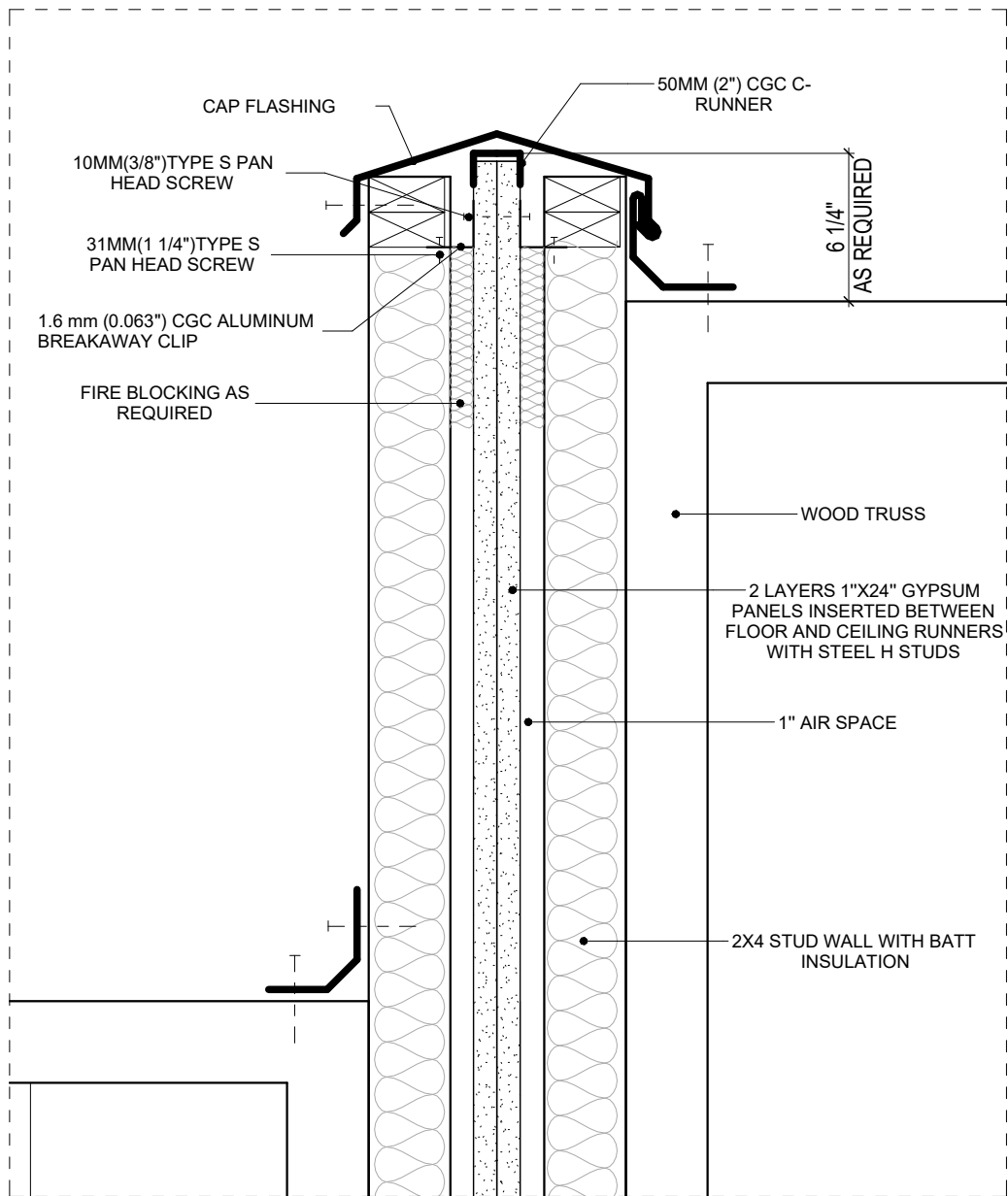


FIRE WALL SECTION

1/4" = 1'-0"

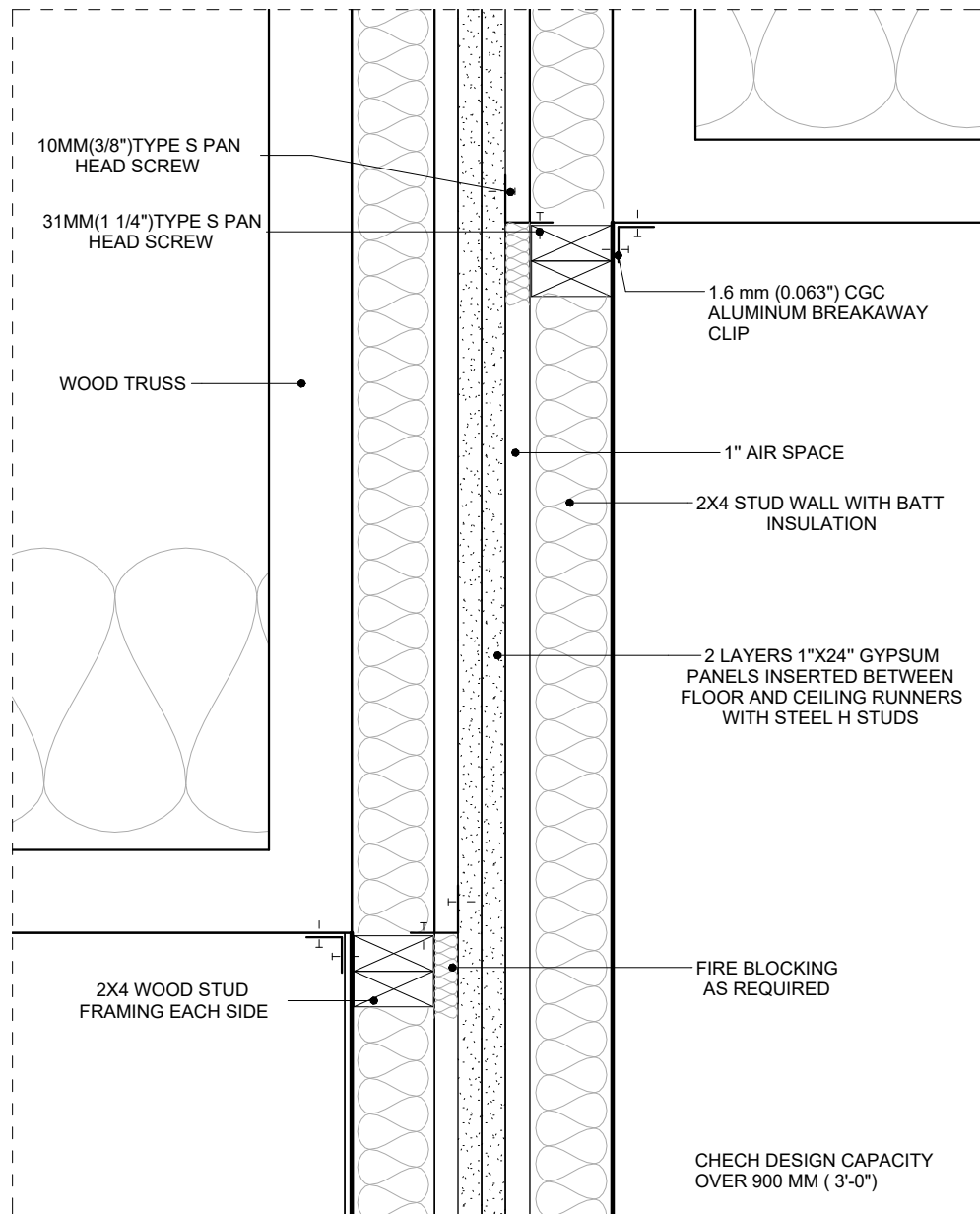
ENTRANCE WALL SECTION

1/4" = 1'-0"



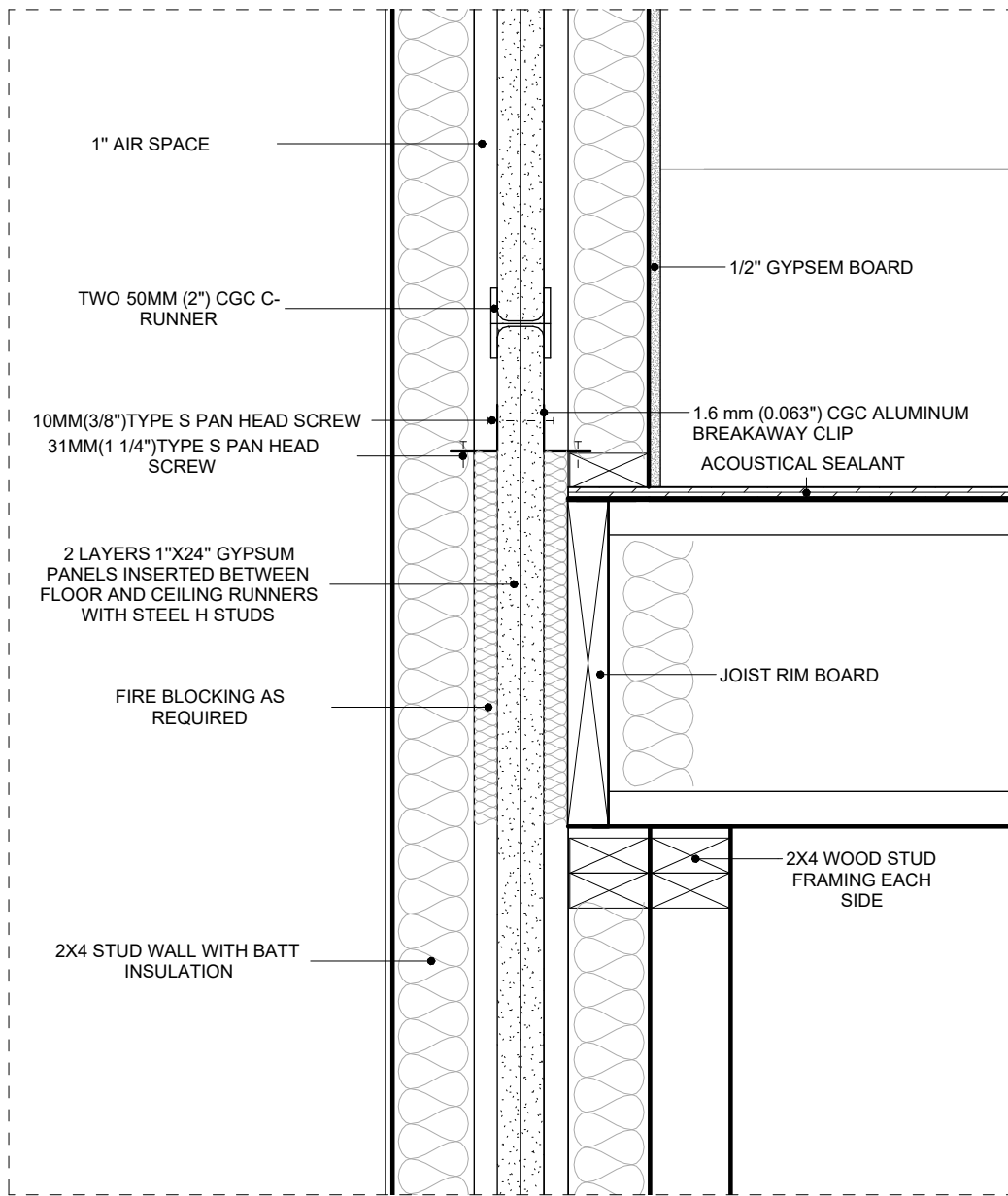
1 FIRE WALL- DETAIL-1

1" = 0'-10"



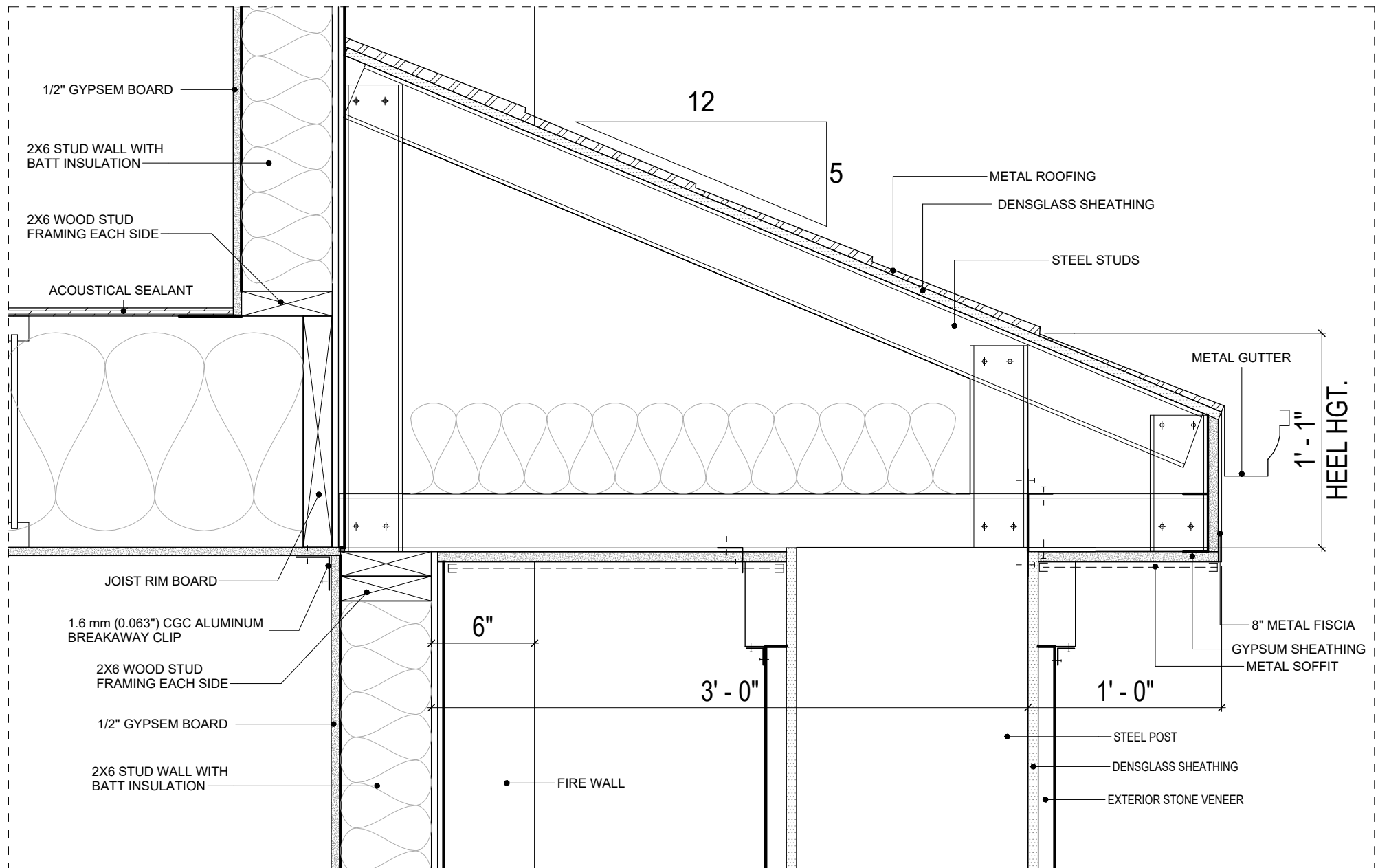
2 FIRE WALL- DETAIL-2

1" = 0'-10"



3 FIRE WALL- DETAIL-3

1 1/2" = 1'-0"



4 ENTRANCE WALL-DETAIL-4

1 1/2" = 1'-0"

DESIGNED BY:

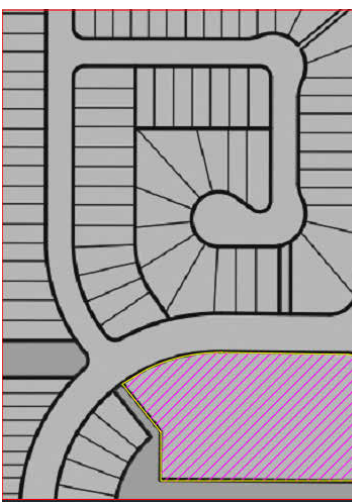


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KEY PLAN



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS
BUILDING 3

DRAWING NO.

A-043

DRAWN BY:

N.S.K/H.S.S./

H.I.Z.R.H.E/H

CHECKED BY:

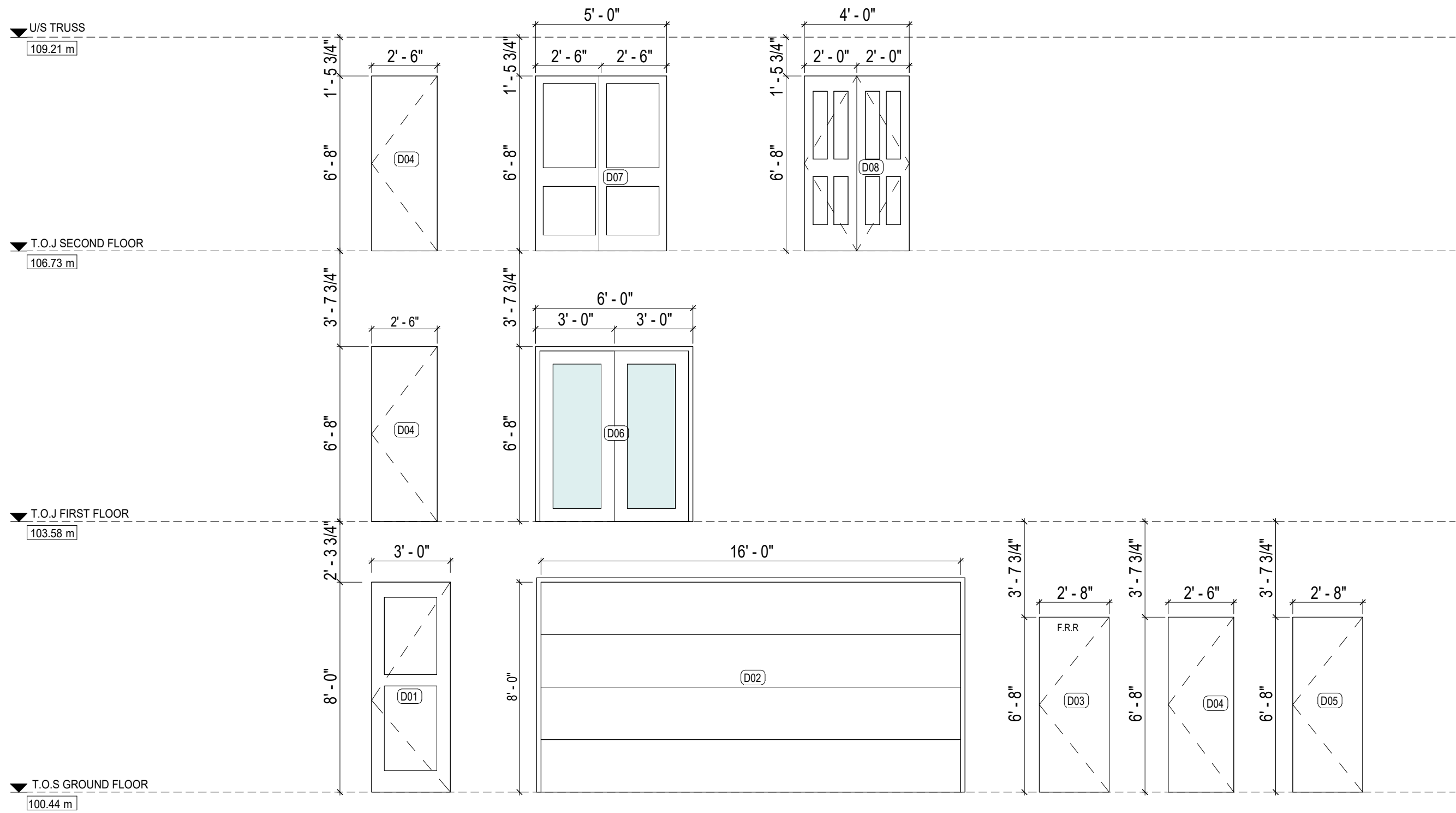
E.Z.H.A/A.M

DATE:

25_06_14

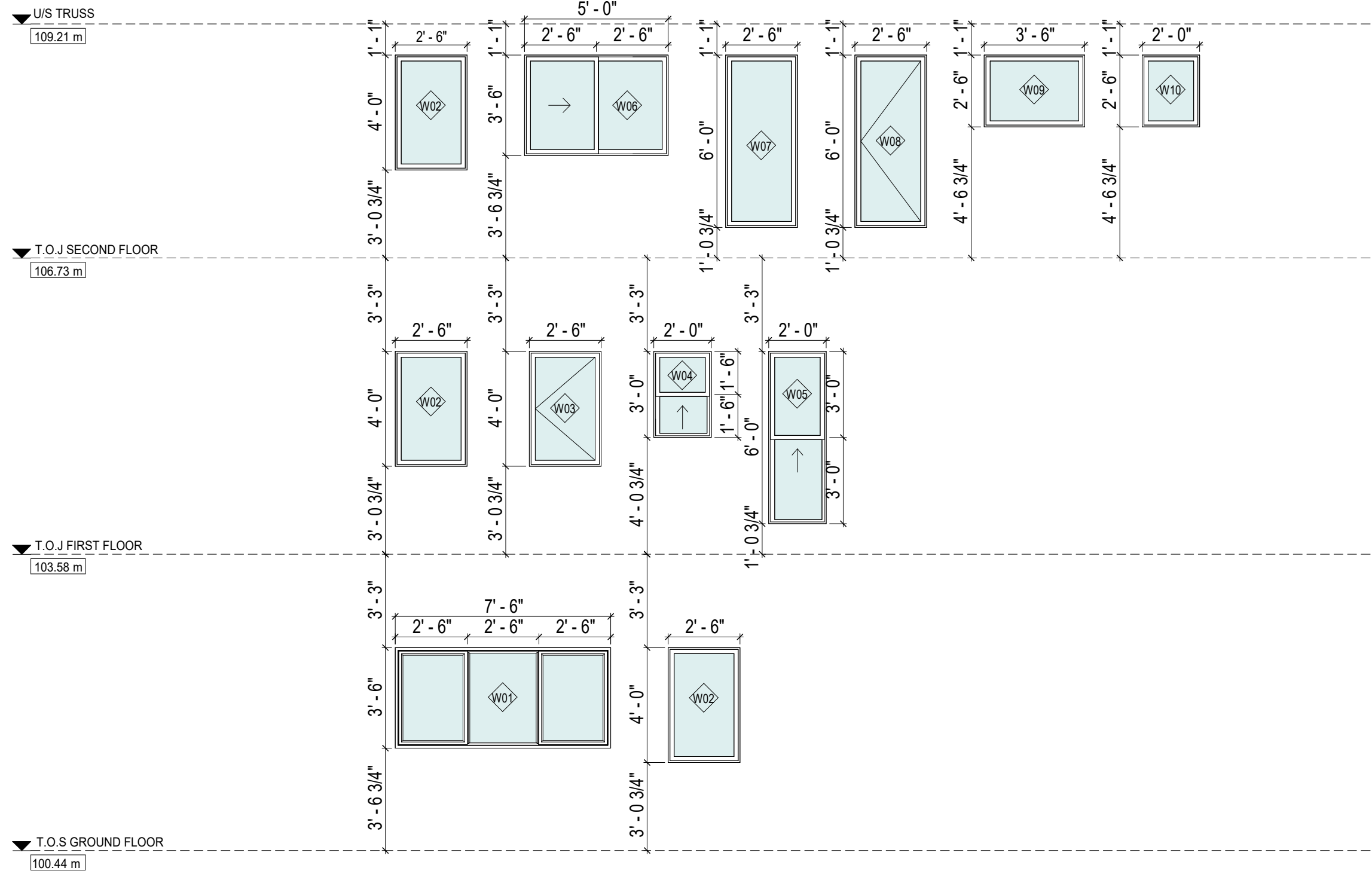
SCALE: As indicated

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING



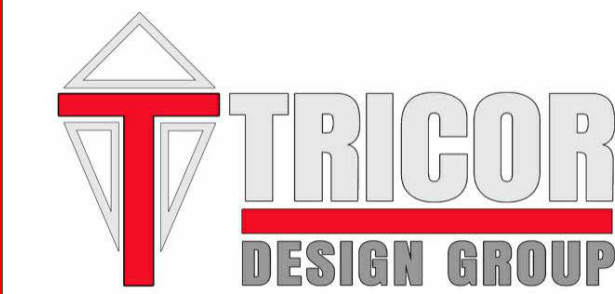
1 DOORS TYPES
1/4" = 1'-0"

W08 :WILL BE (WOCD).



2 WINDOWS TYPES
1/4" = 1'-0"

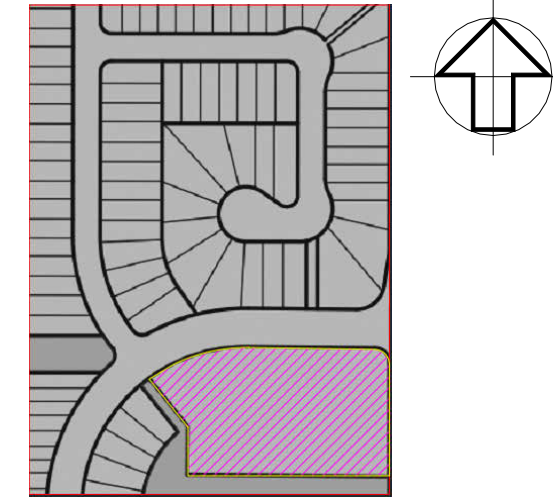
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

WINDOWS & DOORS TYPES
BUILDING 3

DRAWING NO.

A-044

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E/H.H
CHECKED BY: E.Z.H.A/A.M
DATE: 25_05_14

SCALE: 1/4" = 1'-0"



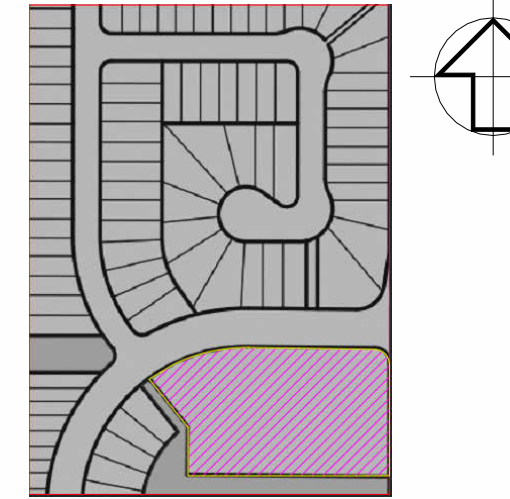
DESIGNED BY:



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KEY PLAN



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING (4)

DRAWING NO.

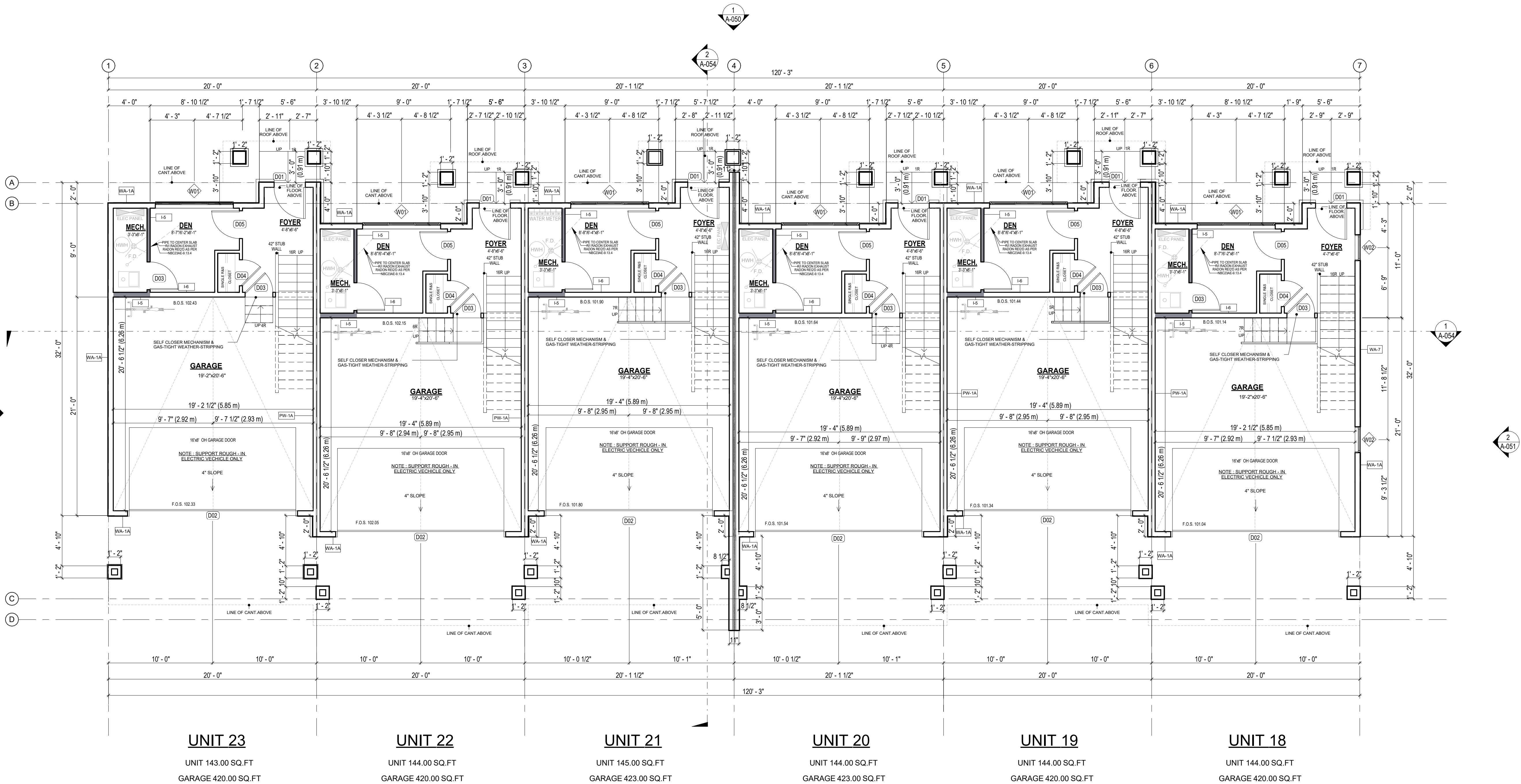
A-045

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE:

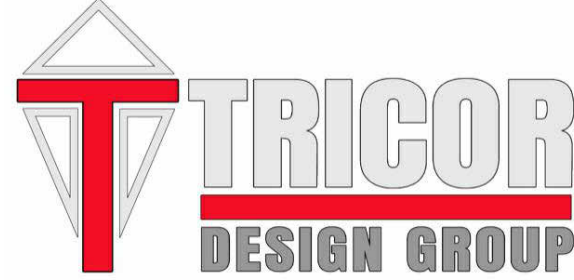
W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") ,THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

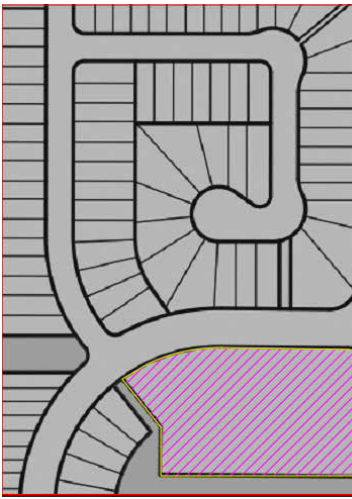
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING (4)

DRAWING NO.

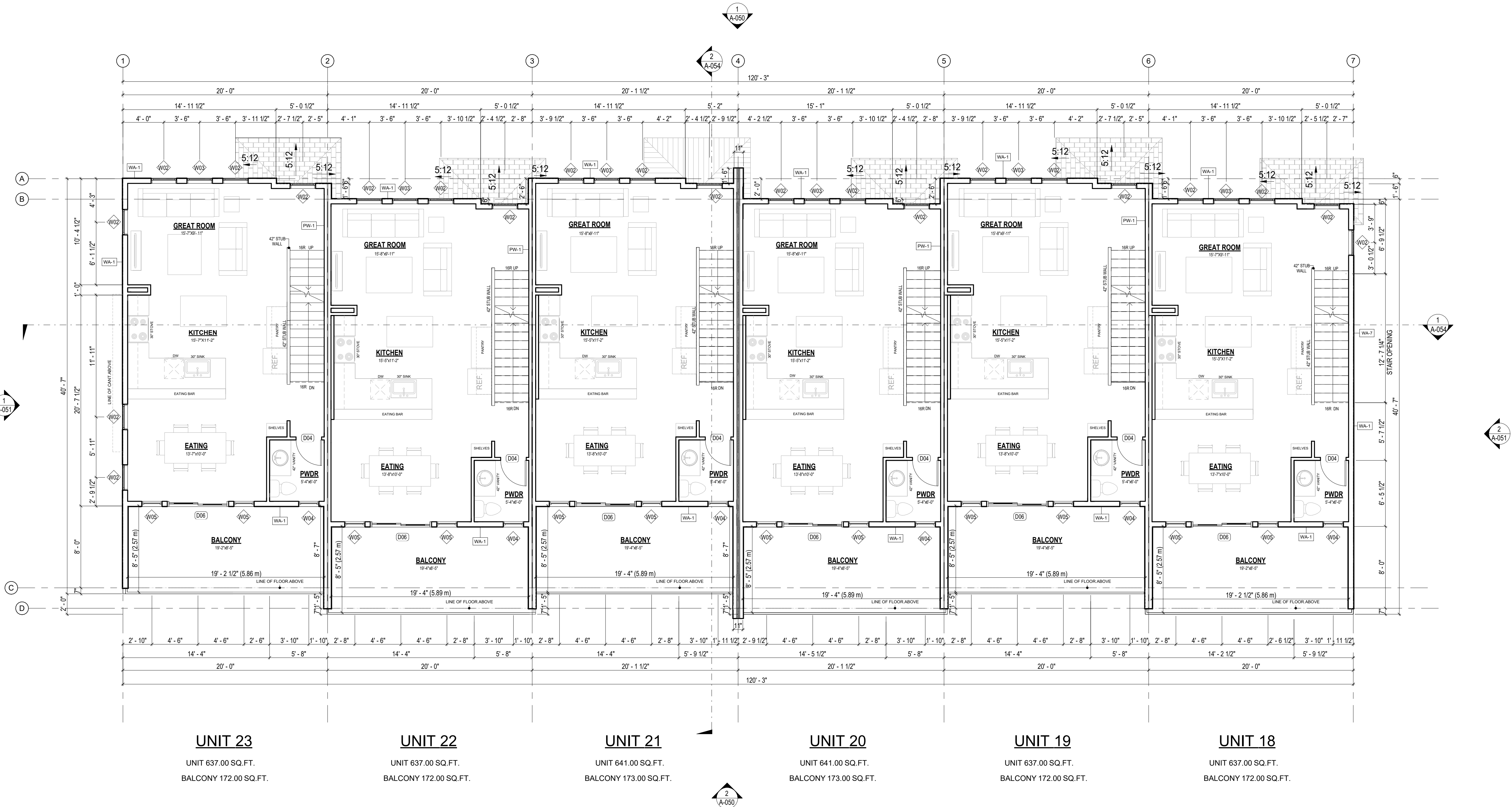
A-046

DRAWN BY: N.S.H.M.K.H/H.H.M.M/M.Z.R. CHECKED BY: E.Z.H.A/M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"

W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36"), THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

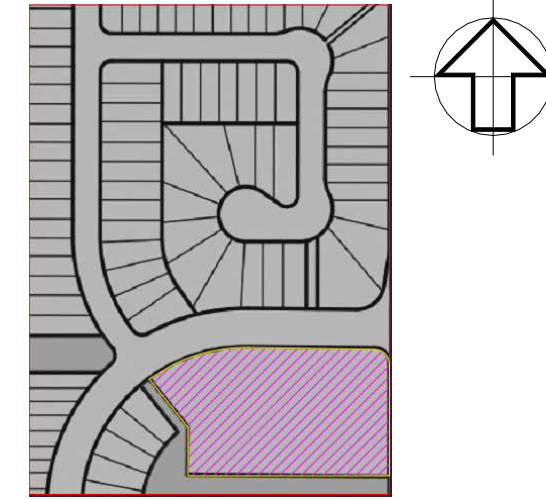
DESIGNED BY:



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Calgary AB FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.I.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.I.M.M	E.Z.H.A

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING (4)

DRAWING NO.

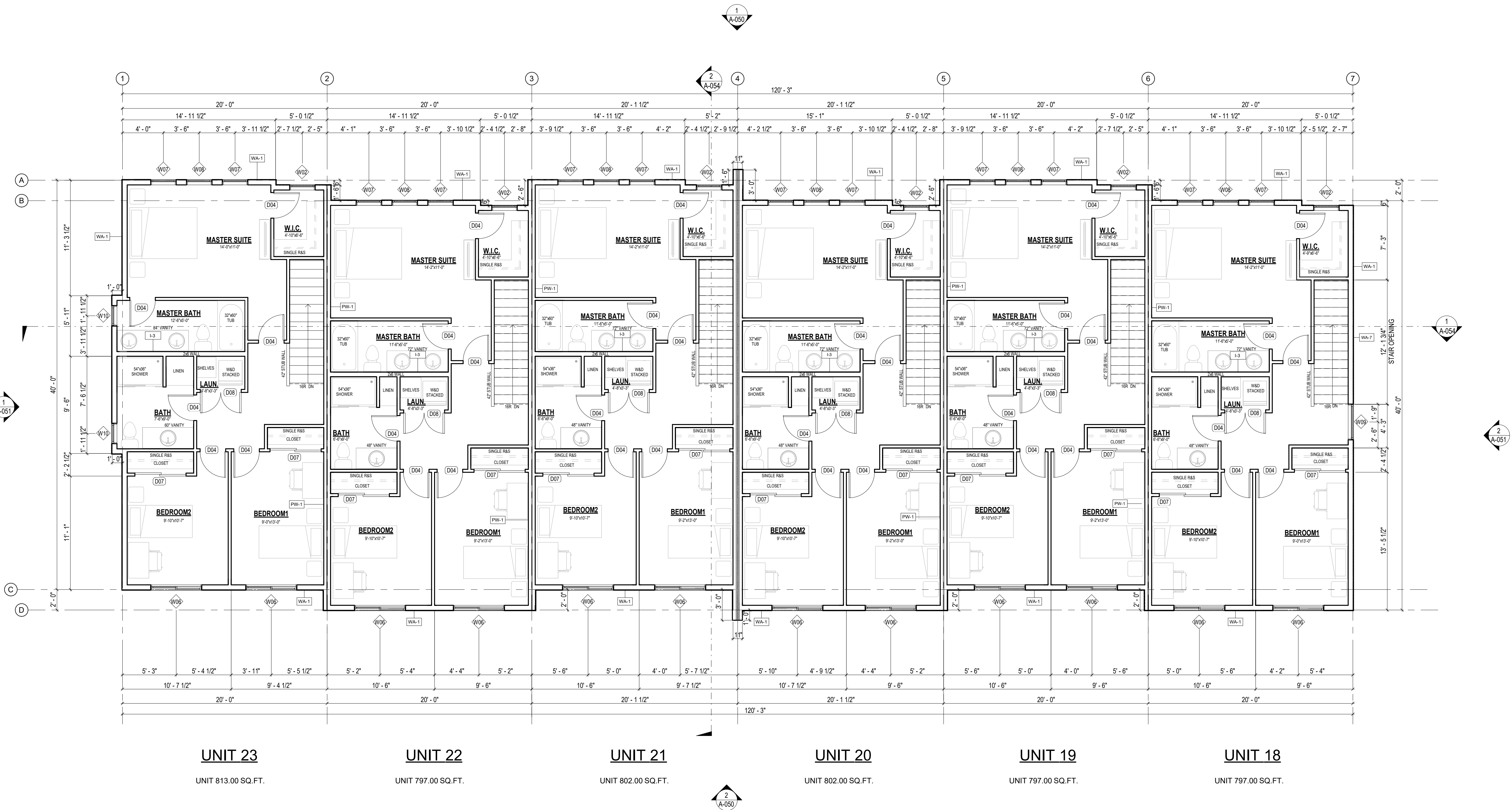
A-047

DRAWN BY: N.S.H.M.K.H/H.H.M.M.Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"

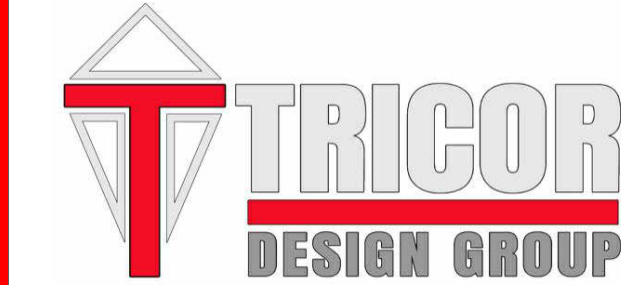
W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



1 SECOND FLOOR PLAN
3/16" = 1'-0"

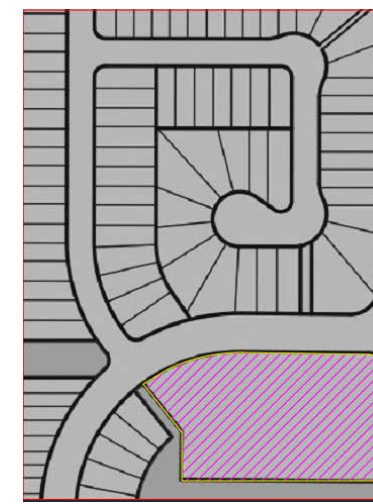
DESIGNED BY:



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tricordesigns.com

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Calgary AB FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN
BUILDING (4)

DRAWING NO.

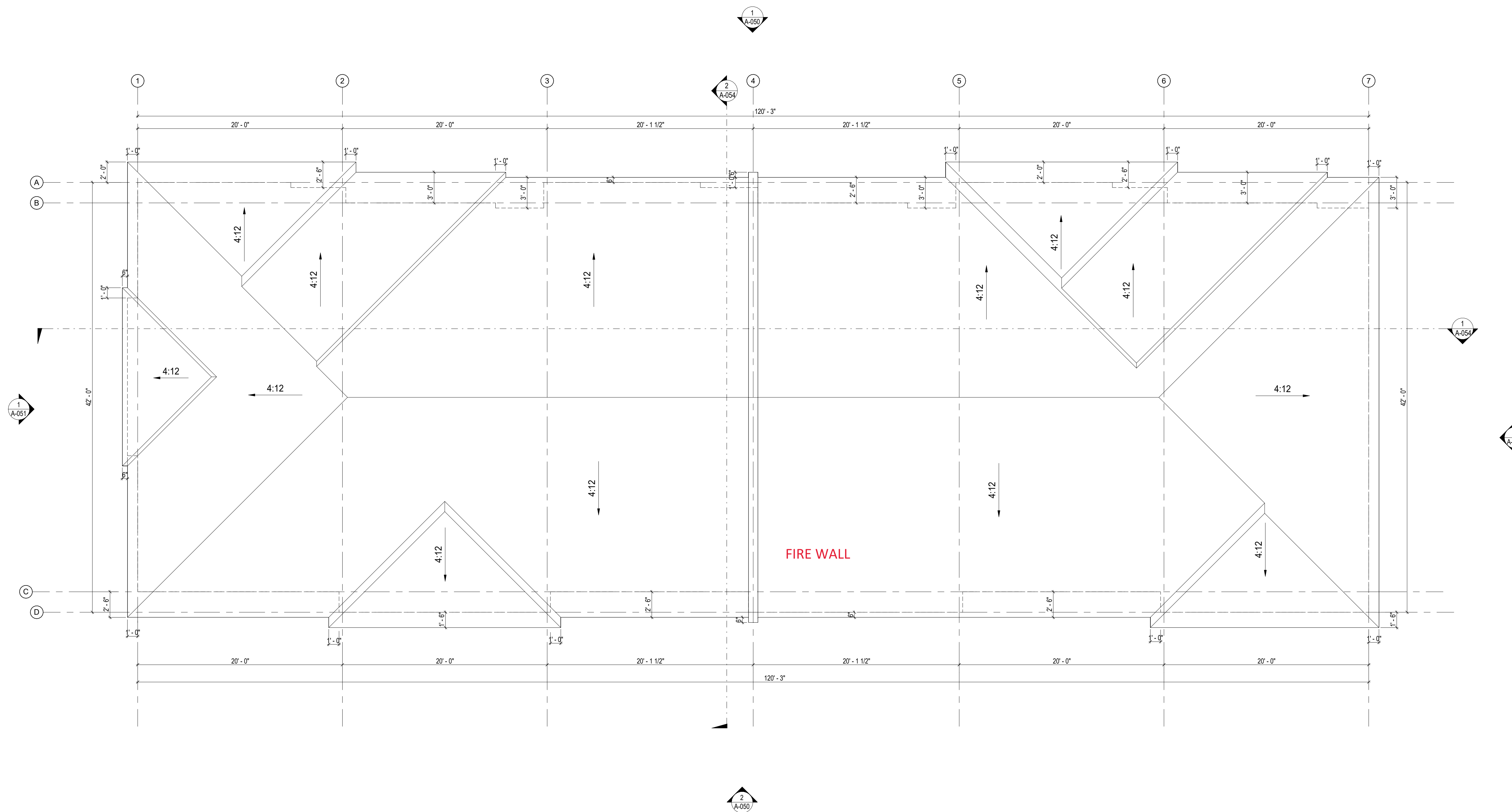
A-048

DRAWN BY:
N.S.H.M.K.H/H.H.M.M/Z.R

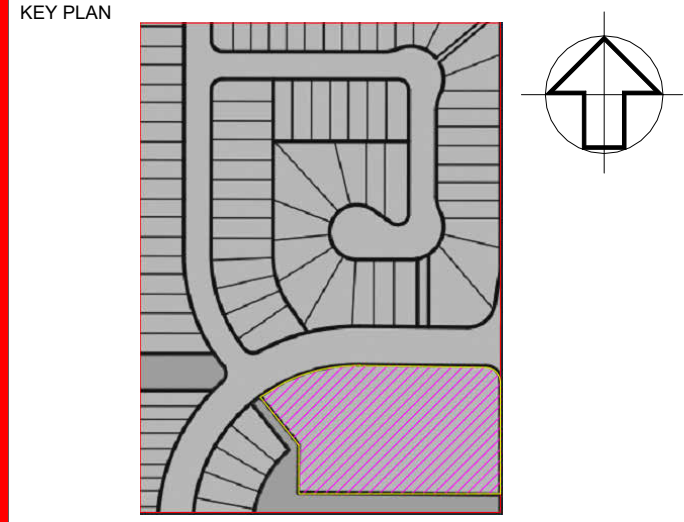
CHECKED BY:
E.Z.H.A/A.M

DATE:
25_06_14

SCALE: 3/16" = 1'-0"



1 ROOF FLOOR PLAN
3/16" = 1'-0"



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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**ROOF FLOOR PLAN
BUILDING (4)**

DRAWING NO.

A-049

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R	CHECKED BY: E.Z.H.A/A.M	DATE: 25_06_14
--------------------------------------	----------------------------	-------------------

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGR DOOR CLOPAY MODERN STEEL W/ FULL GLAZING AND VERTICAL STACK



1 FRONT (NORTH)ELEVATION

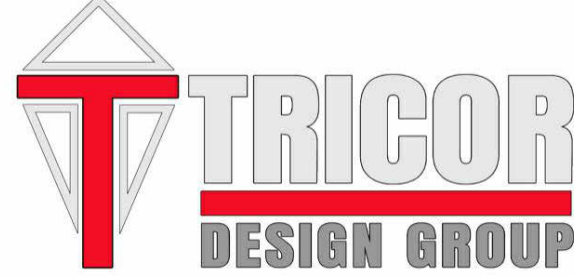
3/16" = 1'-0"



2 REAR (SOUTH) ELEVATION

3/16" = 1'-0"

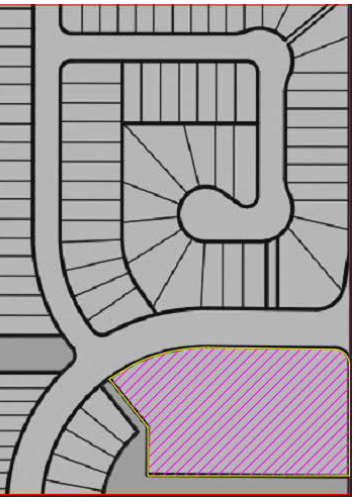
DESIGNED BY:



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#202 - 4216 10 STREET NE. PHONE: (403)203-1970
Calgary AB FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

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02	25_03_10	DTR	H.H.M.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	H.H.M.M.	E.Z.H.A.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING (4)

DRAWING NO.

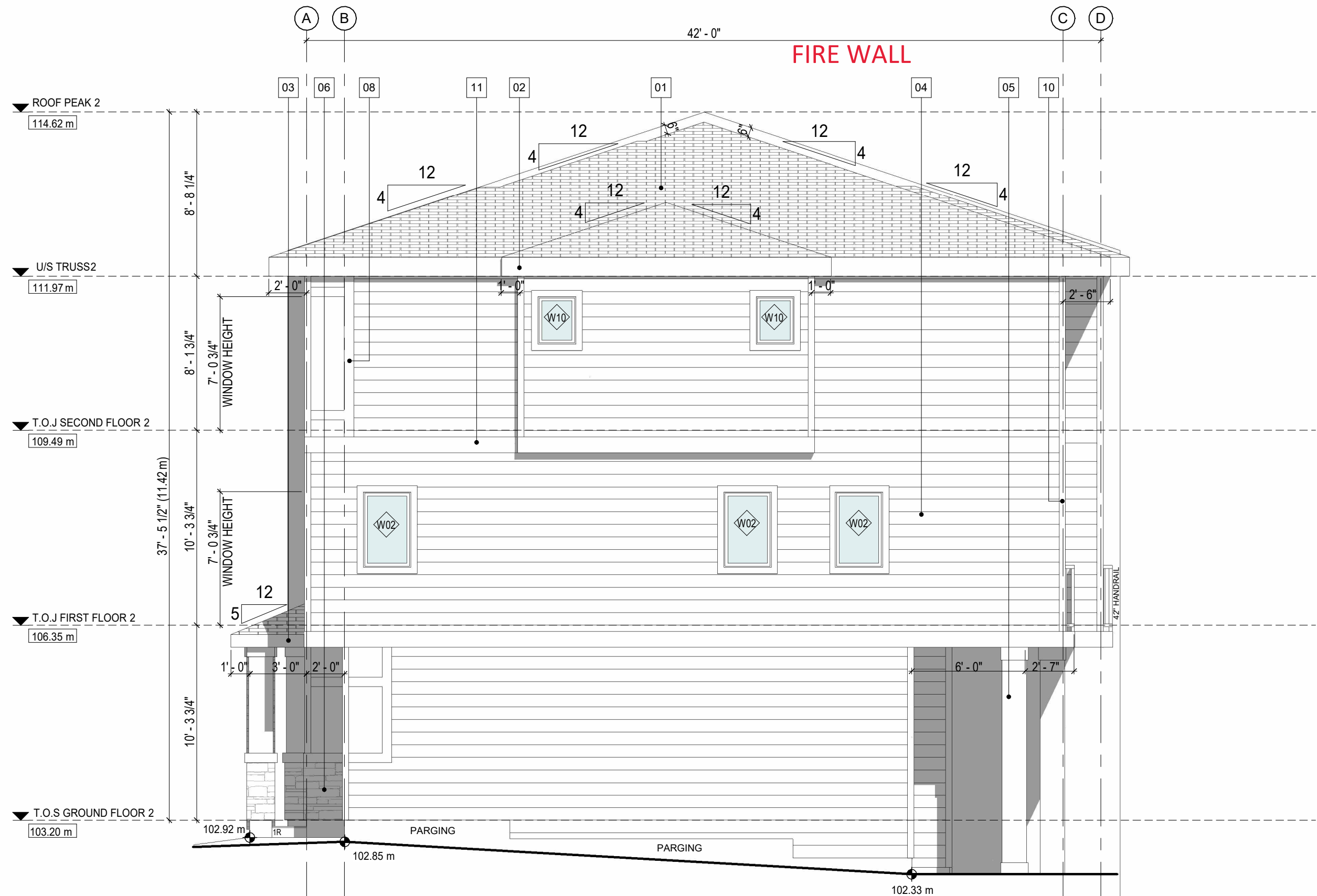
A-050

DRAWN BY: N.S.H.M.K.H./H.H.M.M./M.Z.R. CHECKED BY: E.Z.H.A./A.M. DATE: 25_06_14

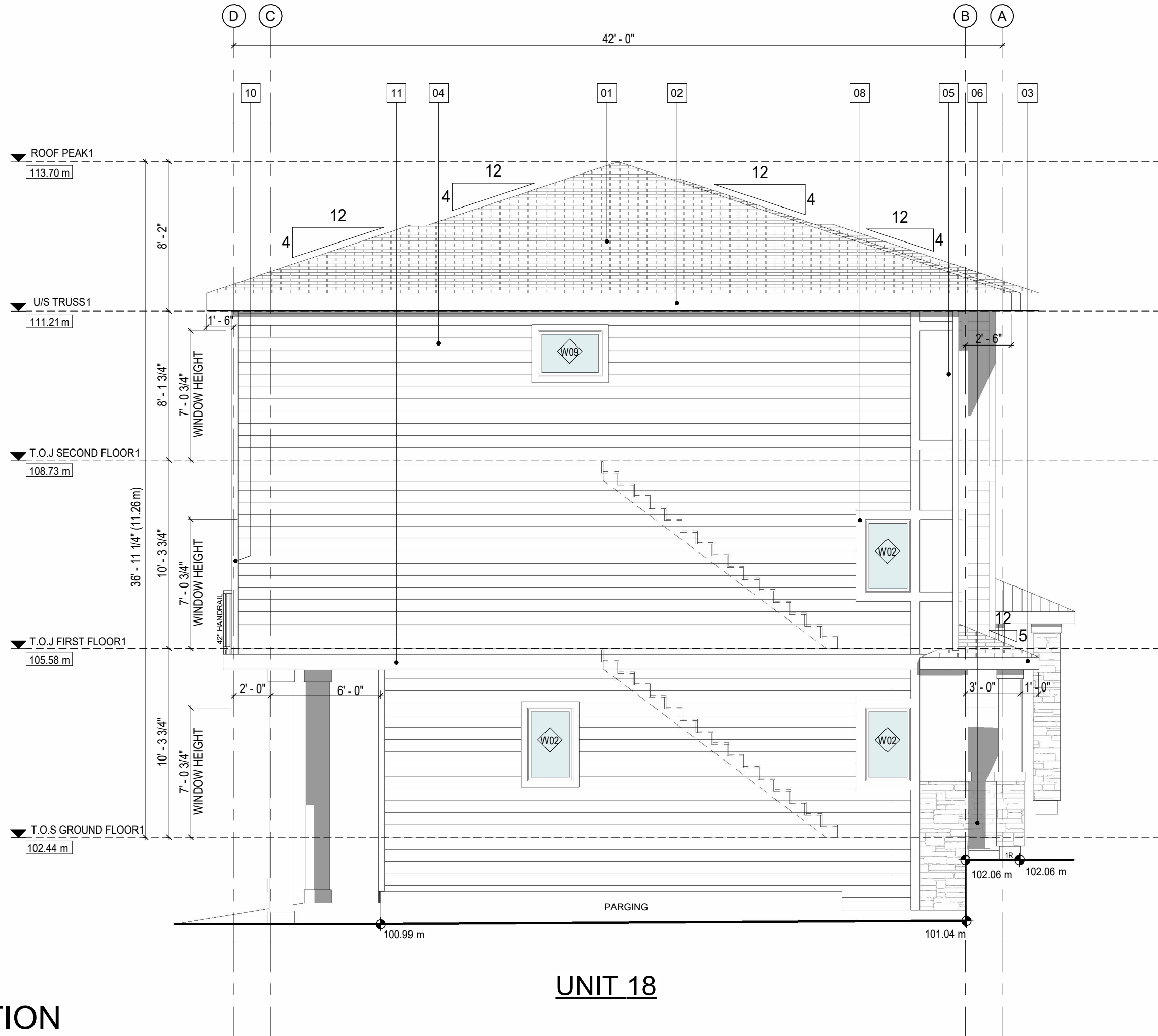
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
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02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
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08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).



1 RIGHT (WEST) ELEVATION
3/16" = 1'-0"



2 LEFT(EAST) ELEVATION
3/16" = 1'-0"

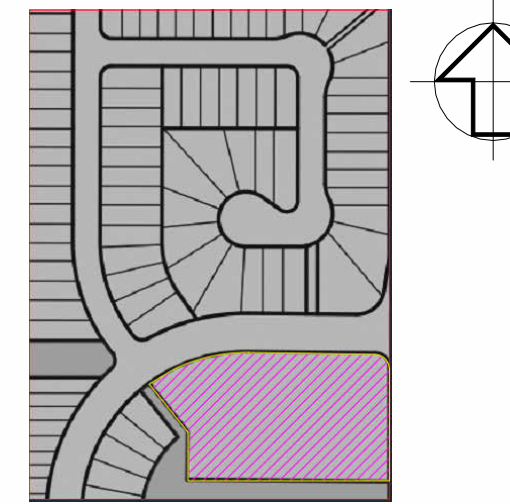
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03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING (4)

DRAWING NO.

A-051

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"



1 FRONT(NORTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

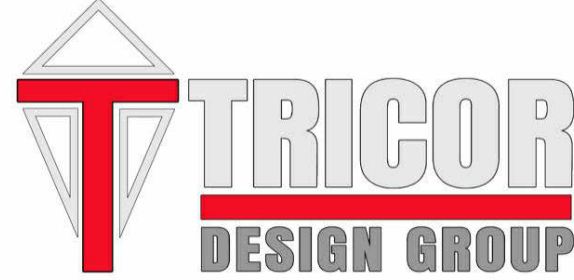


2 REAR (SOUTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 18		UNIT 19		UNIT 20		UNIT 21		UNIT 22		UNIT 23	
CODE CHECK EXPOSED BUILDING FACE	590 SQ.FT	54.85 SQ.M	624 SQ.FT	58.00 SQ.M	566 SQ.FT	52.54 SQ.M	623 SQ.FT	57.92 SQ.M	567 SQ.FT	52.71 SQ.M	612 SQ.FT	56.85 SQ.M
SETBACK	15' - 11"	4.86 m	13' - 11"	4.25 m	15' - 11"	4.86 m	13' - 11"	4.25 m	15' - 11"	4.86 m	14' - 0"	4.26 m
PERCENTAGE OF ALLOWED OPENINGS	38.96%		29.77%		39.68%		29.78%		39.63%		30.18%	
SQ.FT.OF ALLOWED OPENING	230.03 SQ.FT	21.37 SQ.M	185.86 SQ.FT	17.27 SQ.M	224.42 SQ.FT	20.85 SQ.M	185.68 SQ.FT	17.25 SQ.M	224.85 SQ.FT	20.89 SQ.M	184.69 SQ.FT	17.16 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	115.02 SQ.FT	10.69 SQ.M	92.93 SQ.FT	8.63 SQ.M	112.21 SQ.FT	10.42 SQ.M	92.84 SQ.FT	8.62 SQ.M	112.42 SQ.FT	10.44 SQ.M	92.34 SQ.FT	8.58 SQ.M

UNPROTECTED OPENINGS	UNIT 23		UNIT 22		UNIT 21		UNIT 20		UNIT 19		UNIT 18	
CODE CHECK EXPOSED BUILDING FACE	627 SQ.FT	58.24 SQ.M	669 SQ.FT	62.18 SQ.M	650 SQ.FT	60.34 SQ.M	653 SQ.FT	60.71 SQ.M	630 SQ.FT	58.54 SQ.M	677 SQ.FT	62.86 SQ.M
SETBACK	24' - 5"	7.44 m	22' - 8"	6.90 m	24' - 10"	7.58 m	23' - 1"	7.04 m	25' - 2"	7.68 m	23' - 5"	7.15 m
PERCENTAGE OF ALLOWED OPENINGS	81.68%		68.45%		82.93%		72.09%		86.3%		72.43%	
SQ.FT.OF ALLOWED OPENING	512.08 SQ.FT	47.57 SQ.M	458.13 SQ.FT	42.56 SQ.M	538.67 SQ.FT	50.04 SQ.M	471.06 SQ.FT	43.76 SQ.M	543.80 SQ.FT	50.52 SQ.M	490.04 SQ.FT	45.53 SQ.M
ACTUAL SQ.FT.OF OPENINGS	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	256.04 SQ.FT	23.79 SQ.M	229.06 SQ.FT	21.28 SQ.M	269.33 SQ.FT	25.02 SQ.M	235.53 SQ.FT	21.88 SQ.M	271.90 SQ.FT	25.26 SQ.M	245.02 SQ.FT	22.76 SQ.M

DESIGNED BY:

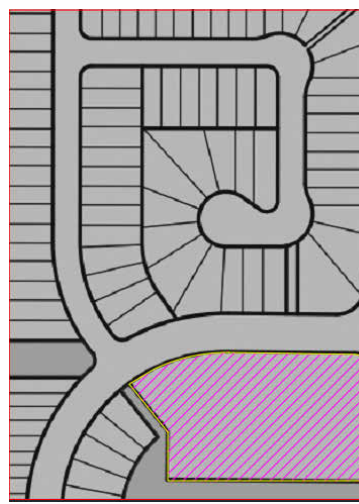


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FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SH.MK.H	E.ZH.A
02	25_03_10	DTR	H.HMM	E.ZH.A/A.M
03	25_05_14	DTR 2	H.HMM	E.ZH.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SH.MK.H	E.ZH.A
02	25_04_30	BUILDING PERMIT	Z.R	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS-1
BUILDING (4)

DRAWING NO.

A-052

DRAWN BY:

N.SH.MK.H/H.HMM/M.Z.R

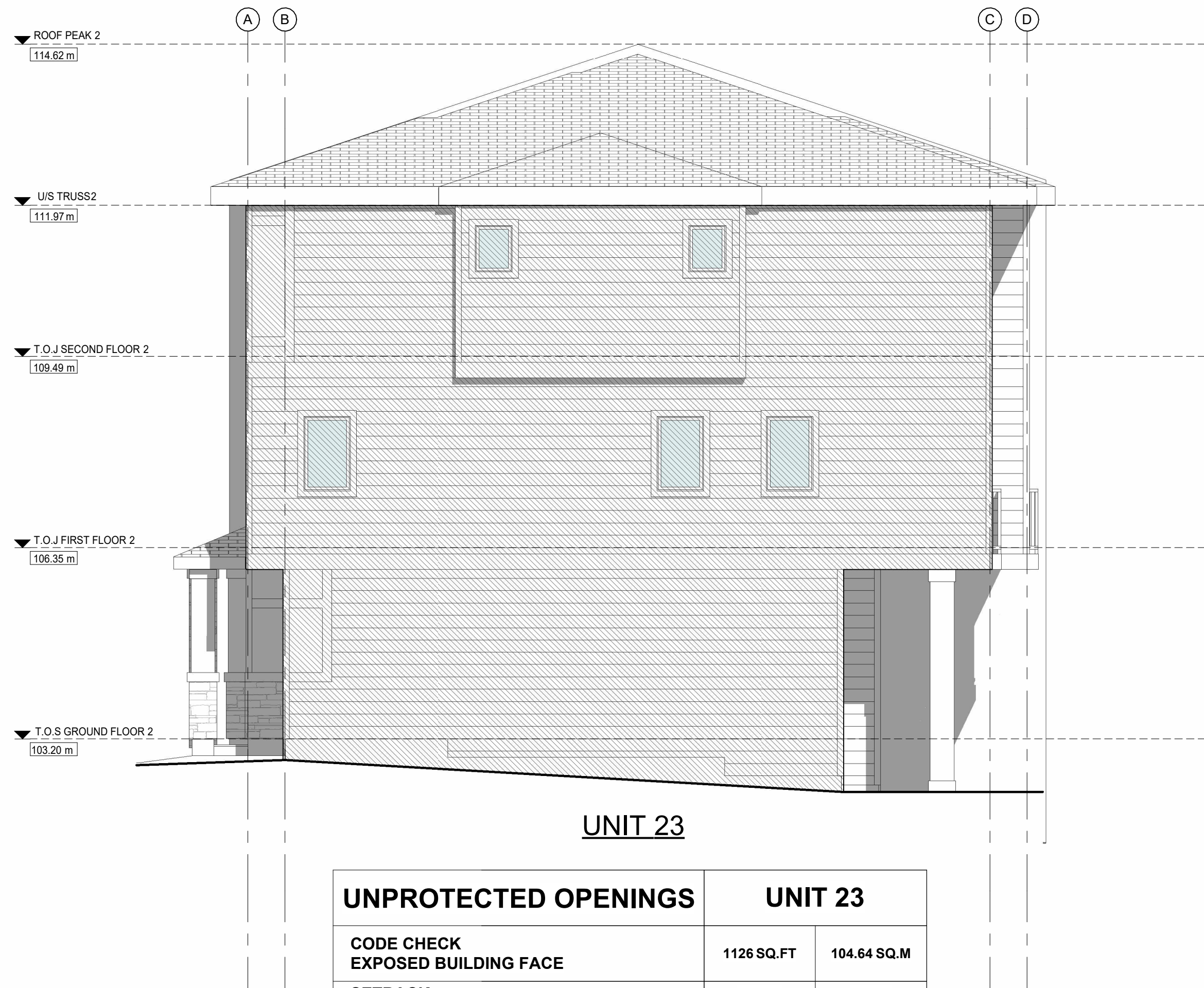
CHECKED BY:

E.ZH.A/A.M

DATE:

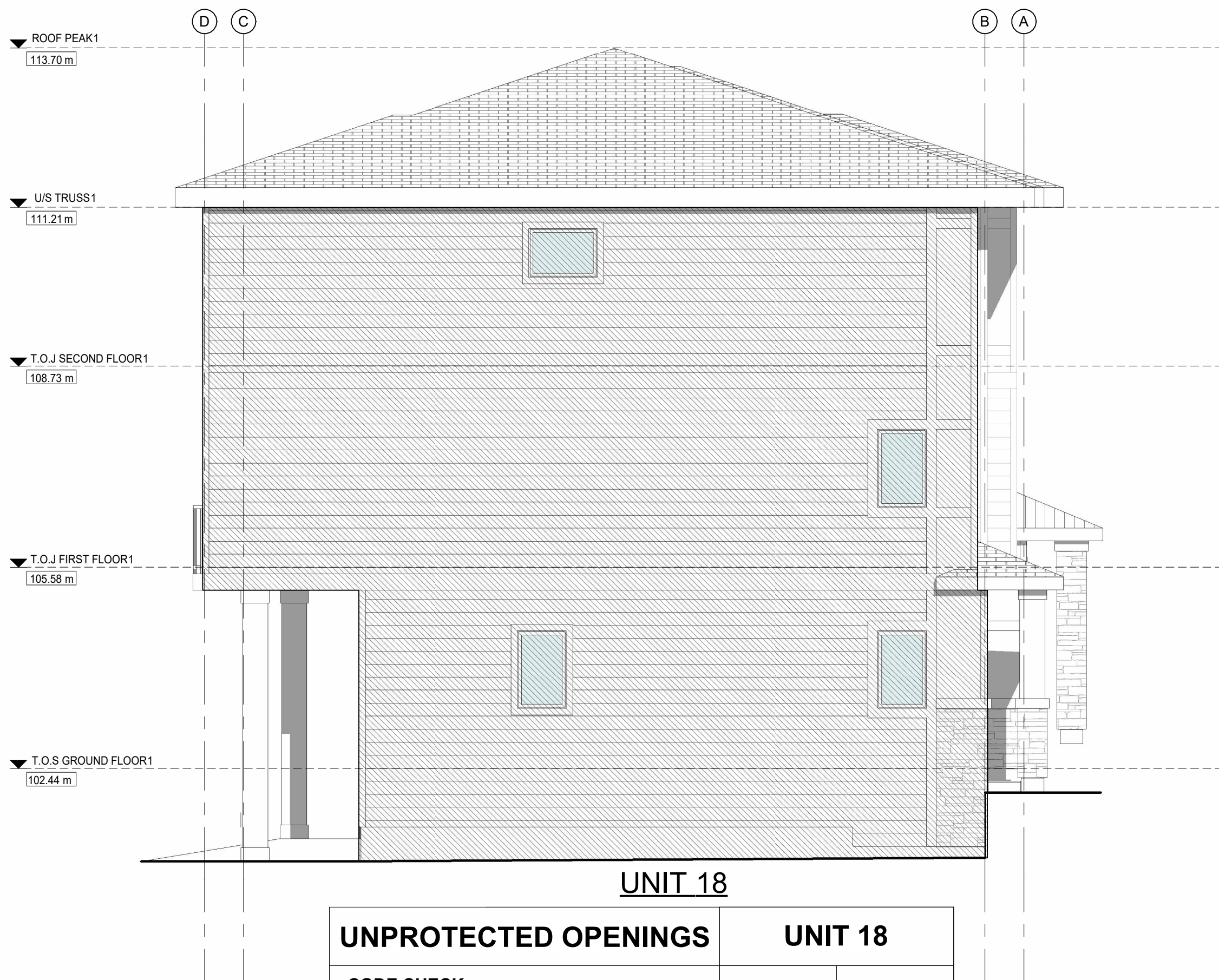
25_06_14

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 23	
CODE CHECK EXPOSED BUILDING FACE	1126 SQ.FT	104.64 SQ.M
SETBACK	31' - 0"	9.44 m
PERCENTAGE OF ALLOWED OPENINGS	36.64%	
SQ.FT.OF ALLOWED OPENING	412.70 SQ.FT	38.34 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	206.35 SQ.FT	19.17 SQ.M

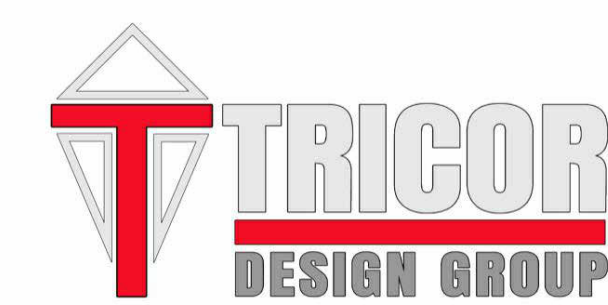
1 RIGHT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 18	
CODE CHECK EXPOSED BUILDING FACE	1225 SQ.FT	113.80 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	85.75 SQ.FT	7.97 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	42.87 SQ.FT	3.98 SQ.M

2 LEFT (EAST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

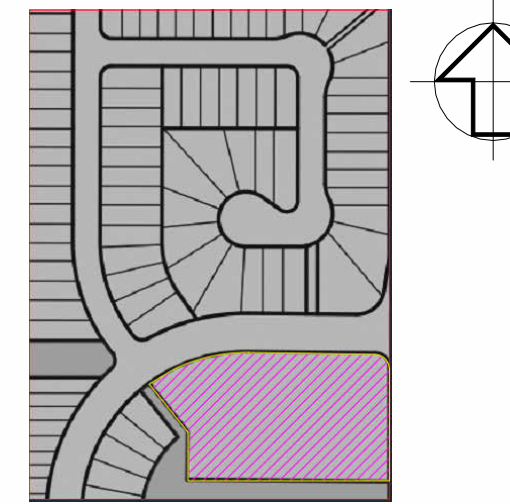
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KEY PLAN



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02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.I.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
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3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS-2
BUILDING (4)

DRAWING NO.

A-053

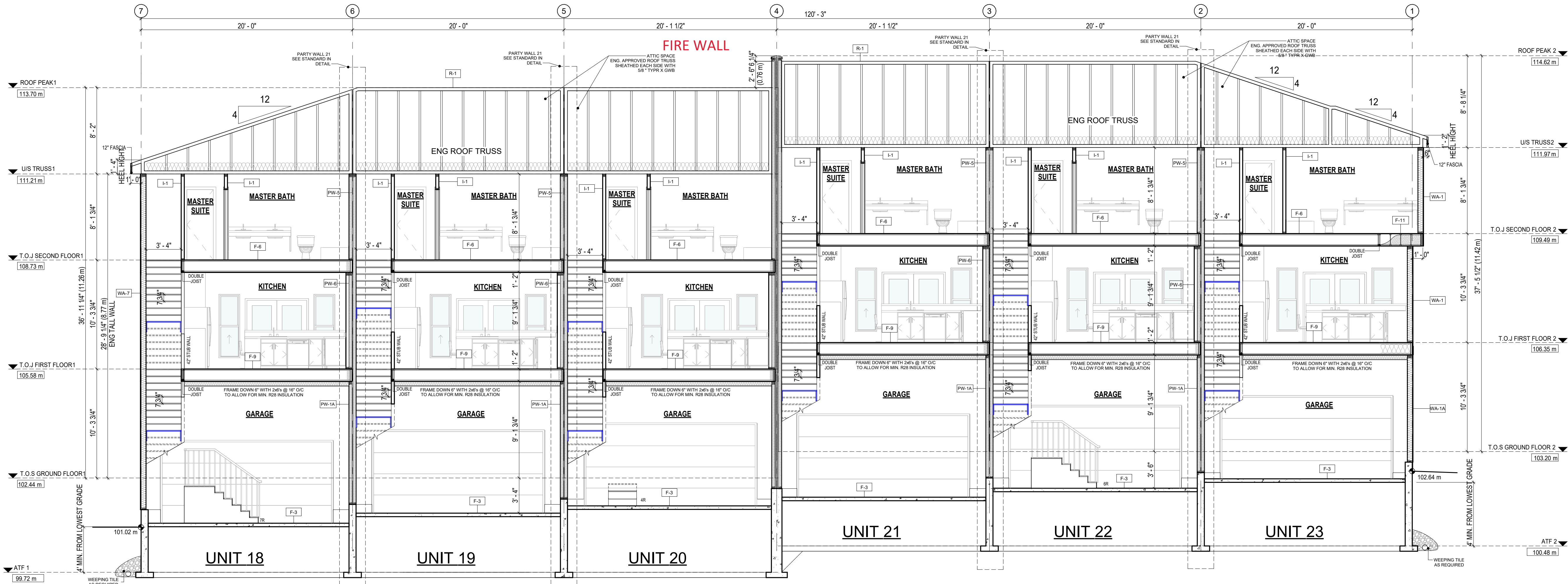
DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"

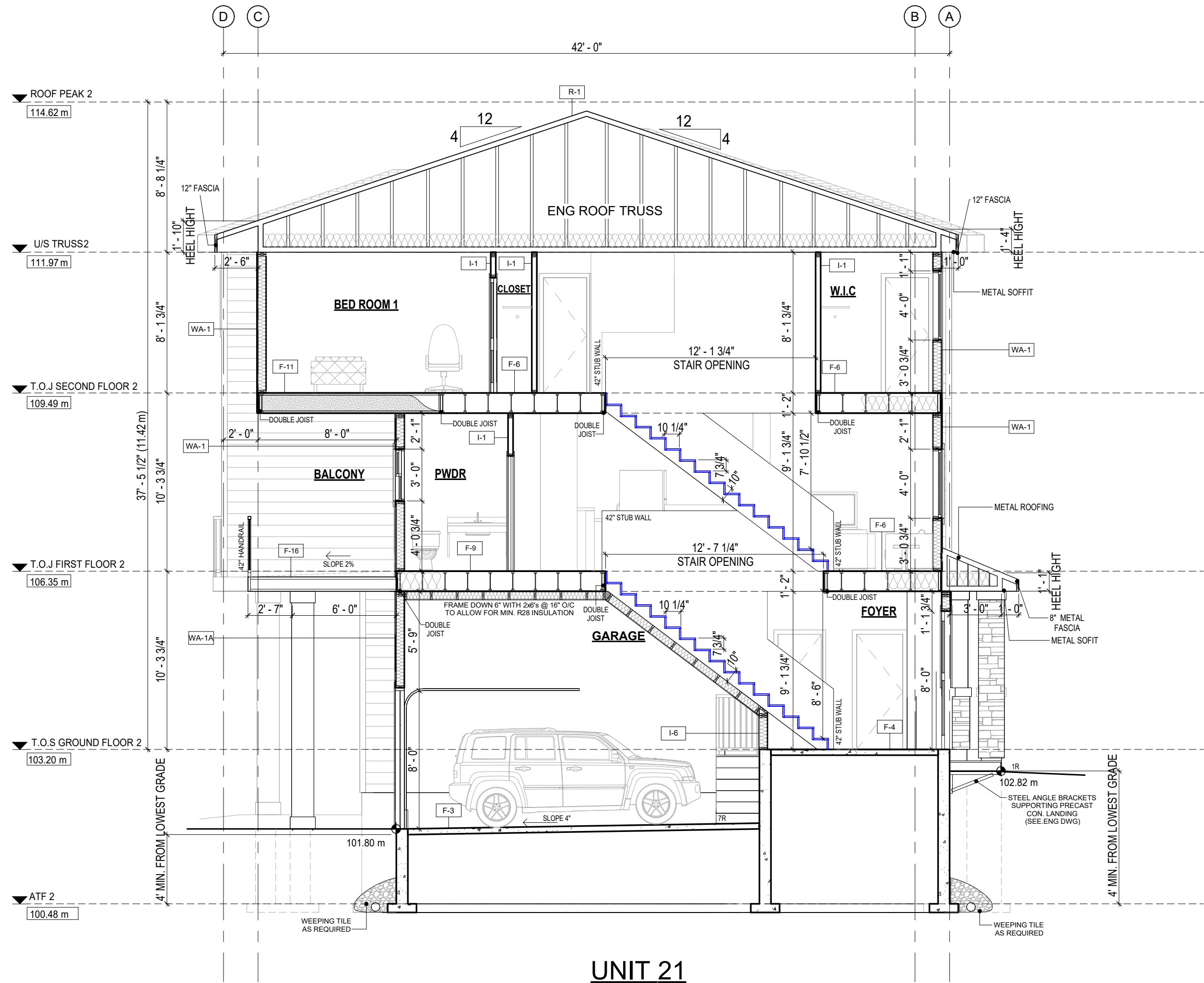
NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE



1 SECTION 1
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"

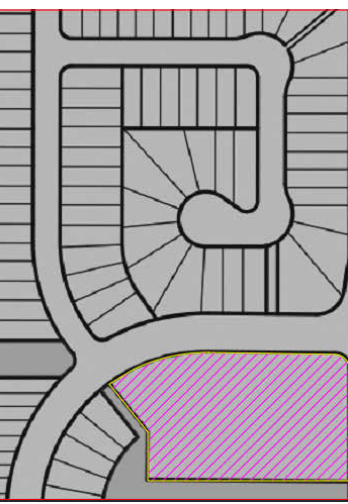
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03	25_05_14	DTR 2	H.H.M.M.	E.Z.H.A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT:

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AIRDRIE, AB

PROJECT NAME & ADDRESS:

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TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SECTION1/ SECTION2
BUILDING (4)

DRAWING NO.

A-054

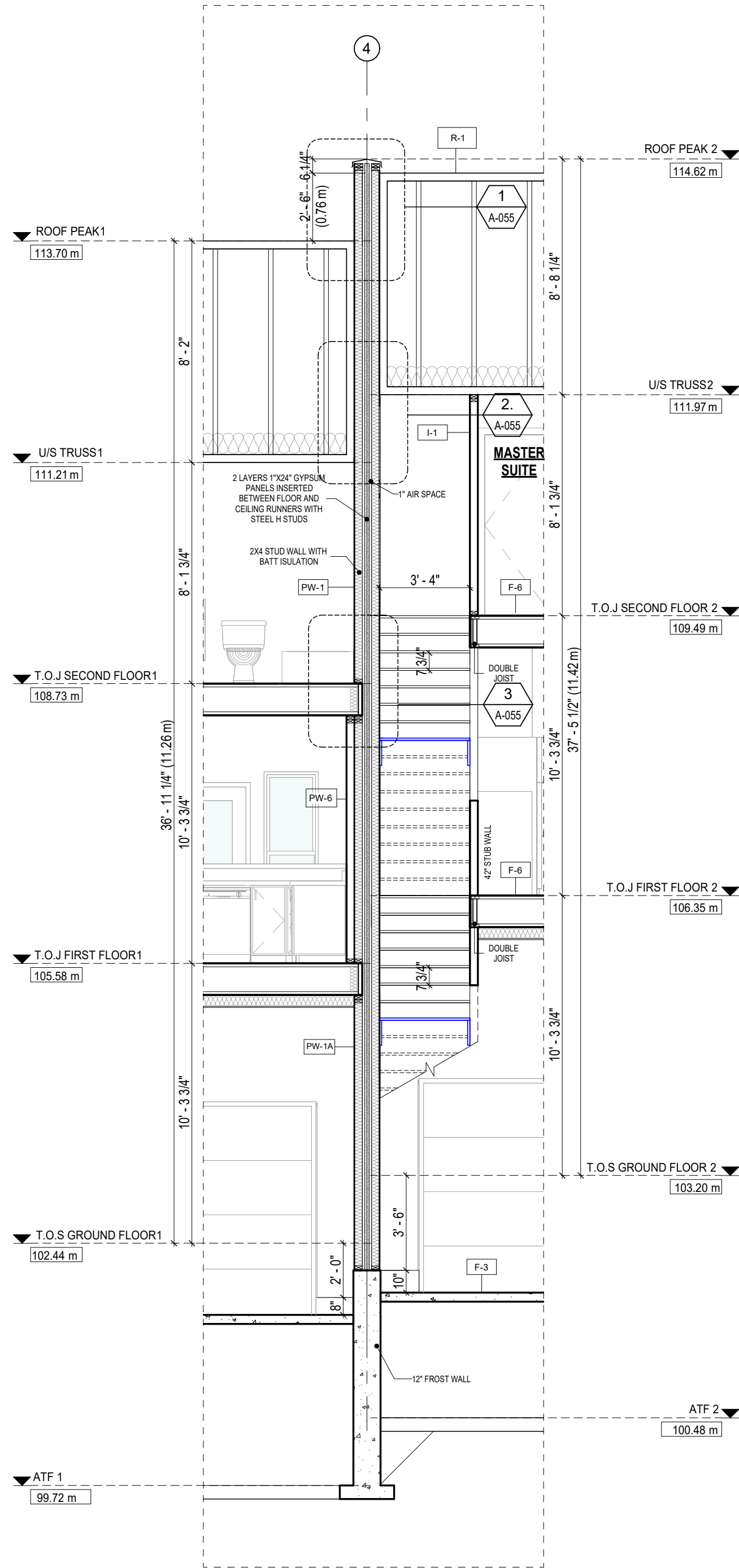
DRAWN BY: N.S.H.M.K.H.H.H.M.M.Z.R. CHECKED BY: E.Z.H.A.A.M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"

NOTES:

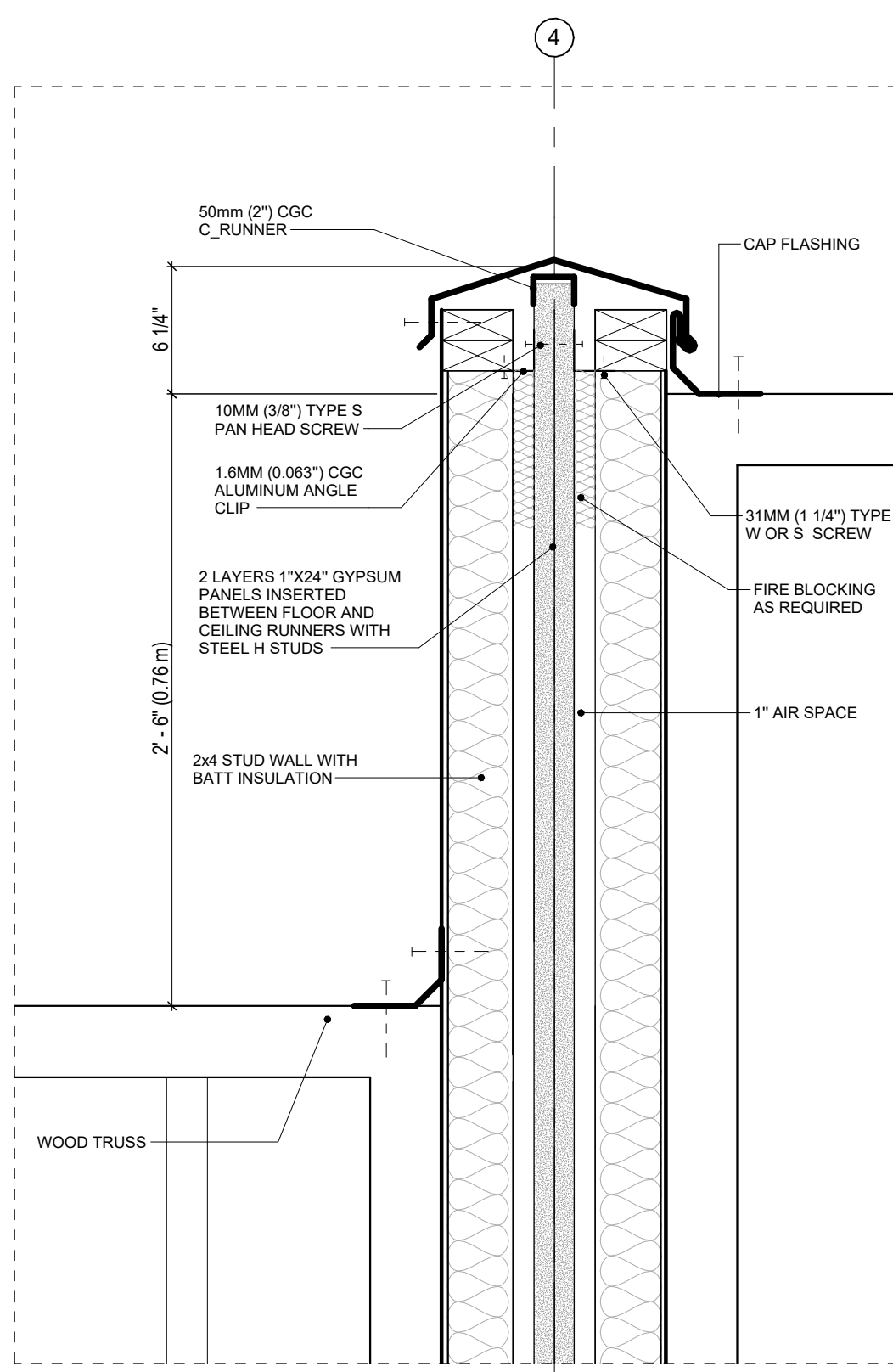
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FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE

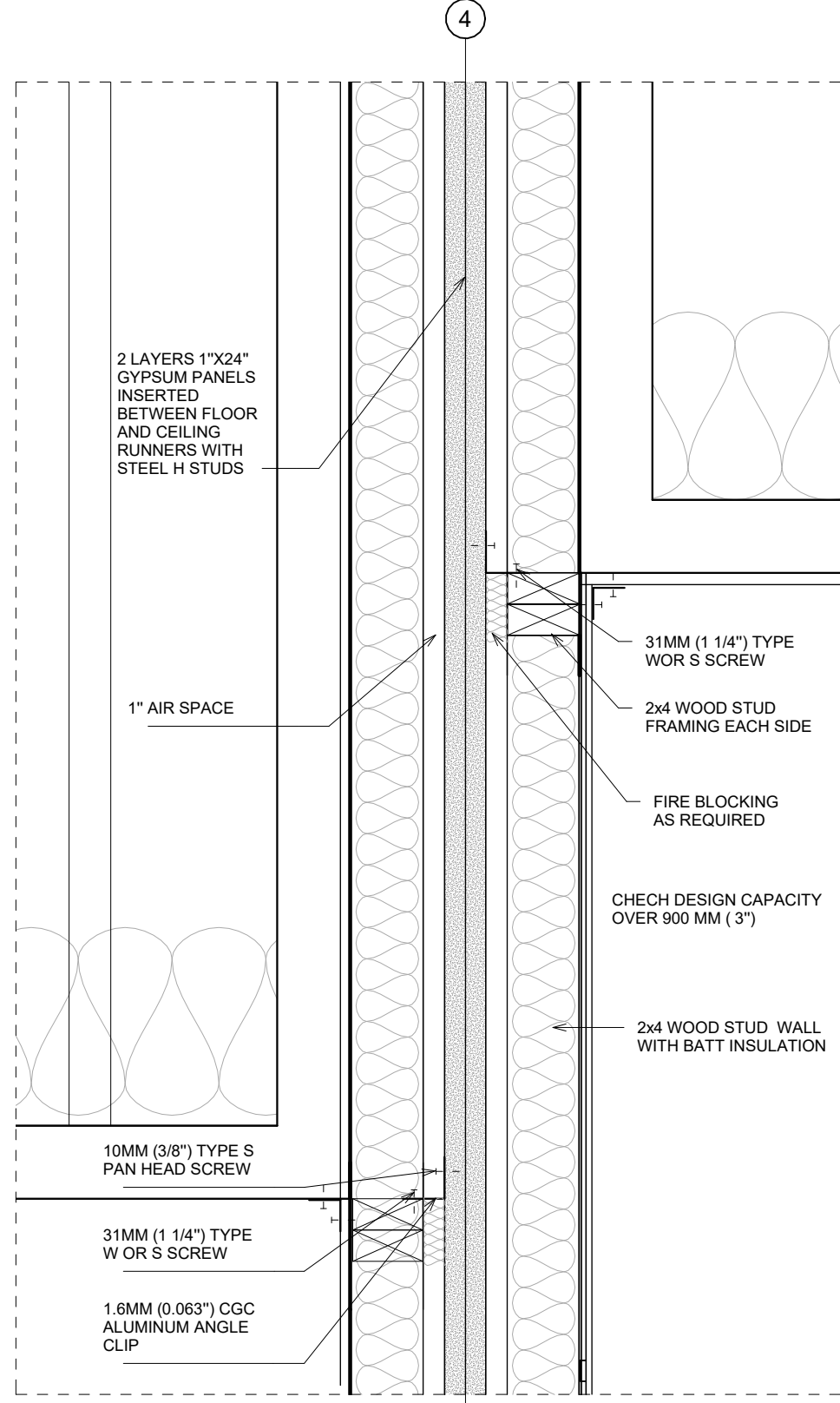


FIRE WALL SECTION

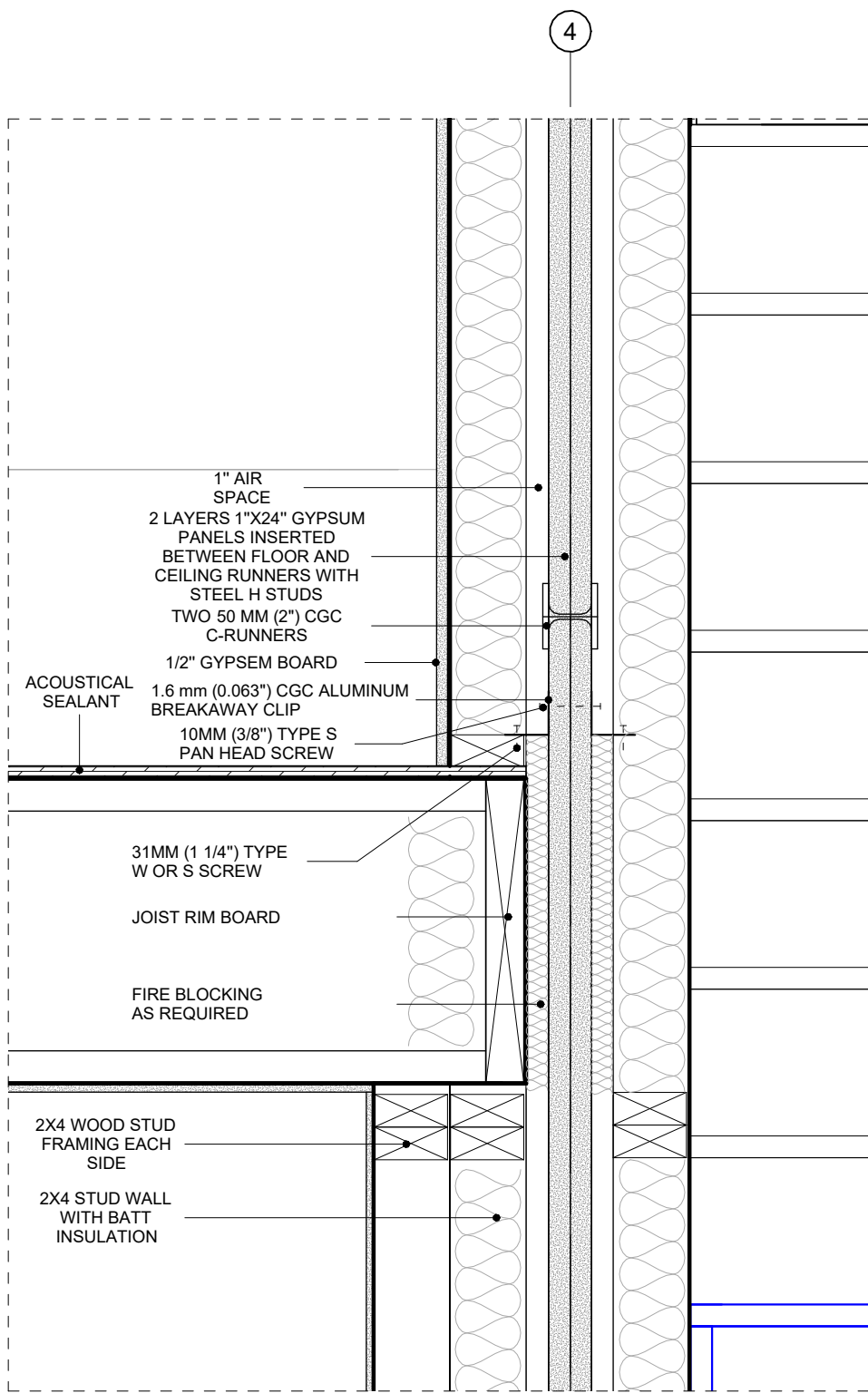
1/4" = 1'-0"



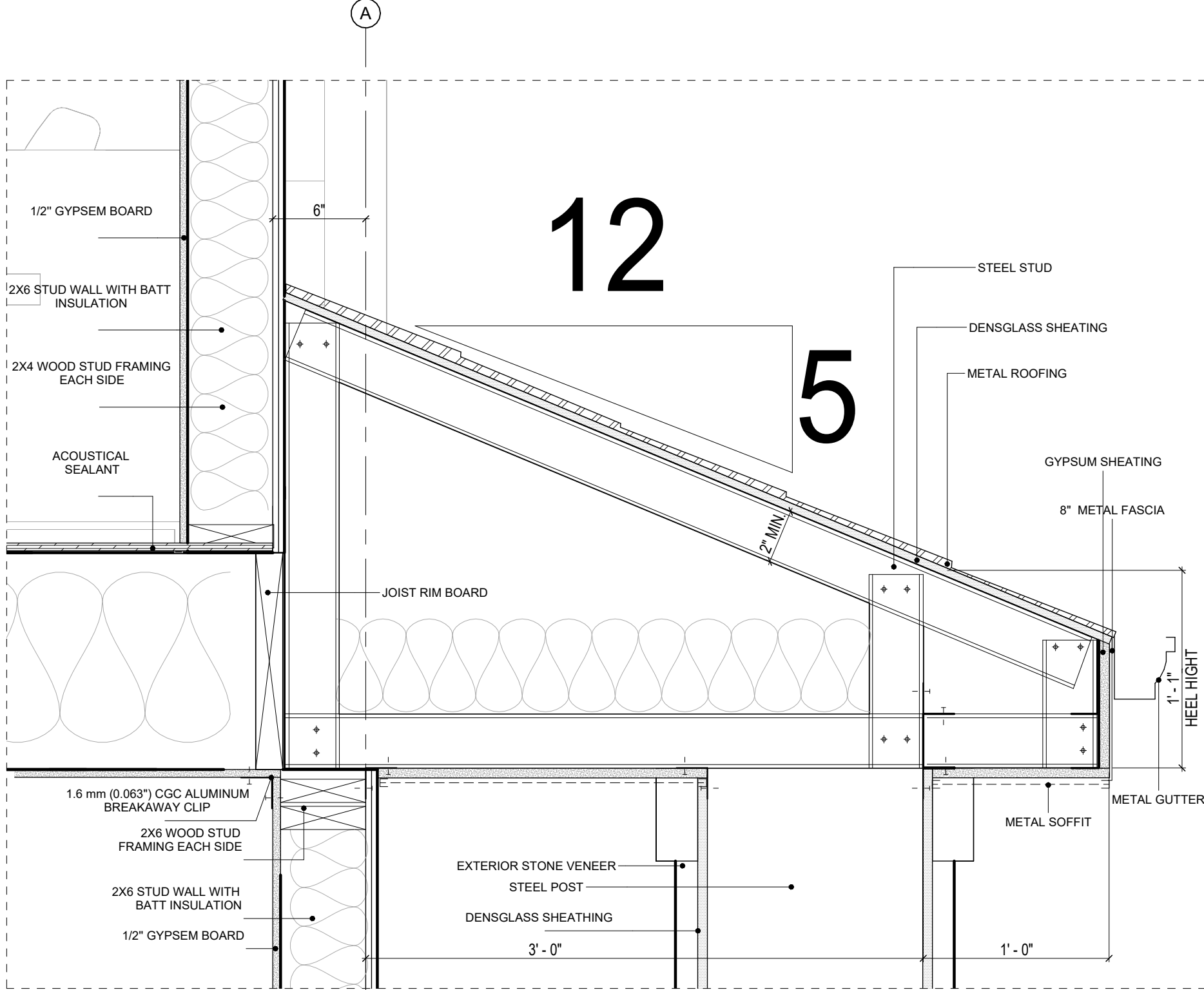
1 DETAIL 1
1 1/2" = 1'-0"



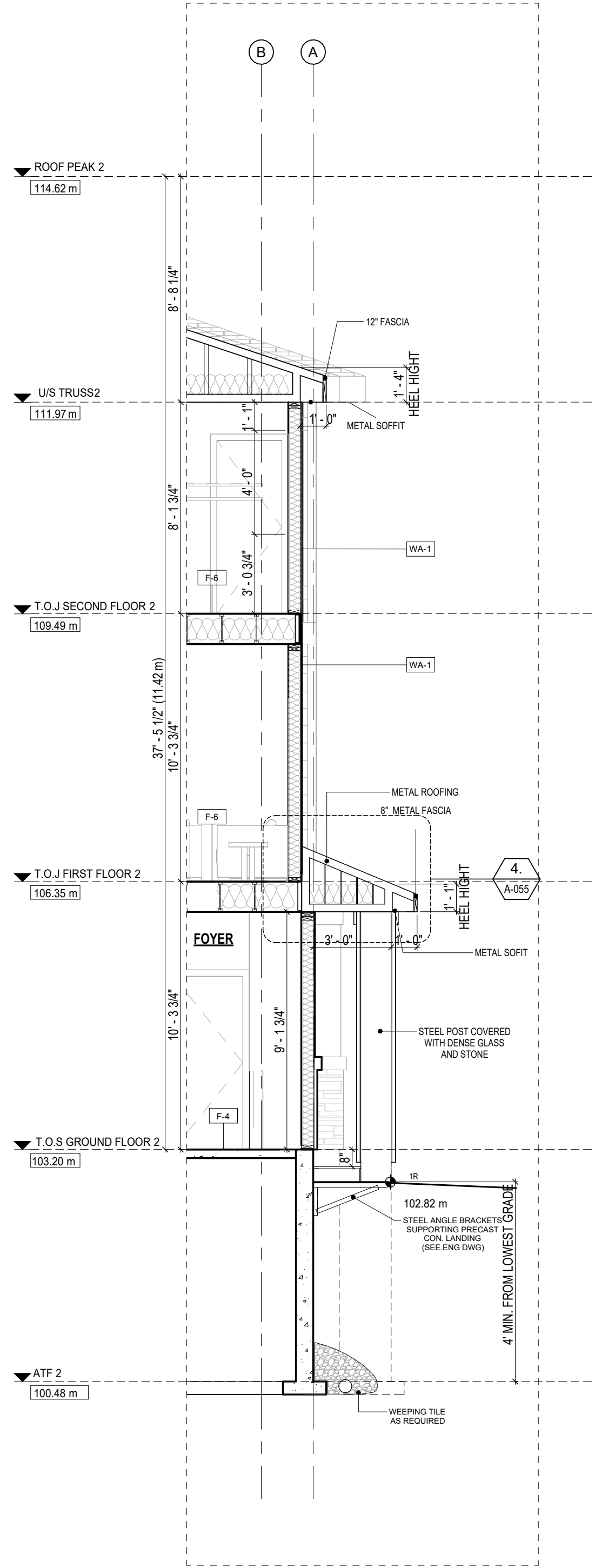
2 DETAIL 2
1 1/2" = 1'-0"



3 DETAIL 3
1 1/2" = 1'-0"



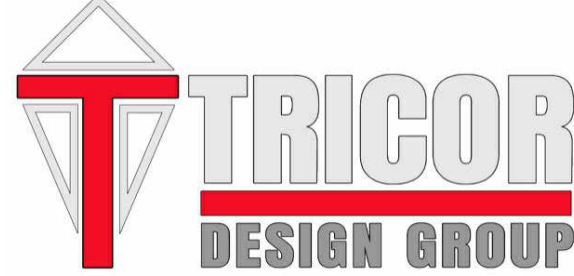
4 DETAIL 4
1 1/2" = 1'-0"



ENTRANCE WALL SECTION

1/4" = 1'-0"

DESIGNED BY:

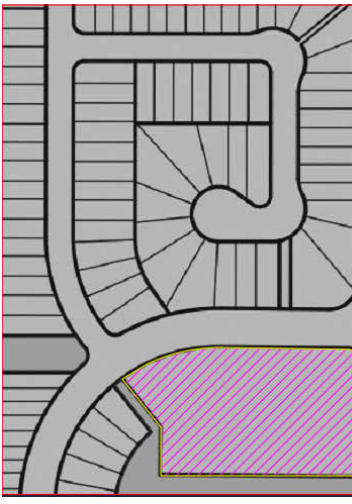


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS
BUILDING (4)

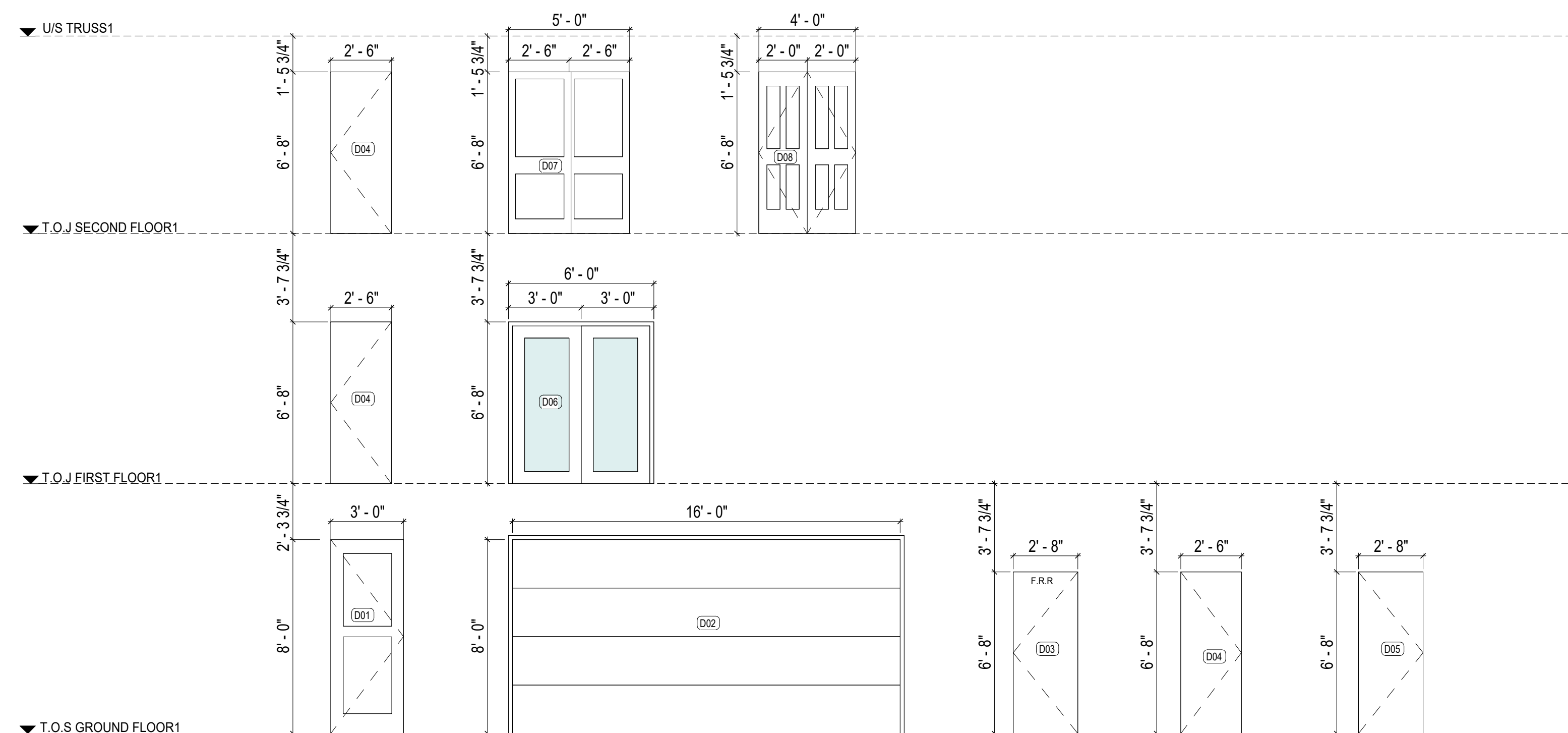
DRAWING NO.

A-055

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M DATE: 25_06_14

SCALE: As indicated

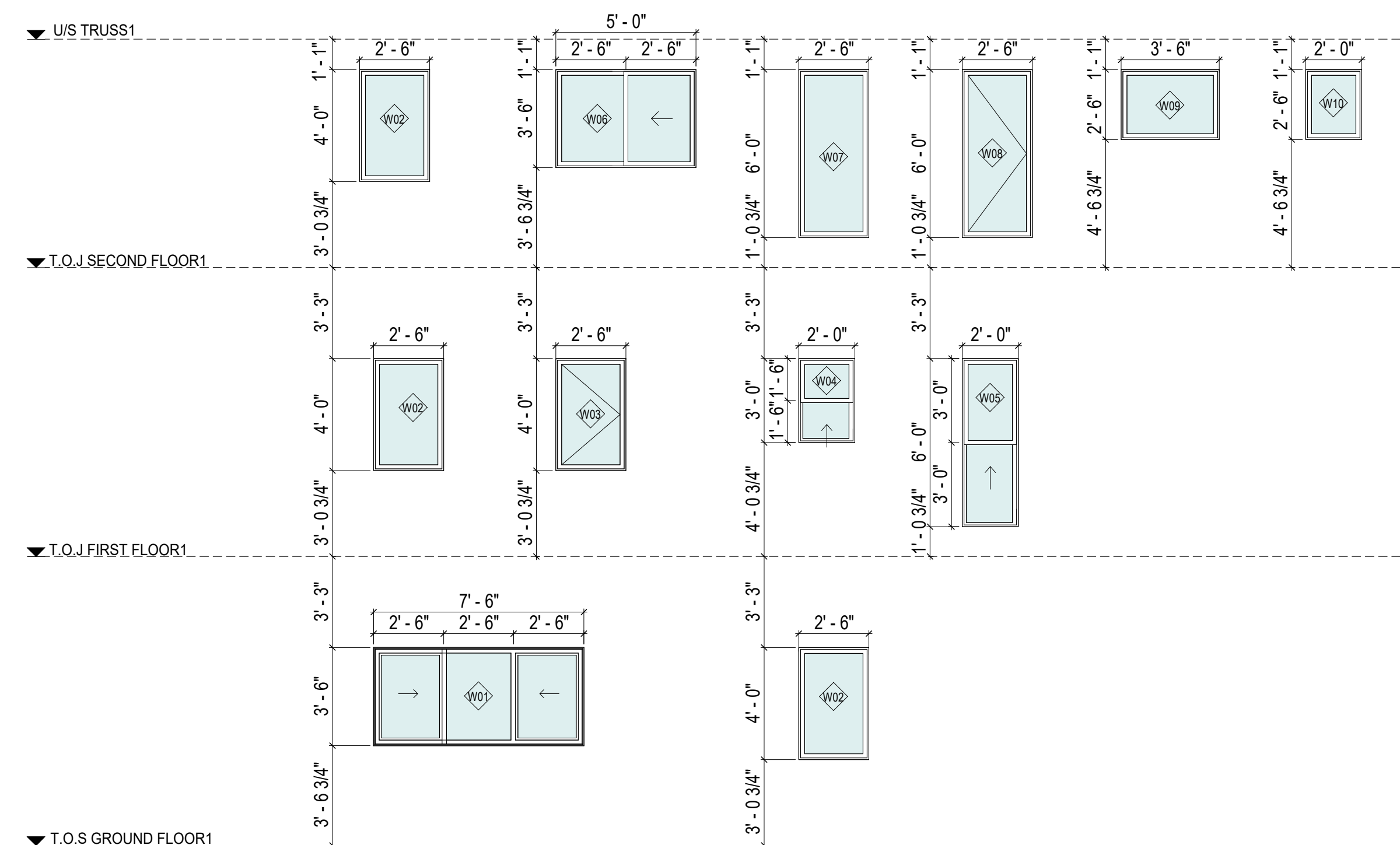
GARAGR DOOR CLOPAY MODERN
STEEL W/ FULL GLAZING AND
VERTICAL STACK



1 DOORS TYPES

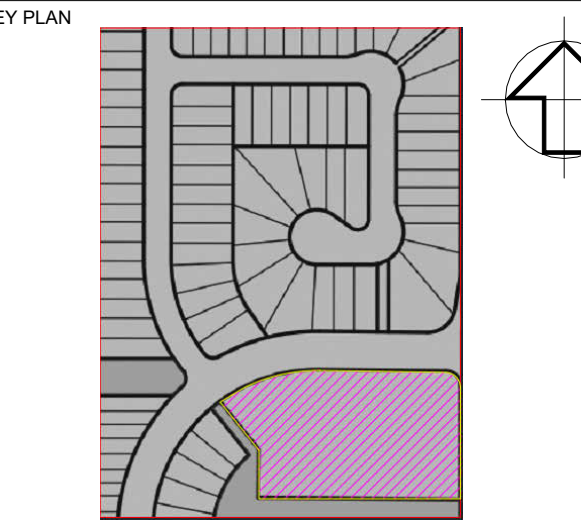
$$1/4" = 1'-0"$$

W08 :WILL BE (WOCD).



WINDOWS TYPES

1/4" = 1'-0"



DRAWINGS ARE NOT TO BE SCALED.
ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS
MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION.
IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT
REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO
CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY
RESPONSIBLE.
ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL
BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER
AUTHORITIES HAVE JURISDICTION.

DIVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S/H.M/K.H	E.Z
02	25_03_10	DTR	H.H/M.M	E.Z
03	25_05_14	DTR 2	H.I/M.M	E.Z

ISSUES:				
O.	DATE	DESCRIPTION	DRAWN BY	CH
01	24_10_07	DEVELOPMENT PERMIT	N.S/H.M/K.H	E.
02	25_04_30	BUILDING PERMIT	Z.R	E.

THE CLIENT : **LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS & WINDOWS TYPES

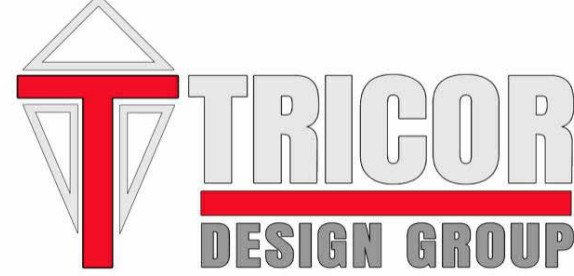
AWING NO.

A-056

AWN BY:	CHECKED BY:	DATE:
H/M/K/H/H/M/M/Z/R	E.Z/H/A/A/M	25_05_14
ALE: 1/4" = 1'-0"		



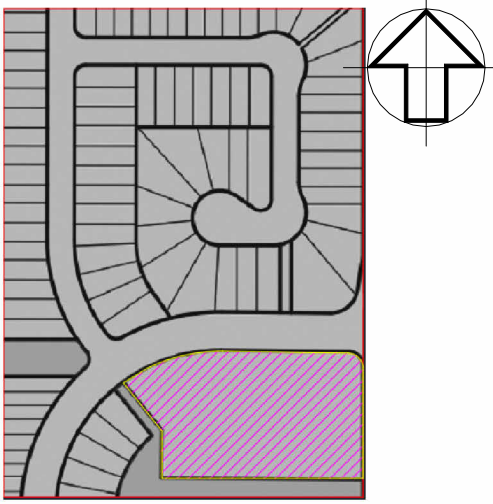
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING (5)

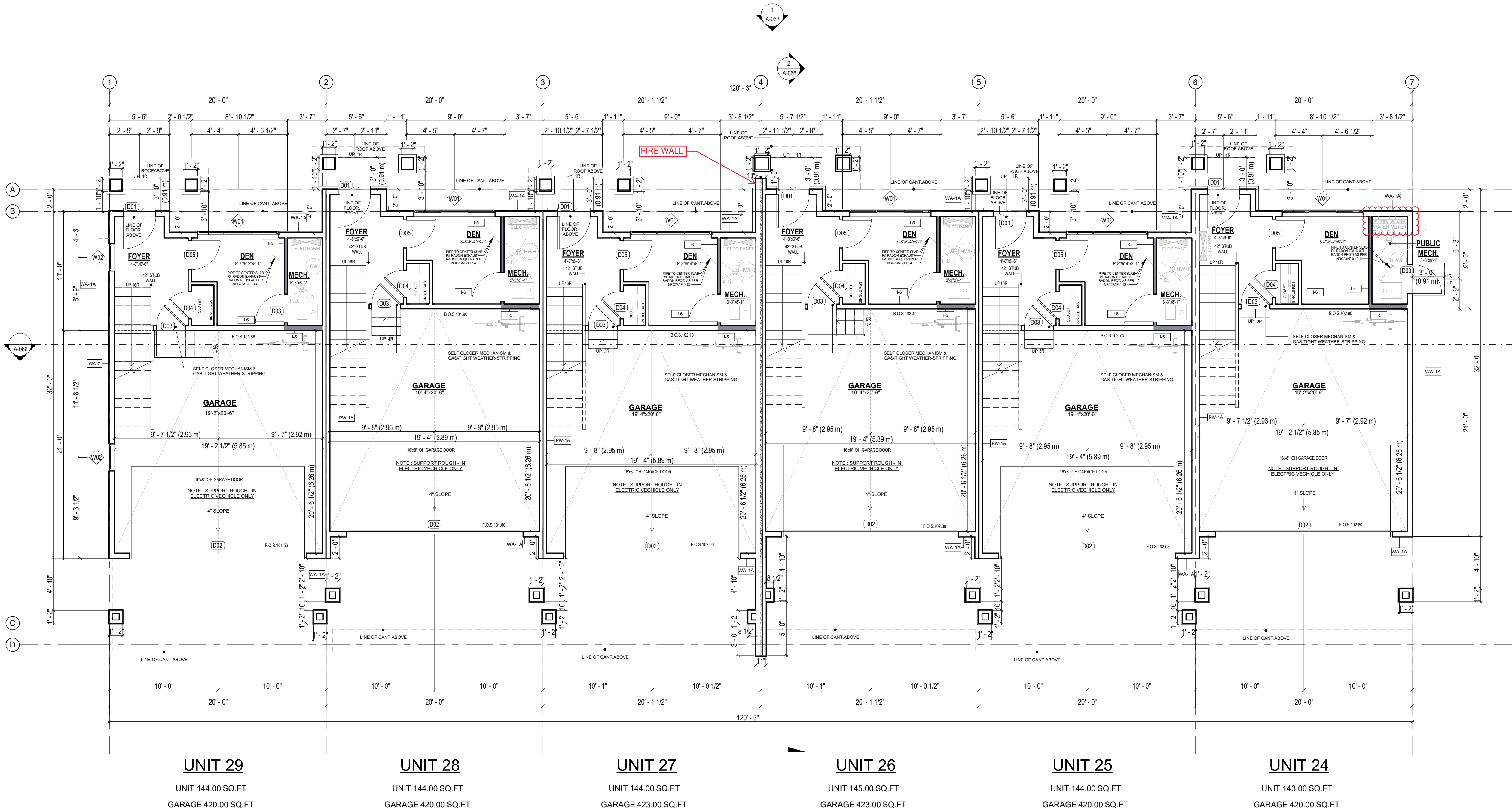
DRAWING NO.

A-057

DRAWN BY: N.S.K./H.H.M./H.E.Z./R.H./H.H.M./M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14
SCALE:

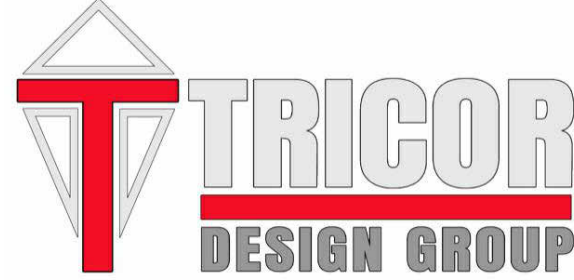
W08 :WILL BE (W0CD).

GROUND FLOOR NOTE : (W0CD)
WILL BE USED WHEN THE
DISTANCE BETWEEN SILL HEIGHT
AND OUTSIDE GRADE IS MORE
THAN (72") , AND THE OPENING
PORTION WINDOW IS LESS THAN
(36") ,THAT WILL ALLOW THE
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

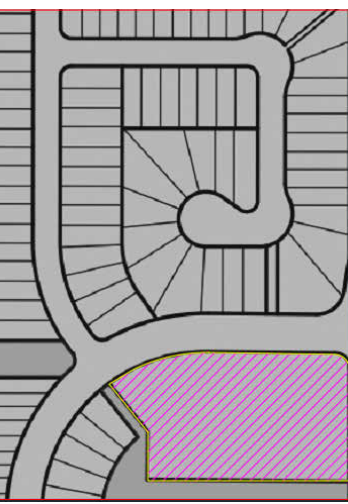
DESIGNED BY:



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tricordesigns.com

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CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./M
03	25_05_14	DTR 2	Z.R.	E.Z.H.A./M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING (5)

DRAWING NO.

A-058

DRAWN BY:
N.S.K.H.H.M./
H.E.Z.R.H.H.H.M.M

CHECKED BY:
E.Z.H.A./M

DATE:
25_06_14

SCALE: 3/16" = 1'-0"

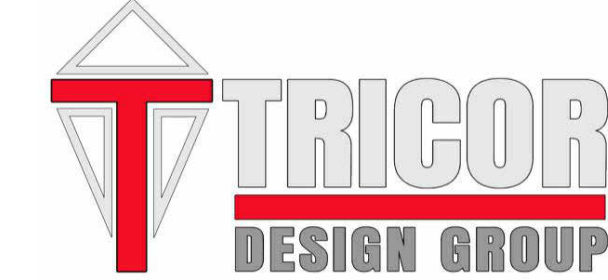
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

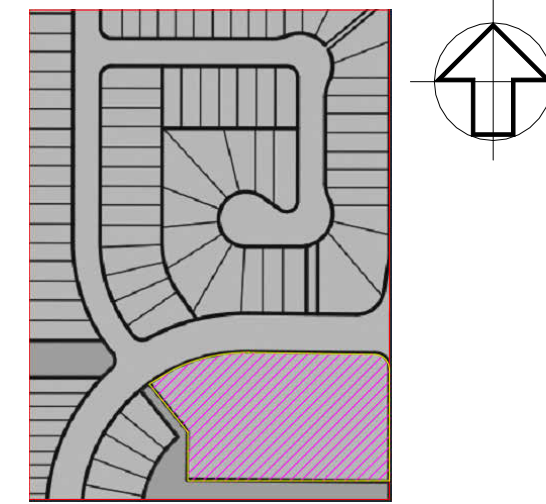
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3
PHONE: (403)203-1970 FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E. E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R. E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R. E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E. E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING (5)

DRAWING NO.

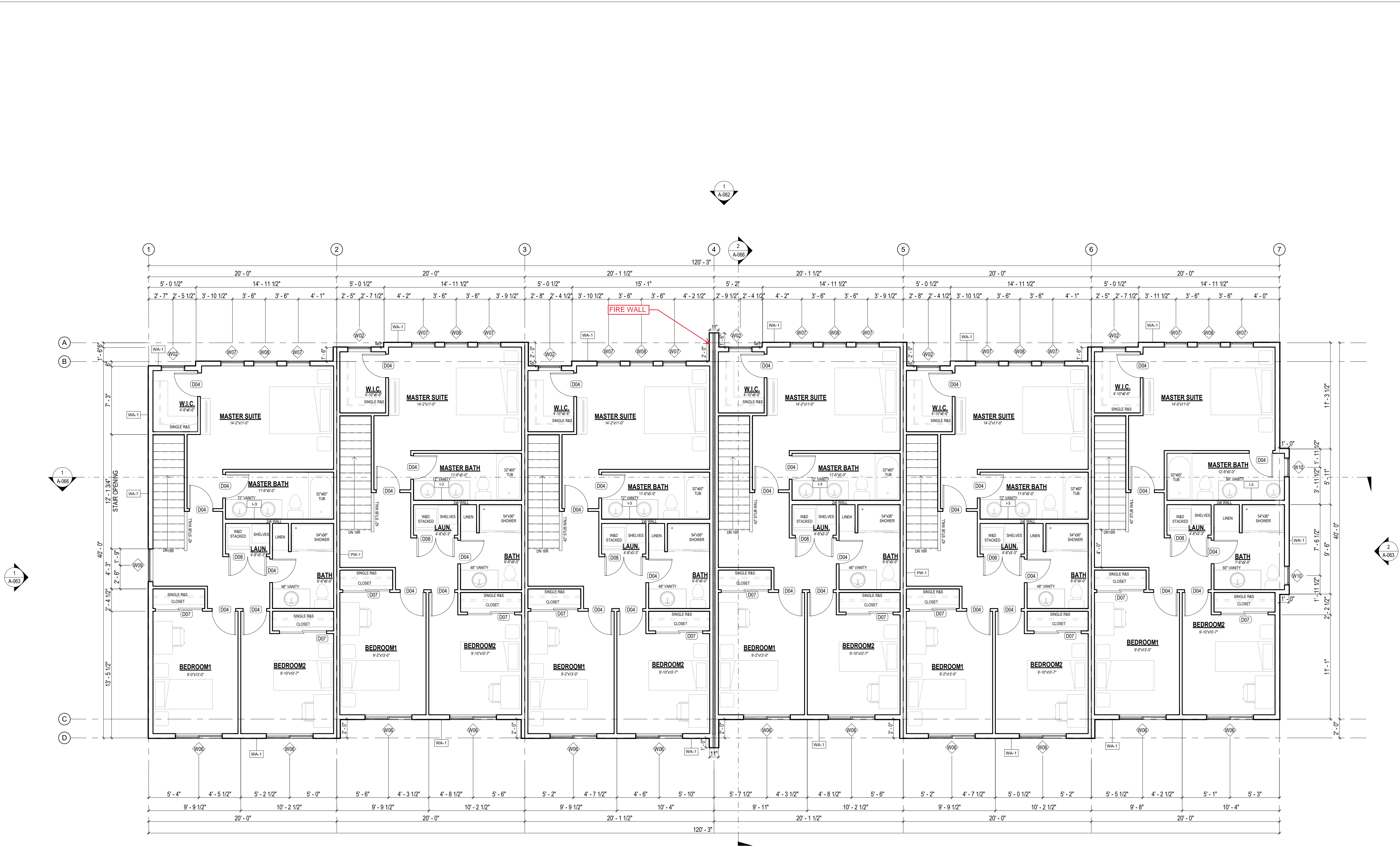
A-059

DRAWN BY: N.S.K.H.H.M./H.E.Z.Z.H.A.U.H.H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36"), THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



UNIT 29
UNIT 797.00 SQ.FT.

UNIT 28
UNIT 797.00 SQ.FT.

UNIT 27
UNIT 802.00 SQ.FT.

UNIT 26
UNIT 802.00 SQ.FT.

UNIT 25
UNIT 797.00 SQ.FT.

UNIT 24
UNIT 813.00 SQ.FT.

1 SECOND FLOOR PLAN
3/16" = 1'-0"

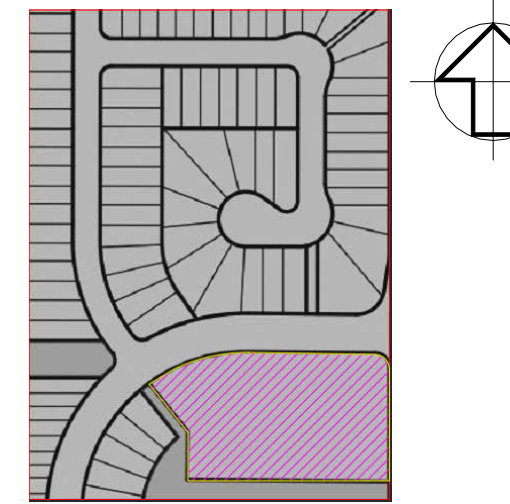
DESIGNED BY:



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tricor designs.com

#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3
PHONE: (403)203-1970 FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN
BUILDING (5)

DRAWING NO.

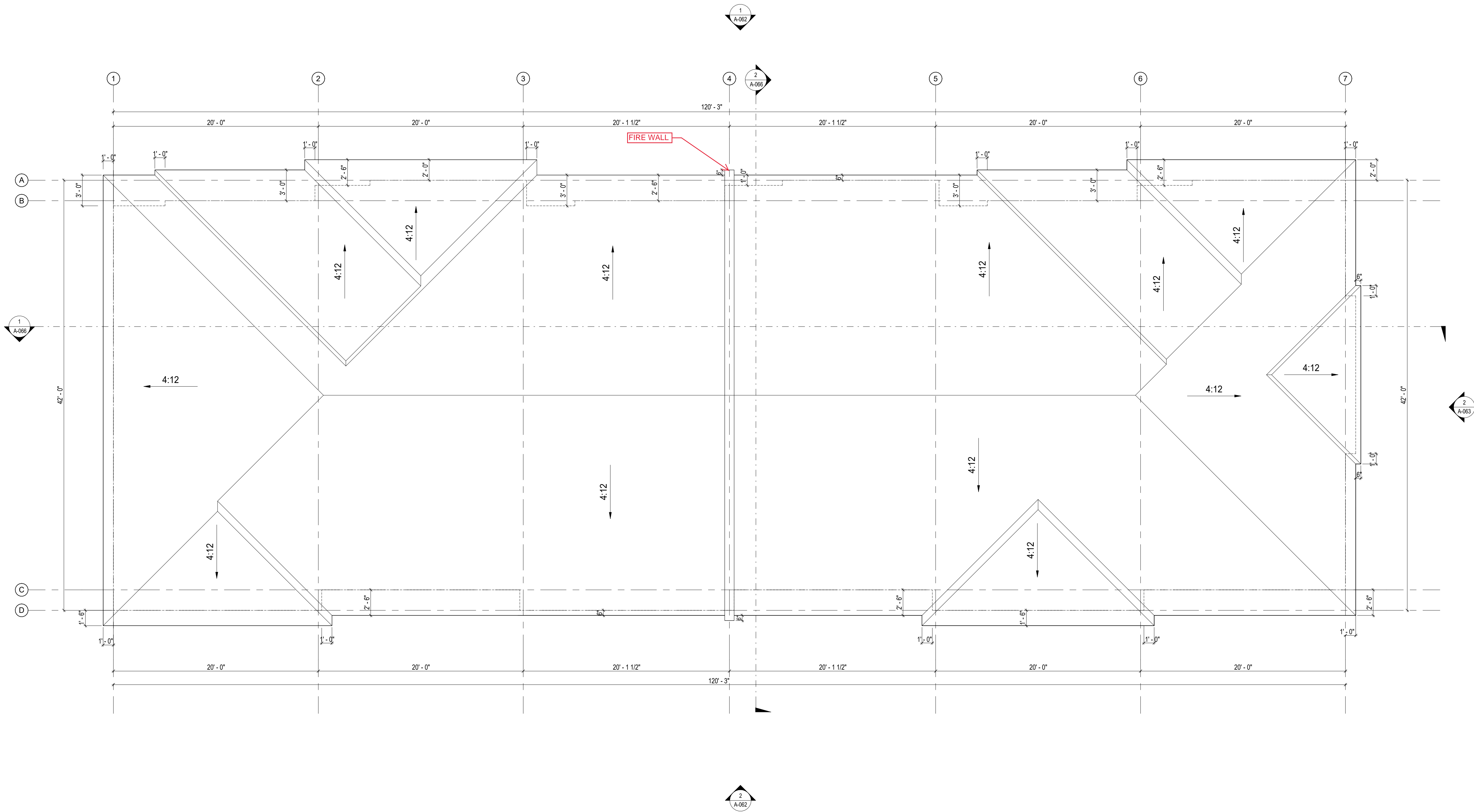
A-060

DRAWN BY:
N.S.H.H.M /
H.E.Z.Z.H.H.H.M.M

CHECKED BY:
E.Z.H.A/M

DATE:
25_06_14

SCALE: 3/16" = 1'-0"



1 ROOF FLOOR PLAN
3/16" = 1'-0"

DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	Z.R.	E.Z.A.M.

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :
**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
**ROOF FLOOR PLAN
BUILDING (5)**

DRAWING NO.
A-061

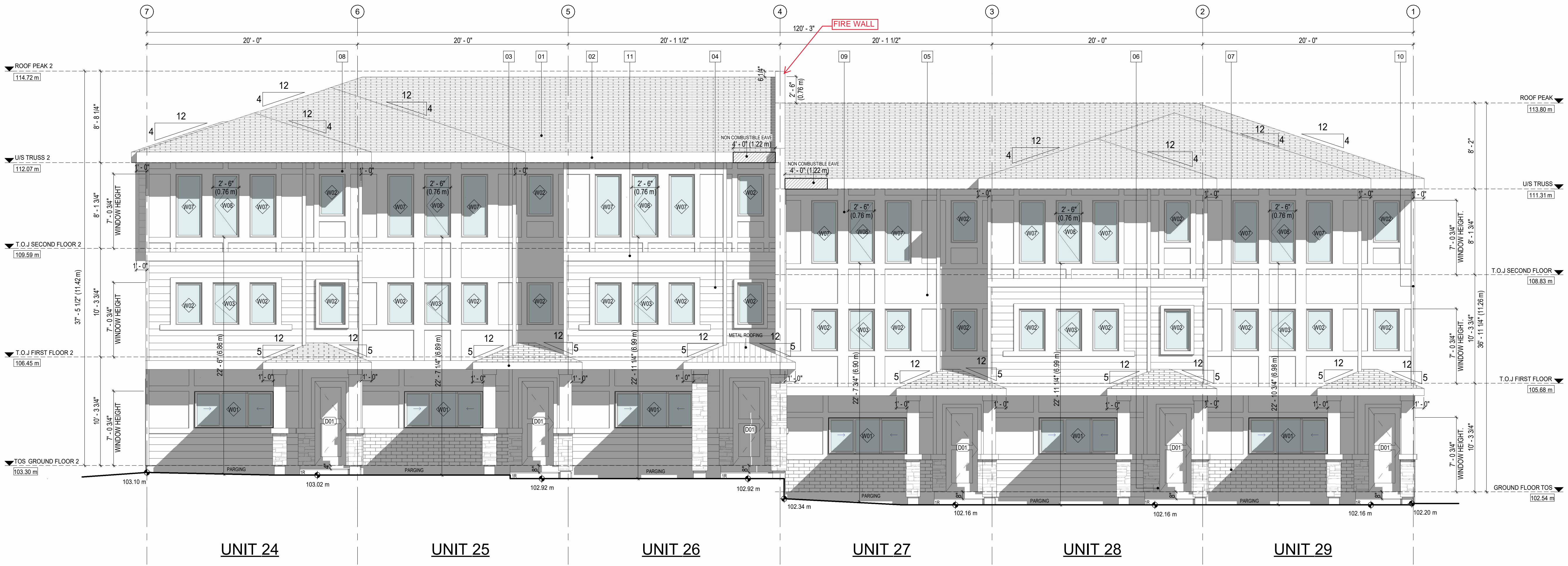
DRAWN BY: N.S.K./H.H.M./ H.E.Z./Z.H.A./H.H.M.M.	CHECKED BY: E.Z.H.A./A.M.	DATE: 25_05_14
---	------------------------------	-------------------

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING

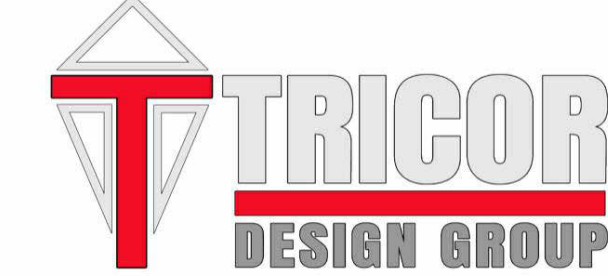


1 FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



2 REAR (NORTH) ELEVATION
3/16" = 1'-0"

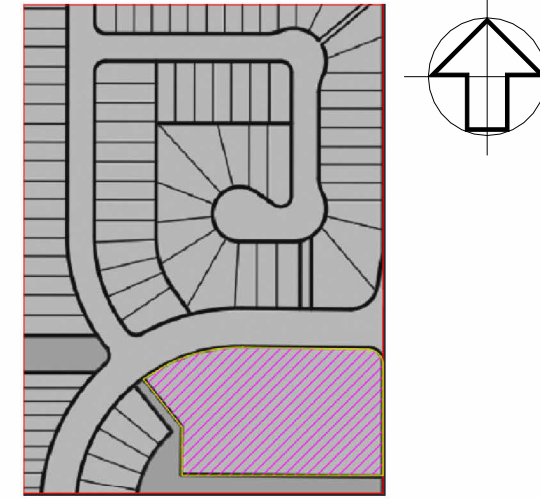
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
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EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	Z.R.	E.Z.H.A.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING (5)

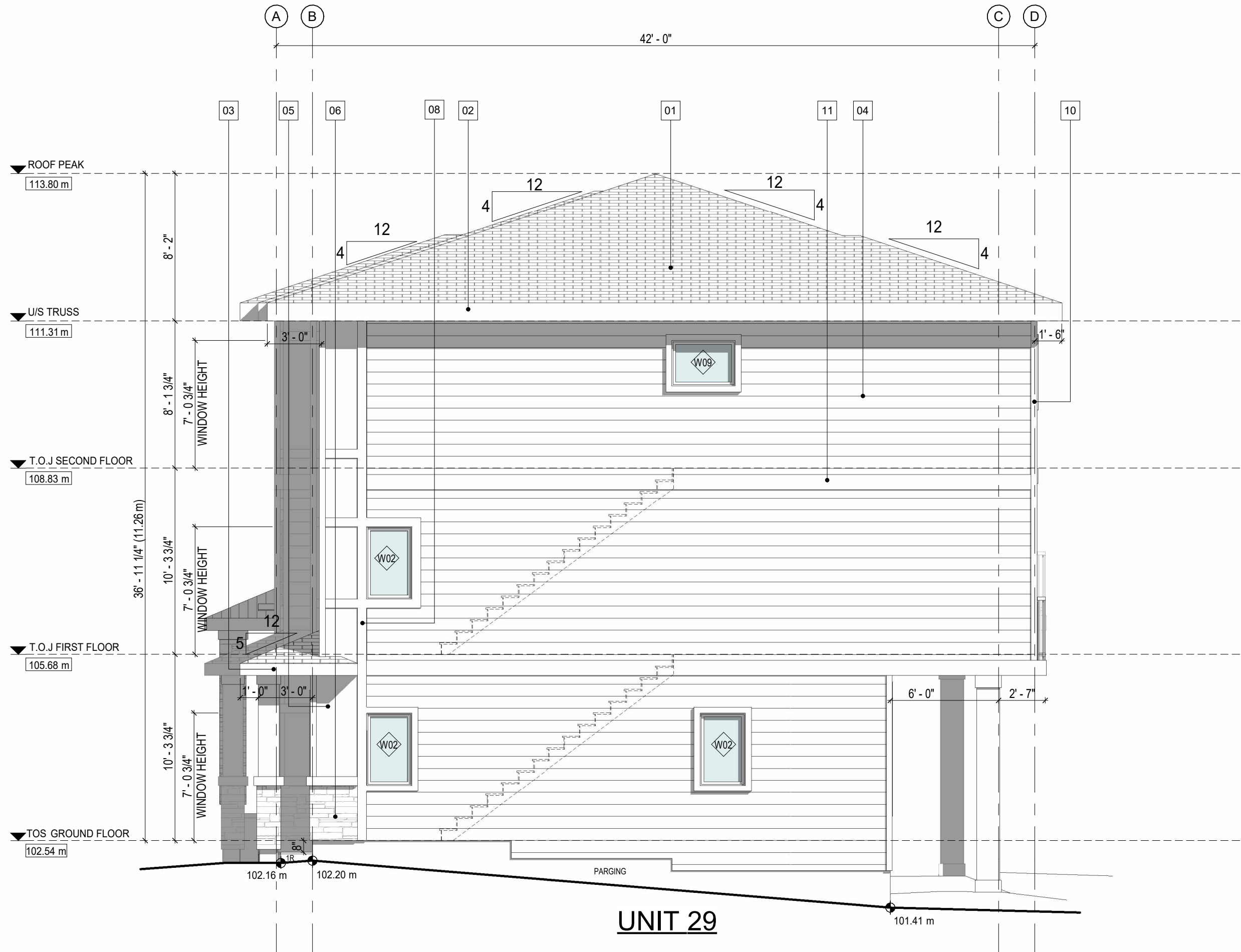
DRAWING NO.

A-062

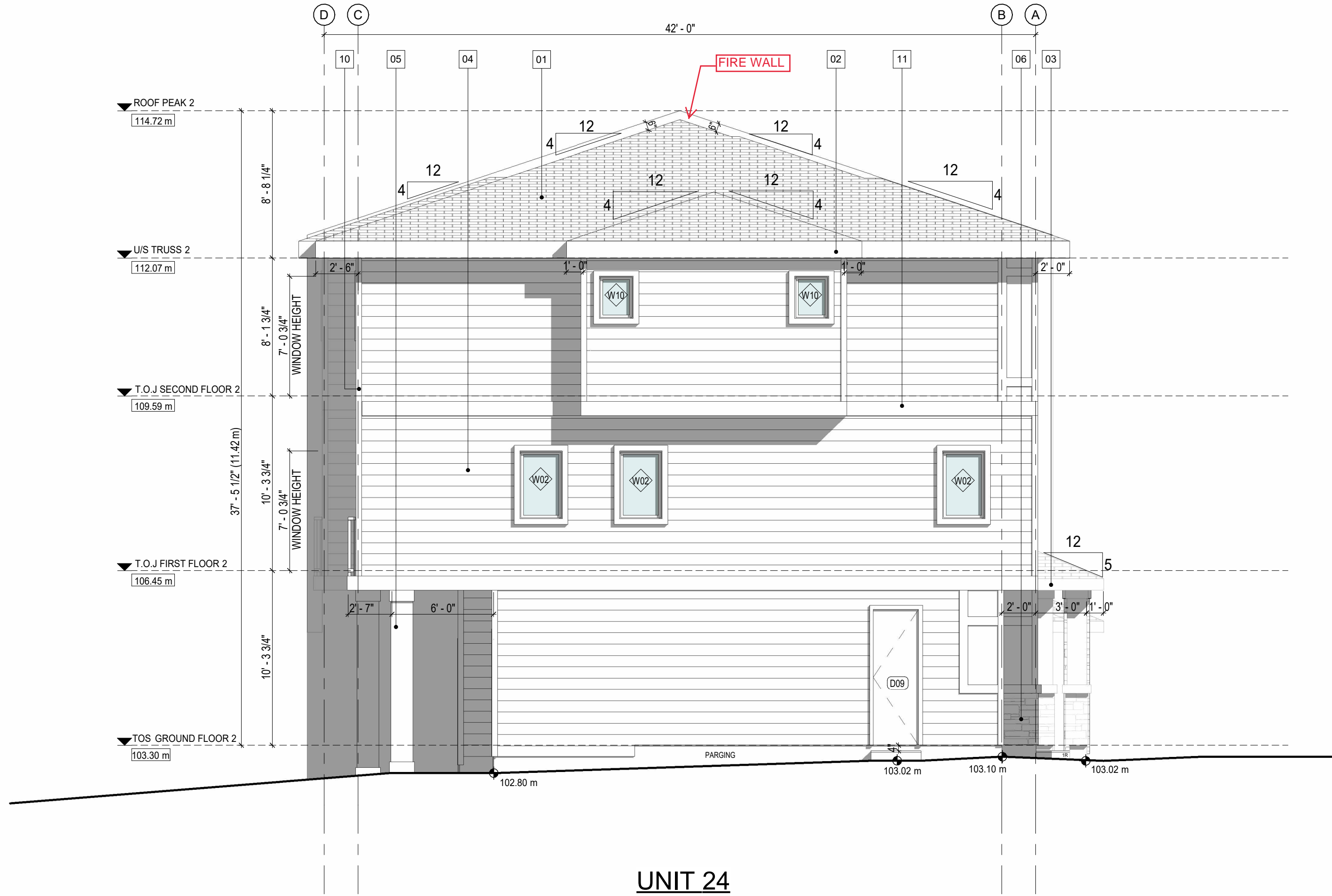
DRAWN BY: N.S.H.M./H.E.Z.Z.R.H.H.H.M.M.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"
W08 :WILL BE (WOCD).	

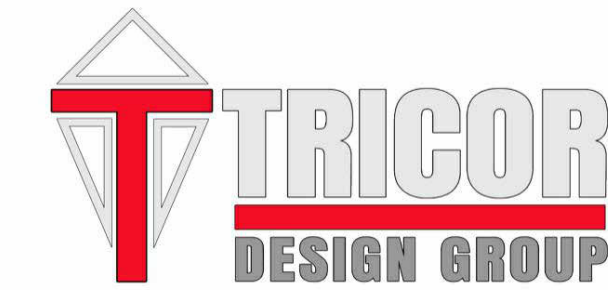


1 RIGHT (EAST) ELEVATION
3/16" = 1'-0"



2 LEFT (WEST) ELEVATION
3/16" = 1'-0"

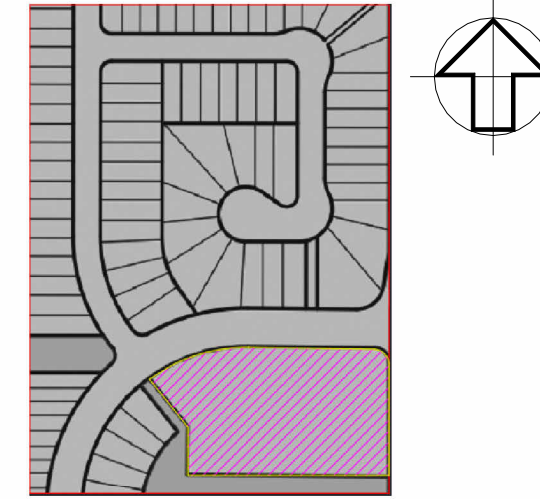
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING (5)

DRAWING NO.

A-063

DRAWN BY: N.S.K.H.H.M / H.E.Z.Z.H.H.H.H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 24		UNIT 25		UNIT 26		UNIT 27		UNIT 28		UNIT 29	
CODE CHECK EXPOSED BUILDING FACE	613 SQ.FT	56.94 SQ.M	569 SQ.FT	52.86 SQ.M	635 SQ.FT	58.95 SQ.M	569 SQ.FT	52.90 SQ.M	625 SQ.FT	58.10 SQ.M	592 SQ.FT	54.99 SQ.M
SETBACK	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	30.01%		35.2%		29.54%		35.19%		29.74%		38.91%	
SQ.FT.OF ALLOWED OPENING	183.94 SQ.FT	17.09 SQ.M	200.28 SQ.FT	18.61 SQ.M	187.44 SQ.FT	17.41 SQ.M	200.39 SQ.FT	18.62 SQ.M	186.00 SQ.FT	17.28 SQ.M	230.31 SQ.FT	21.40 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	91.97 SQ.FT	8.54 SQ.M	100.14 SQ.FT	9.30 SQ.M	93.72 SQ.FT	8.71 SQ.M	100.20 SQ.FT	9.31 SQ.M	93.00 SQ.FT	8.64 SQ.M	115.15 SQ.FT	10.70 SQ.M

1 FRONT (SOUTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



2 LEFT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 24	
CODE CHECK EXPOSED BUILDING FACE	1101 SQ.FT	102.28 SQ.M
SETBACK	42' - 6"	12.96 m
PERCENTAGE OF ALLOWED OPENINGS	63.88%	
SQ.FT.OF ALLOWED OPENING	703.25 SQ.FT	65.33 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	351.62 SQ.FT	32.67 SQ.M

DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3
PHONE: (403)203-1970
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EMAIL: info@tricordesigns.com

KEY PLAN

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :
**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
**UNPROTECTED OPENINGS(1)
BUILDING (5)**

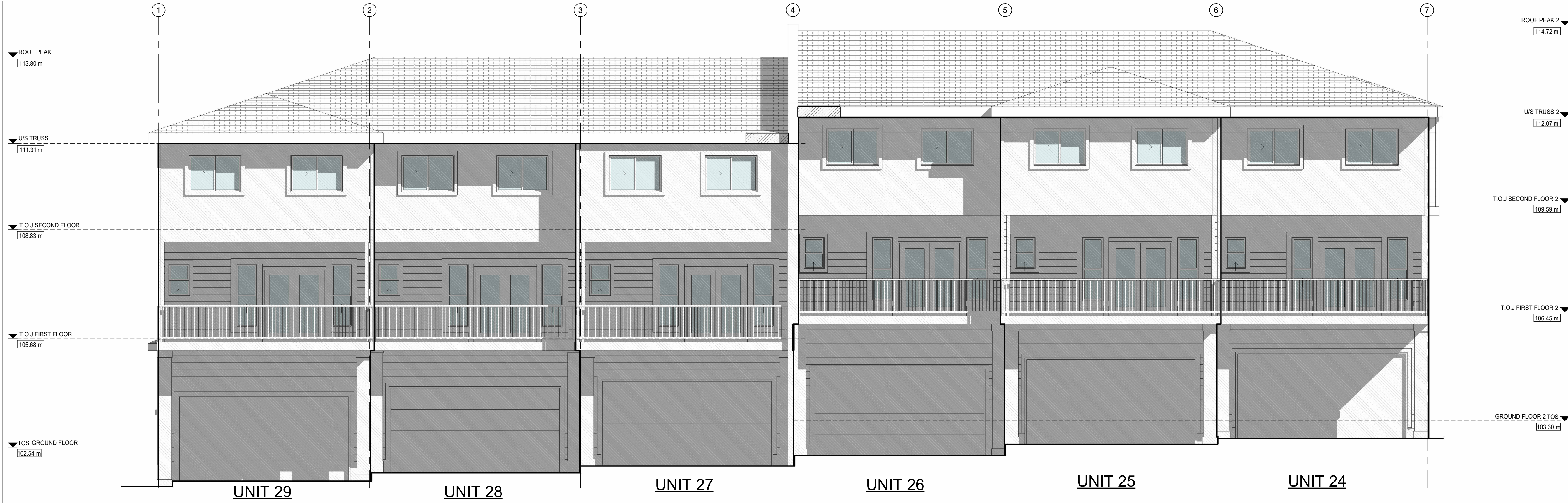
DRAWING NO.
A-064

DRAWN BY:
N.S.H.M
H.E.Z.Z.H.H.H.M.M

CHECKED BY:
E.Z.H.A/A.M

DATE:
25_06_14

SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 29		UNIT 28		UNIT 27		UNIT 26		UNIT 25		UNIT 24	
CODE CHECK EXPOSED BUILDING FACE	650 SQ.FT	60.37 SQ.M	605 SQ.FT	56.21 SQ.M	634 SQ.FT	58.87 SQ.M	625 SQ.FT	58.05 SQ.M	638 SQ.FT	59.32 SQ.M	602 SQ.FT	55.96 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m	15' - 1"	4.60 m	13' - 11"	4.24 m
PERCENTAGE OF ALLOWED OPENINGS	44.73%		50.58%		45.31%		49.8%		34.11%		30.1%	
SQ.FT.OF ALLOWED OPENING	290.64 SQ.FT	27.00 SQ.M	306.04 SQ.FT	28.43 SQ.M	287.13 SQ.FT	26.68 SQ.M	311.15 SQ.FT	28.91 SQ.M	217.78 SQ.FT	20.23 SQ.M	181.32 SQ.FT	16.85 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	145.32 SQ.FT	13.50 SQ.M	153.02 SQ.FT	14.22 SQ.M	143.56 SQ.FT	13.34 SQ.M	155.58 SQ.FT	14.45 SQ.M	108.89 SQ.FT	10.12 SQ.M	90.66 SQ.FT	8.42 SQ.M

1 REAR (NORTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 29	
CODE CHECK EXPOSED BUILDING FACE	1143 SQ.FT	106.18 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	80.00 SQ.FT	7.43 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	40.00 SQ.FT	3.72 SQ.M

2 RIGHT (EAST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

DESIGNED BY:

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KEY PLAN

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S/H/M/ K.H.H./E	E.Z/H.A
02	25_03_24	DTR	H.H/M/M/M/R	E.Z/H.A/A/M
03	25_05_14	DTR 2	Z.R	E.Z/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S/H/M/ K.H.H./E	E.Z/H.A

THE CLIENT :
**LUXURIA HOMES
AIRDRIE, AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
**UNPROTECTED OPENINGS(2)
BUILDING (5)**

DRAWING NO.
A-065

DRAWN BY:
N.S/K/H/H/M/
H.E/Z.Z/H/H/H/M/M

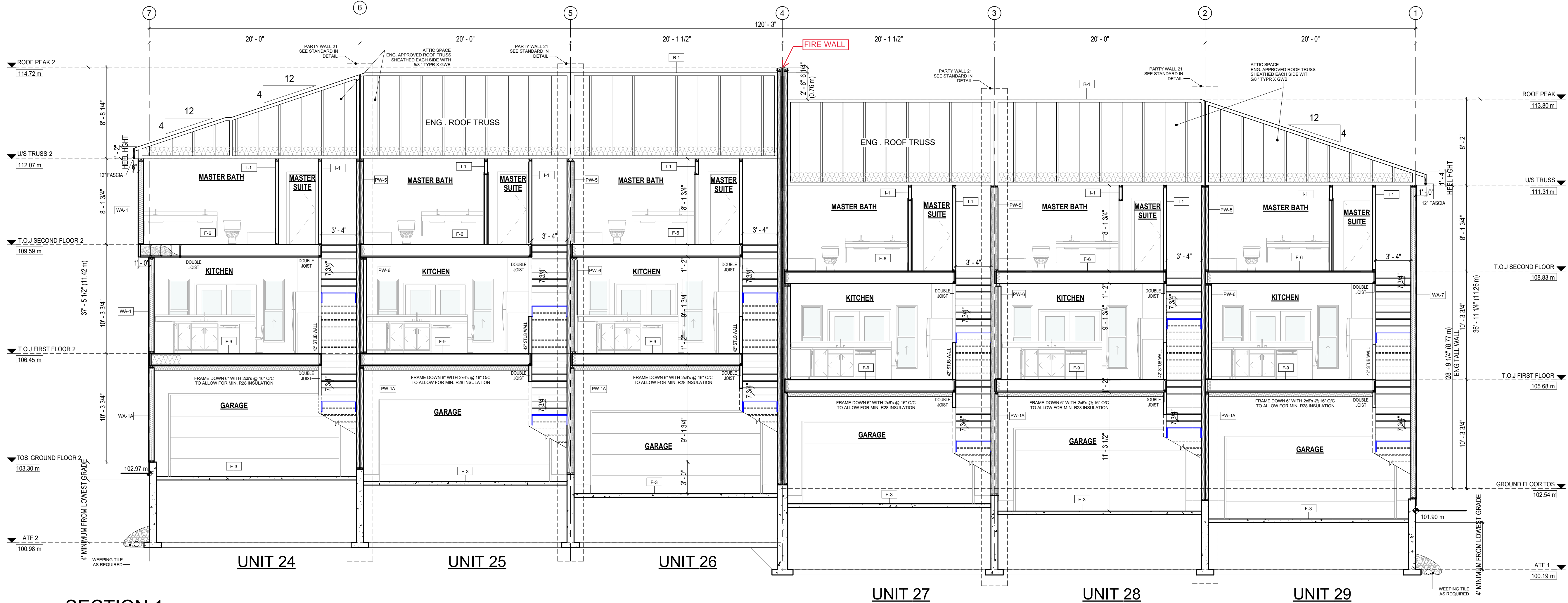
CHECKED BY:
E.Z/H.A/A/M

DATE:
25_06_14

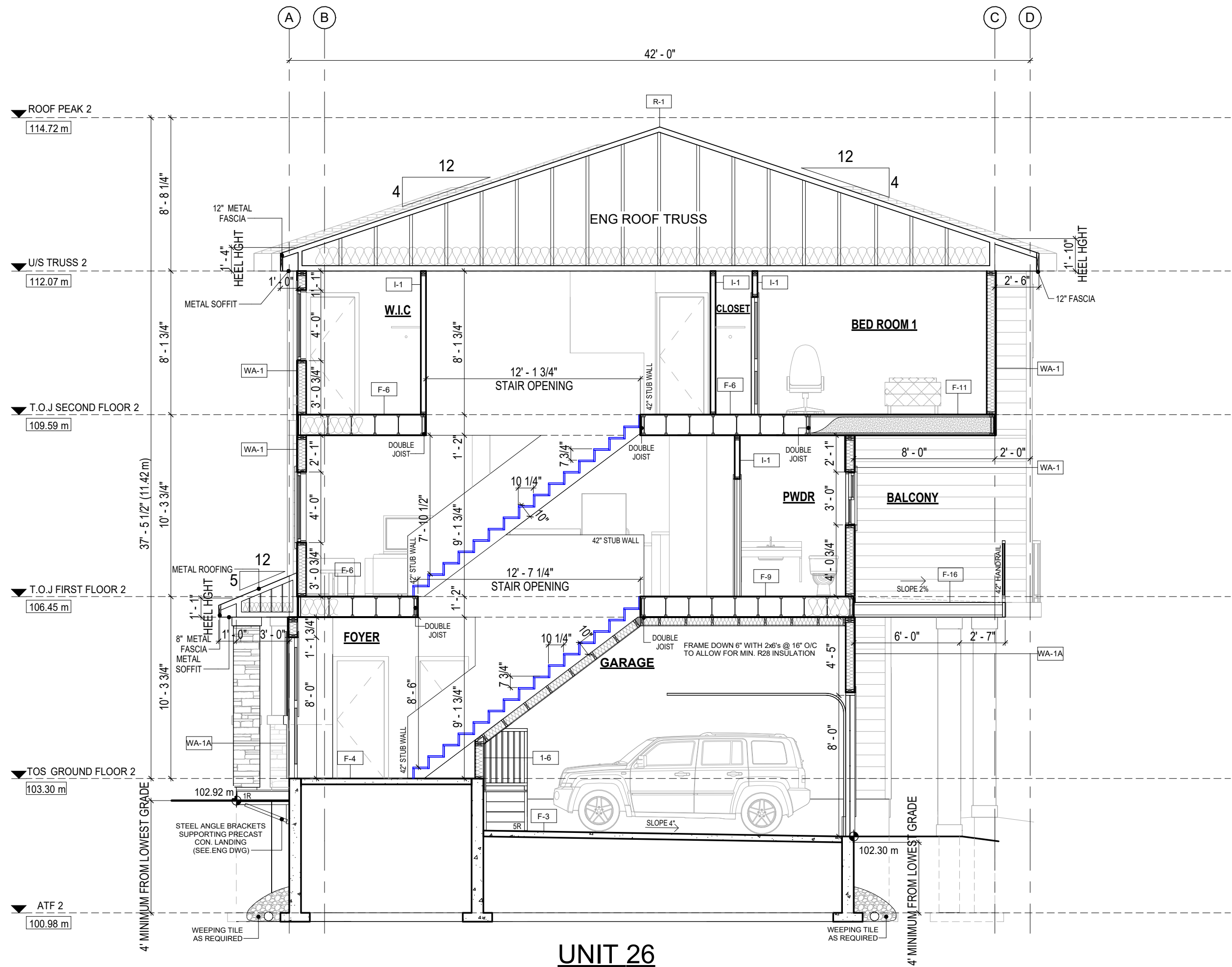
SCALE: 3/16" = 1'-0"

NOTES:
" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM
LOWEST GRADE

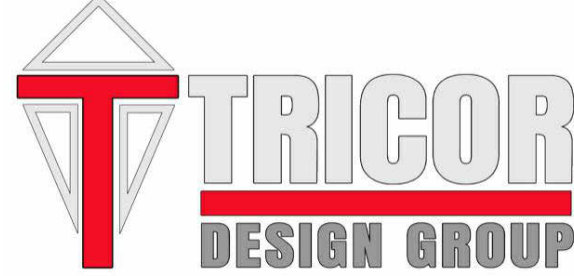


1 SECTION 1
3/16" = 1'-0"



2 SECTION 2
3/16" = 1'-0"

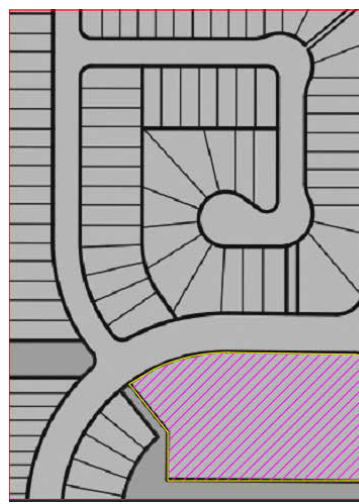
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E. E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R. E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R. E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E. E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION 1 & SECTION 2
BUILDING (5)

DRAWING NO.

A-066

DRAWN BY: N.S.K.H.H.M./H.E.Z.Z.H.A/H.H.M.M

CHECKED BY: E.Z.H.A/A.M

DATE: 25_06_14

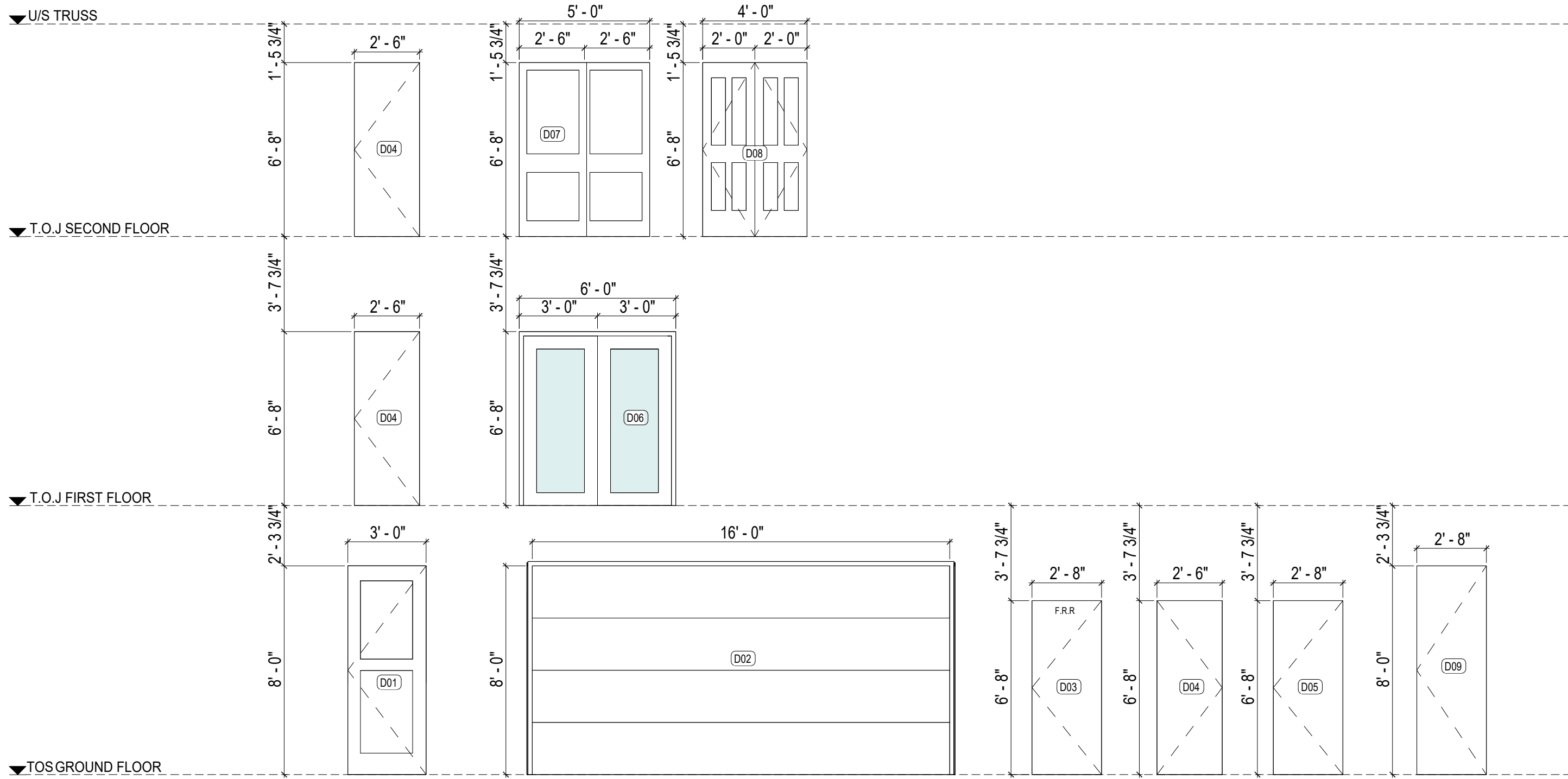
SCALE: 3/16" = 1'-0"

2 DETAIL 2
1 1/2" = 1'-0"

4 **DETAIL 4**
1 1/2" = 1'-0"

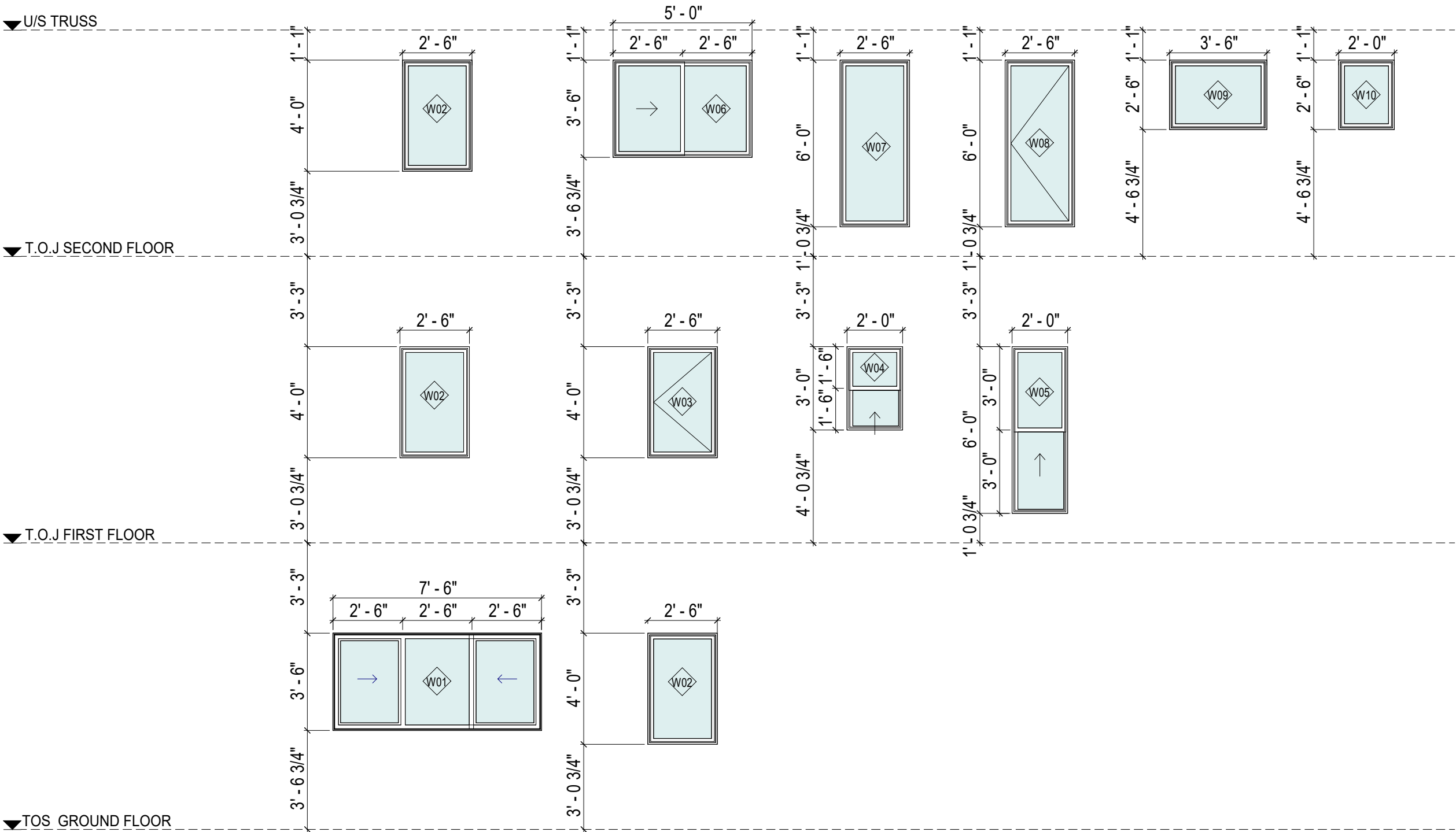
$$1/4" = 1'-0"$$

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING



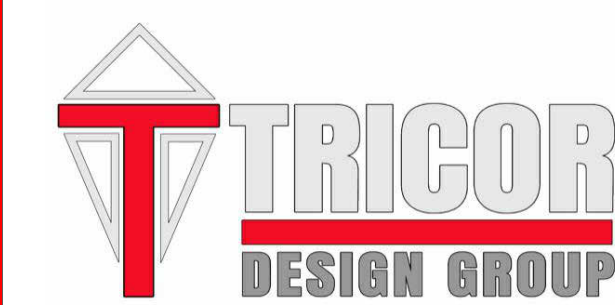
1 DOORS TYPES
1/4" = 1'-0"

W08 :WILL BE (WOCD).



2 WINDOWS TYPES
1/4" = 1'-0"

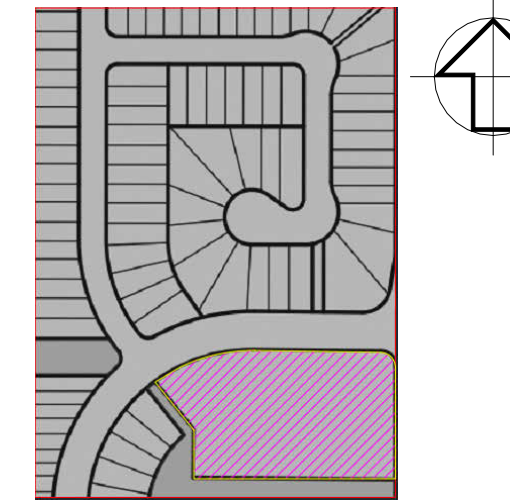
DESIGNED BY:



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KEY PLAN



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS AND WINDOWS TYPES
BUILDING (5)

DRAWING NO.

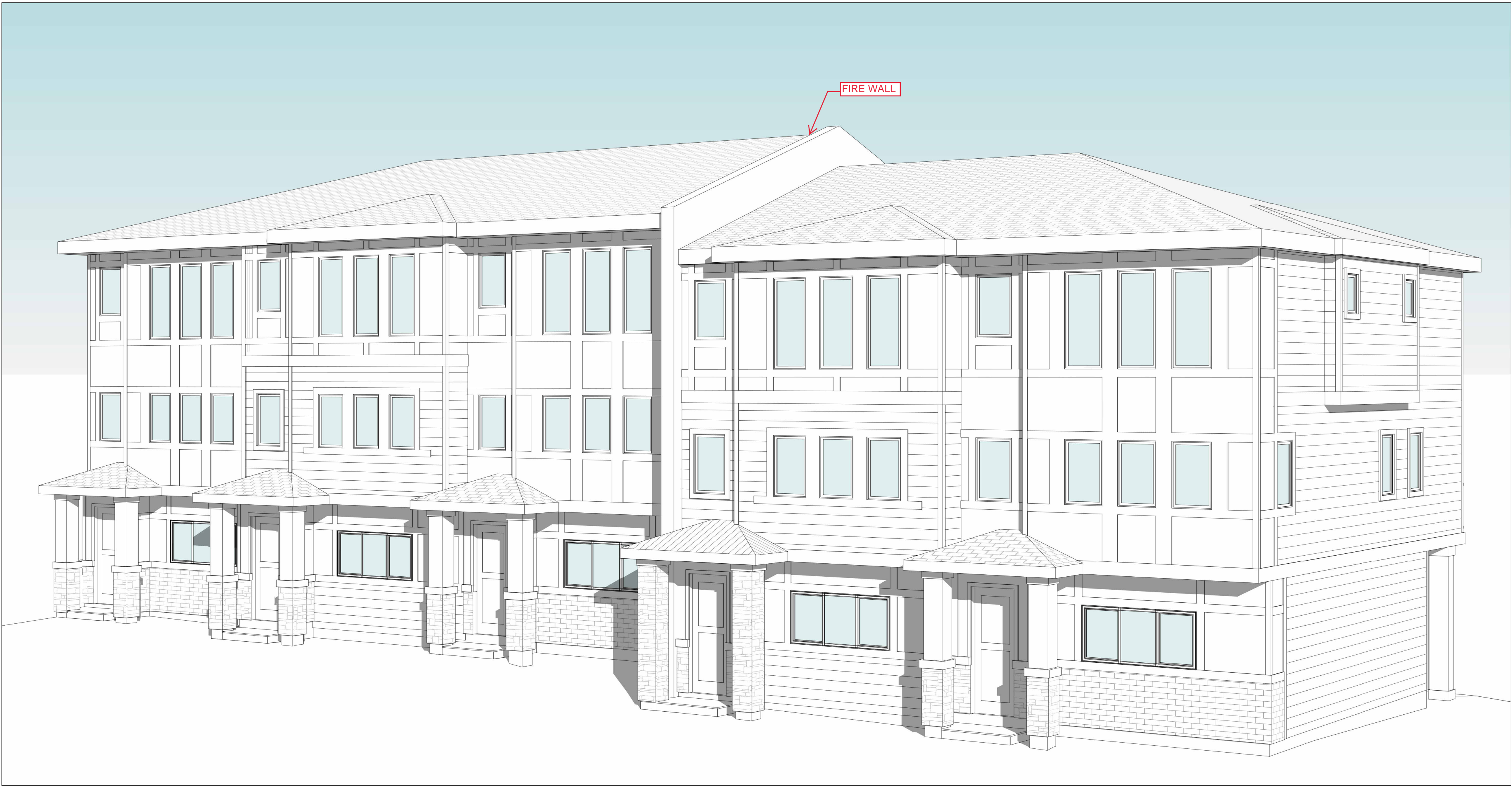
A-068

DRAWN BY: N.S.K./H.H.M./
H.E.Z./Z.H.H.H.M.M

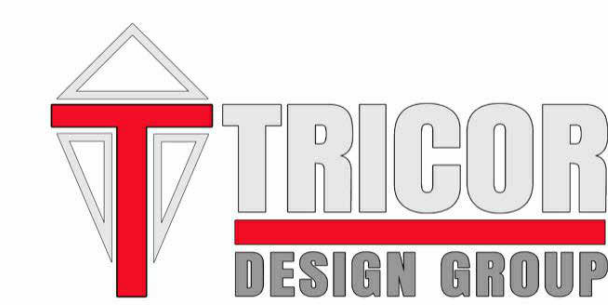
CHECKED BY: E.Z.H.A/A.M

DATE: 25_06_14

SCALE: 1/4" = 1'-0"



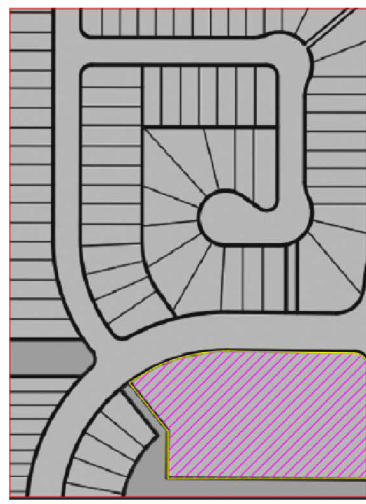
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING 6

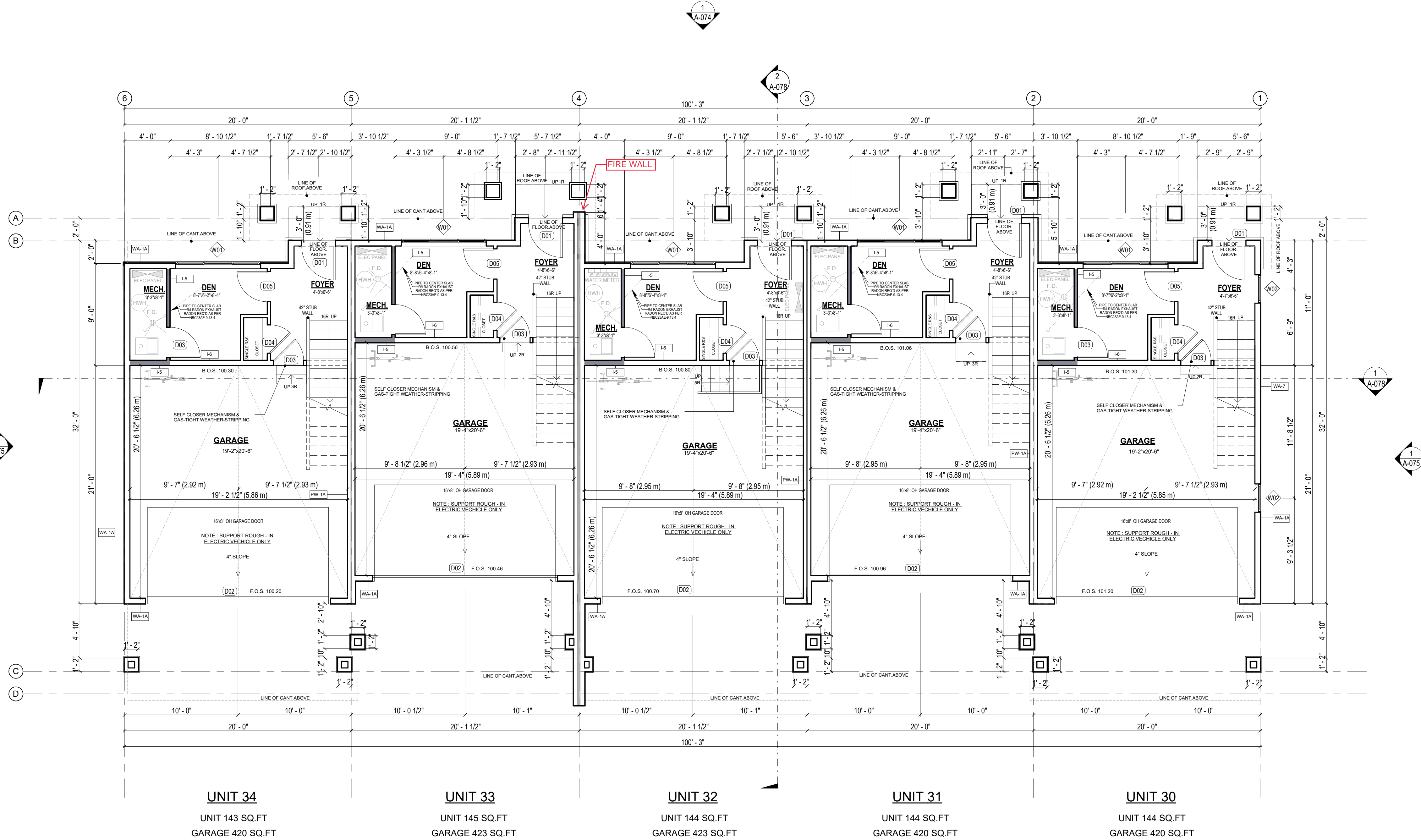
DRAWING NO.

A-069

DRAWN BY: N.S.K.H.S.S / H.I.Z.R.H.E/H.H.M.M. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE:

W8 :WILL BE (WOCD).
GROUND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") ,THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN
3/16" = 1'-0"

DESIGNED BY:

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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :
**LUXURIA HOMES
AIRDRIE ,AB**

PROJECT NAME & ADDRESS :
**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :
DEVELOPMENT PERMIT SET

DRAWING TITLE :
**GROUND FLOOR PLAN
BUILDING 6**

DRAWING NO.
A-070

DRAWN BY:
N.S.K/H.S.S./H.I.Z.R.H.E./H.H.M

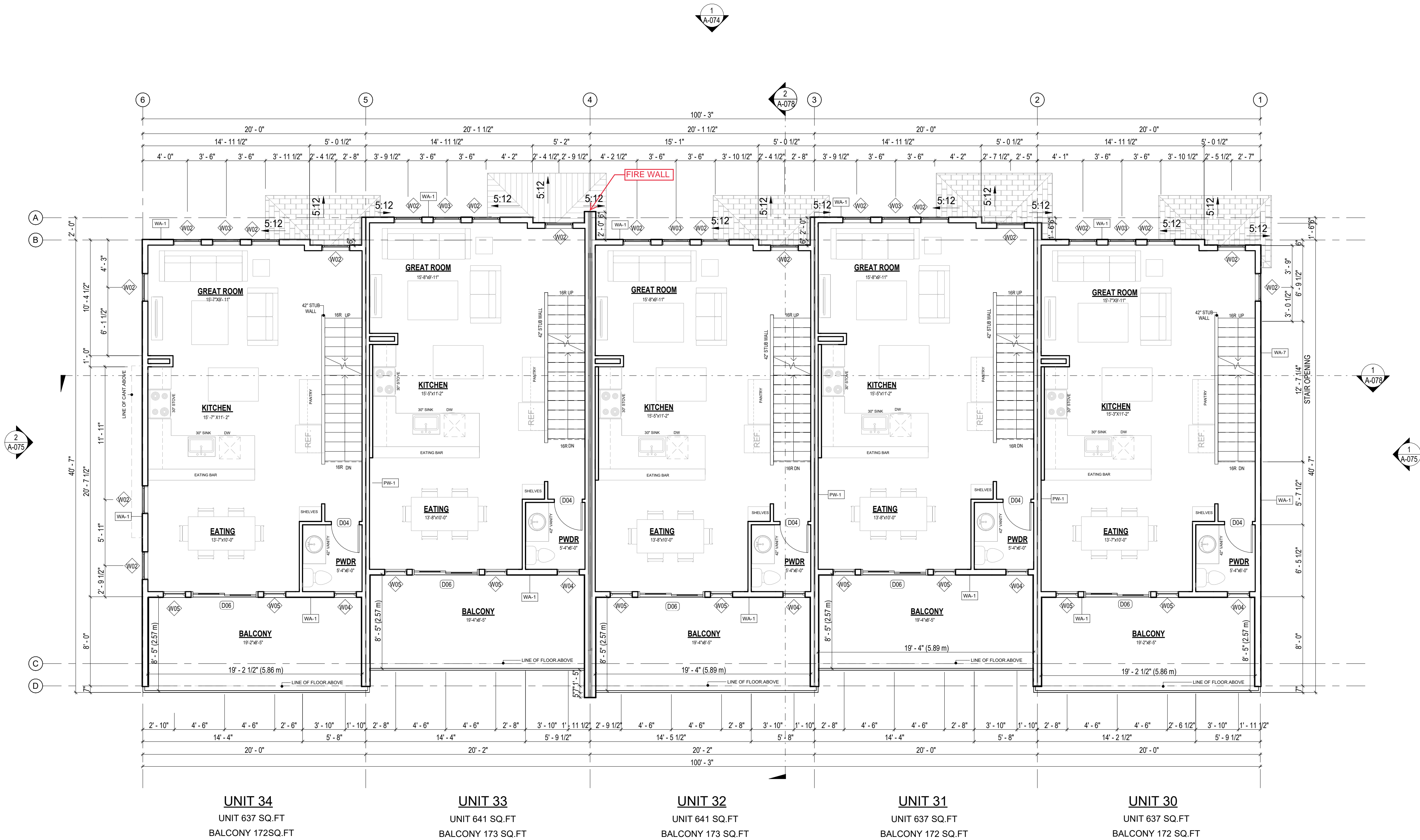
CHECKED BY:
E.Z.H.A/A.M

DATE:
25_06_14

SCALE: 3/16" = 1'-0"

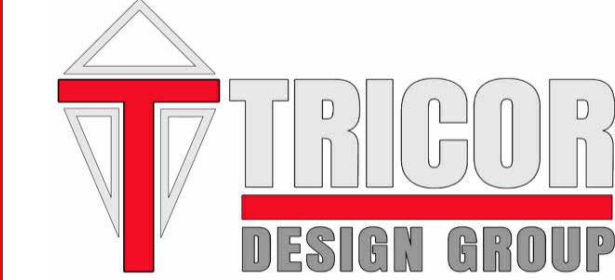
W8 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

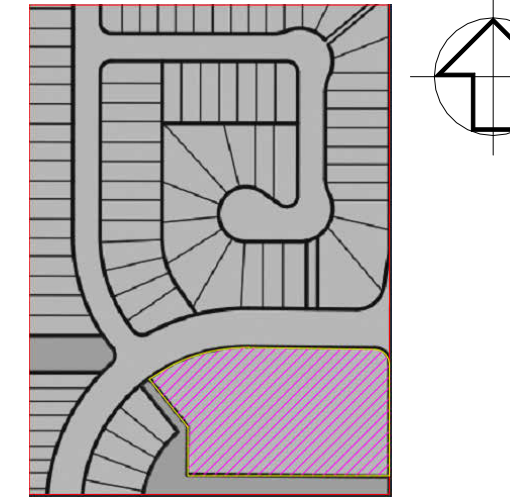
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E. E.Z.H.A
02	25_03_27	DTR	H.H.E.M. E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M. E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E. E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A. E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING 6

DRAWING NO.

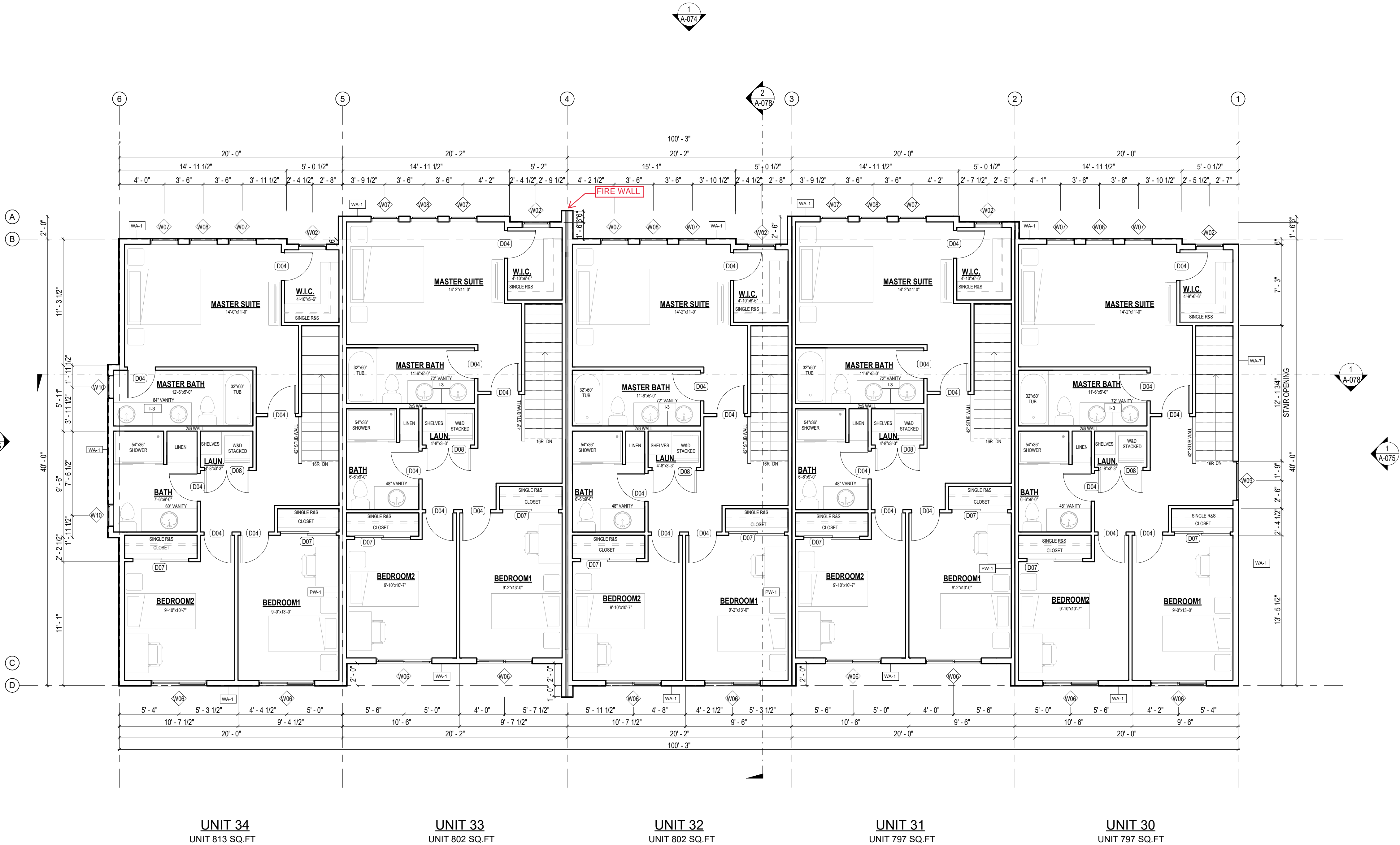
A-071

DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H.M.M.
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

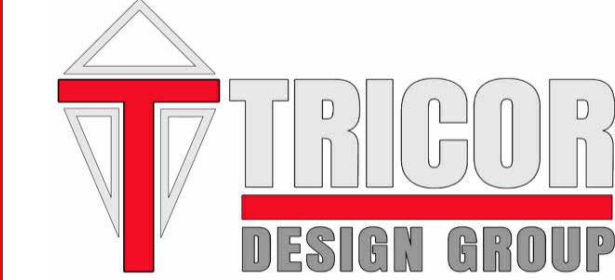
W8 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



1 SECOND FLOOR PLAN
3/16" = 1'-0"

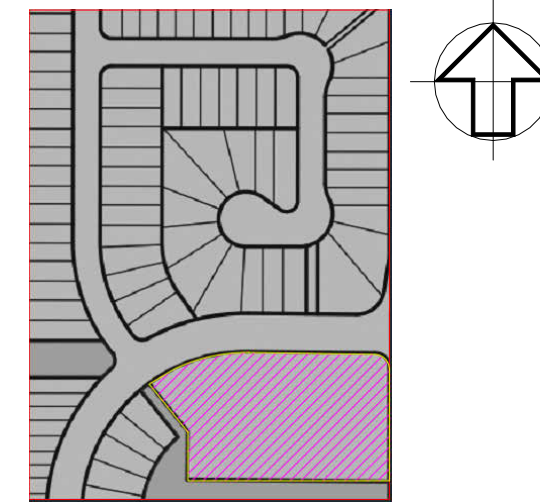
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202, 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY, AB. FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	N.S.M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

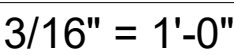
SECOND FLOOR PLAN
BUILDING 6

DRAWING NO.

A-072

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

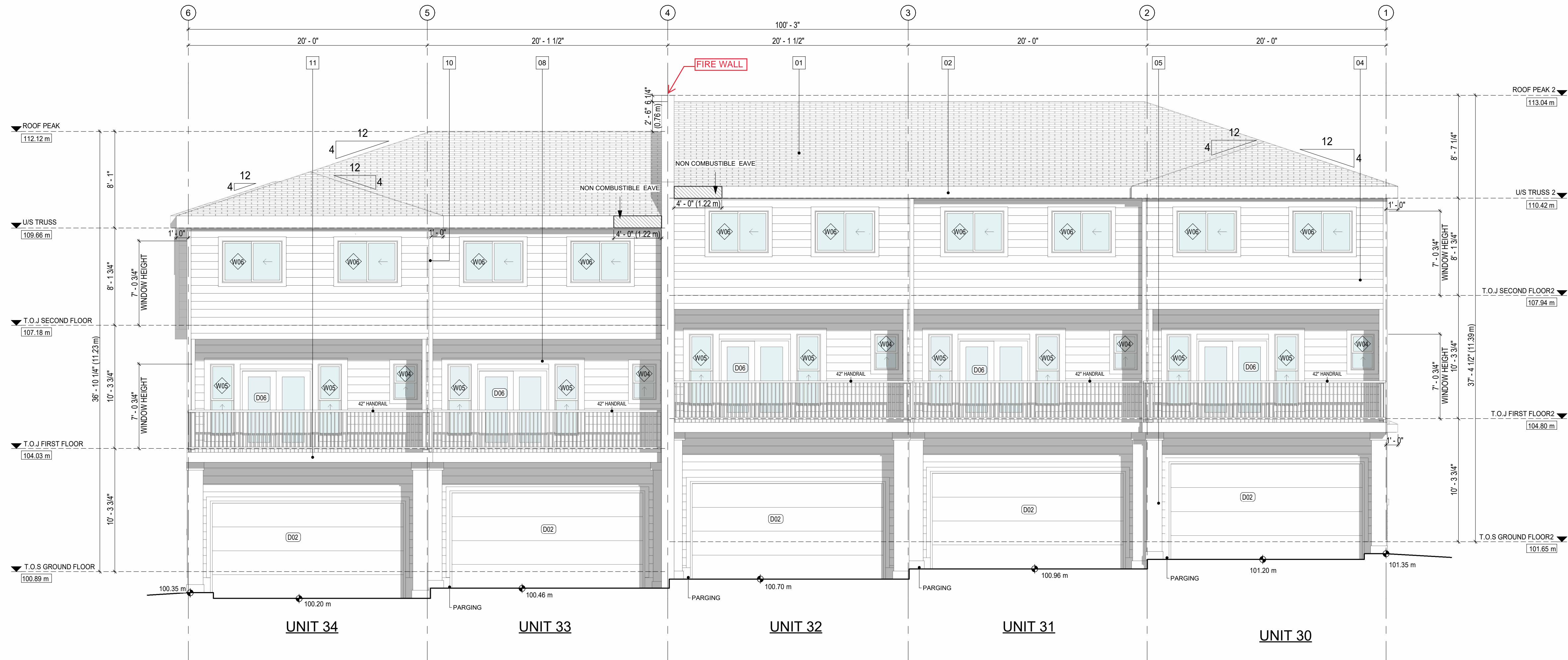


MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - VINYL
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"
20	STONE CAP

W08 :WILL BE (WOCD).
GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING



1 FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



2 REAR (NORTH)ELEVATION
3/16" = 1'-0"

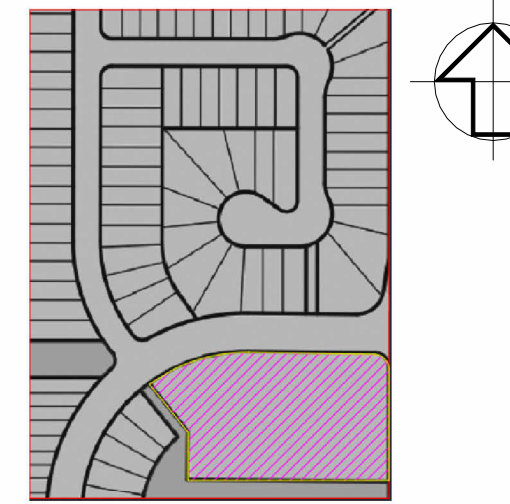
DESIGNED BY:



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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING 6

DRAWING NO.

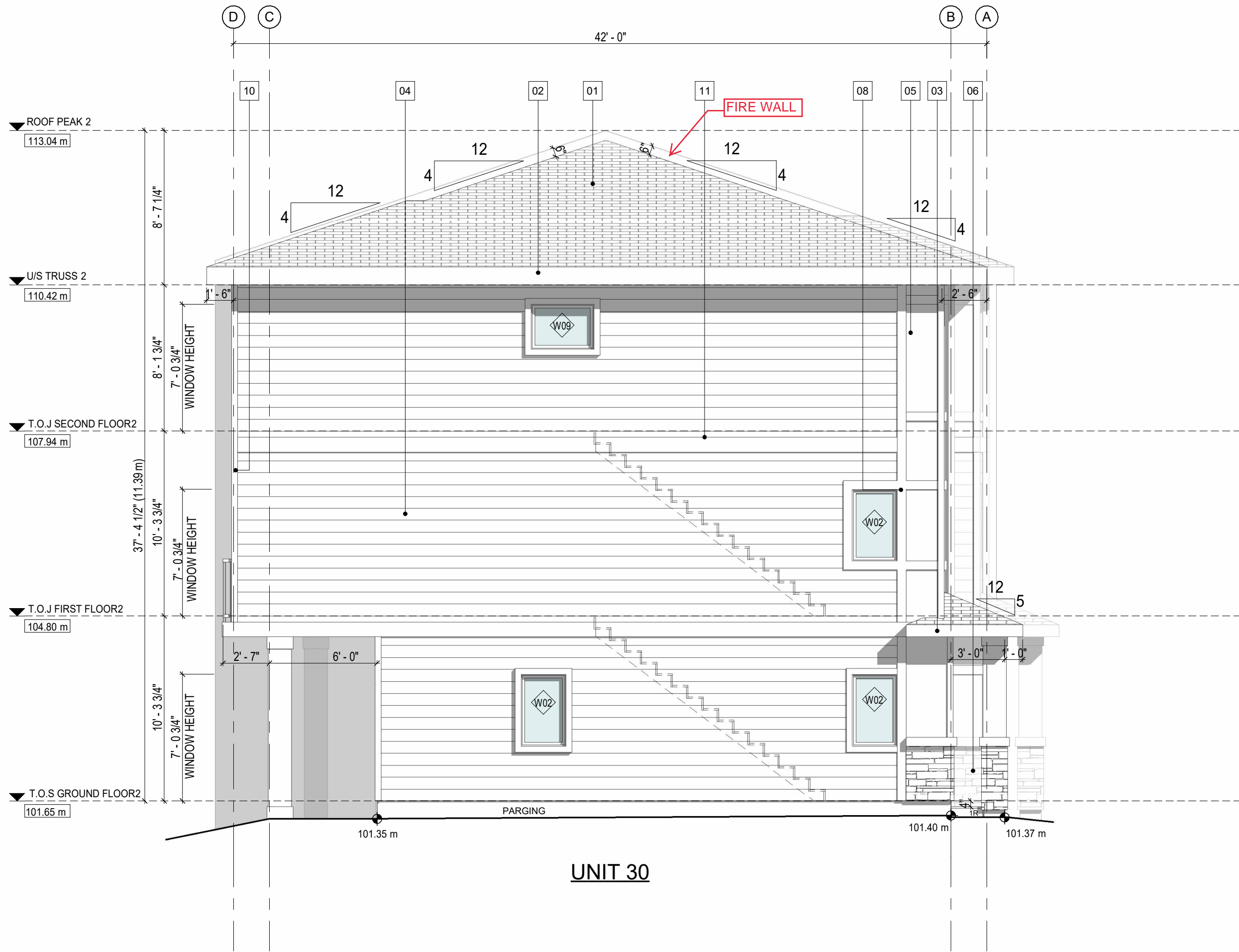
A-074

DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H.H.M.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

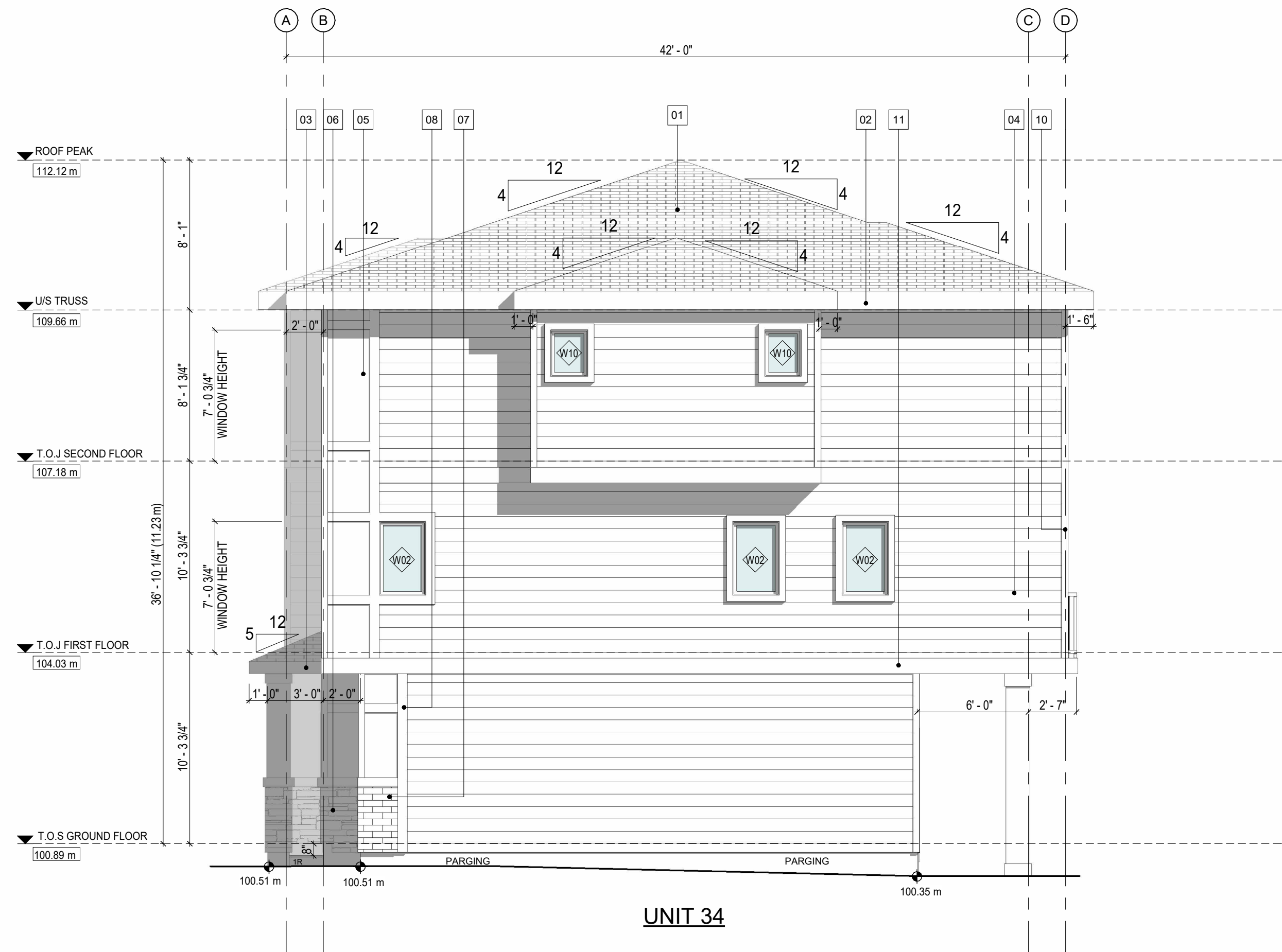
SCALE: 3/16" = 1'-0"

MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - VINYL
05	PANELS
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09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"
20	STONE CAP
W08 :WILL BE (WOCD).	

1 LEFT (WEST) ELEVATION
3/16" = 1'-0"



2 RIGHT (EAST) ELEVATION
3/16" = 1'-0"



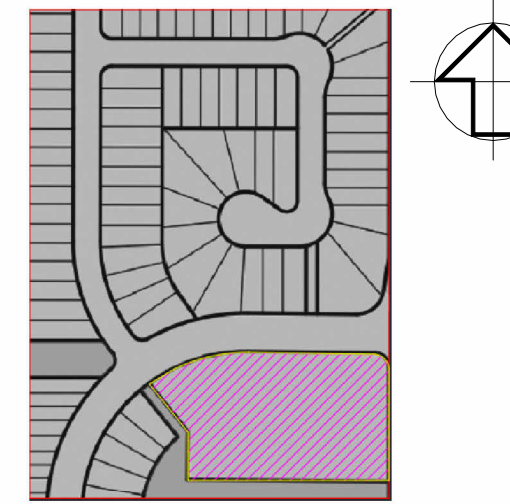
DESIGNED BY:



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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING 6

DRAWING NO.

A-075

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.M. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

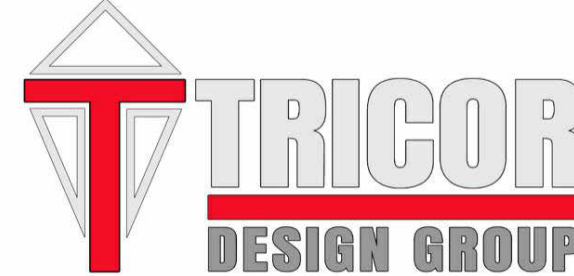
UNPROTECTED OPENINGS	UNIT 30		UNIT 31		UNIT 32		UNIT 33		UNIT 34	
CODE CHECK EXPOSED BUILDING FACE	586 SQ.FT	54.45 SQ.M	627 SQ.FT	58.27 SQ.M	574 SQ.FT	53.31 SQ.M	631 SQ.FT	58.85 SQ.M	590 SQ.FT	54.85 SQ.M
SETBACK	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	34.77%		29.7%		35.08%		29.61%		38.96%	
SQ.FT.OF ALLOWED OPENING	203.80 SQ.FT	18.93 SQ.M	186.27 SQ.FT	17.31 SQ.M	201.28 SQ.FT	18.70 SQ.M	186.94 SQ.FT	17.37 SQ.M	230.04 SQ.FT	21.37 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	101.90 SQ.FT	9.47 SQ.M	93.14 SQ.FT	8.65 SQ.M	100.64 SQ.FT	9.35 SQ.M	93.47 SQ.FT	8.68 SQ.M	115.02 SQ.FT	10.69 SQ.M



2 REAR ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 34		UNIT 33		UNIT 32		UNIT 31		UNIT 30	
CODE CHECK EXPOSED BUILDING FACE	633 SQ.FT	58.77 SQ.M	582 SQ.FT	54.10 SQ.M	668 SQ.FT	62.06 SQ.M	602 SQ.FT	55.92 SQ.M	617 SQ.FT	57.31 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	18' - 10"	5.74 m	19' - 10"	6.04 m	17' - 10"	5.43 m
PERCENTAGE OF ALLOWED OPENINGS	45.35%		51.48%		48.09%		55.09%		45.91%	
SQ.FT.OF ALLOWED OPENING	286.86 SQ.FT	26.65 SQ.M	299.76 SQ.FT	27.85 SQ.M	321.27 SQ.FT	29.85 SQ.M	331.60 SQ.FT	30.81 SQ.M	283.20 SQ.FT	26.31 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	143.43 SQ.FT	13.33 SQ.M	149.88 SQ.FT	13.92 SQ.M	160.63 SQ.FT	14.92 SQ.M	165.80 SQ.FT	15.40 SQ.M	141.60 SQ.FT	13.16 SQ.M

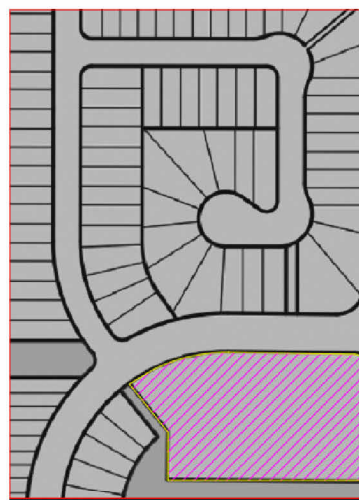
DESIGNED BY:



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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (1)
BUILDING 6

DRAWING NO.

A-076

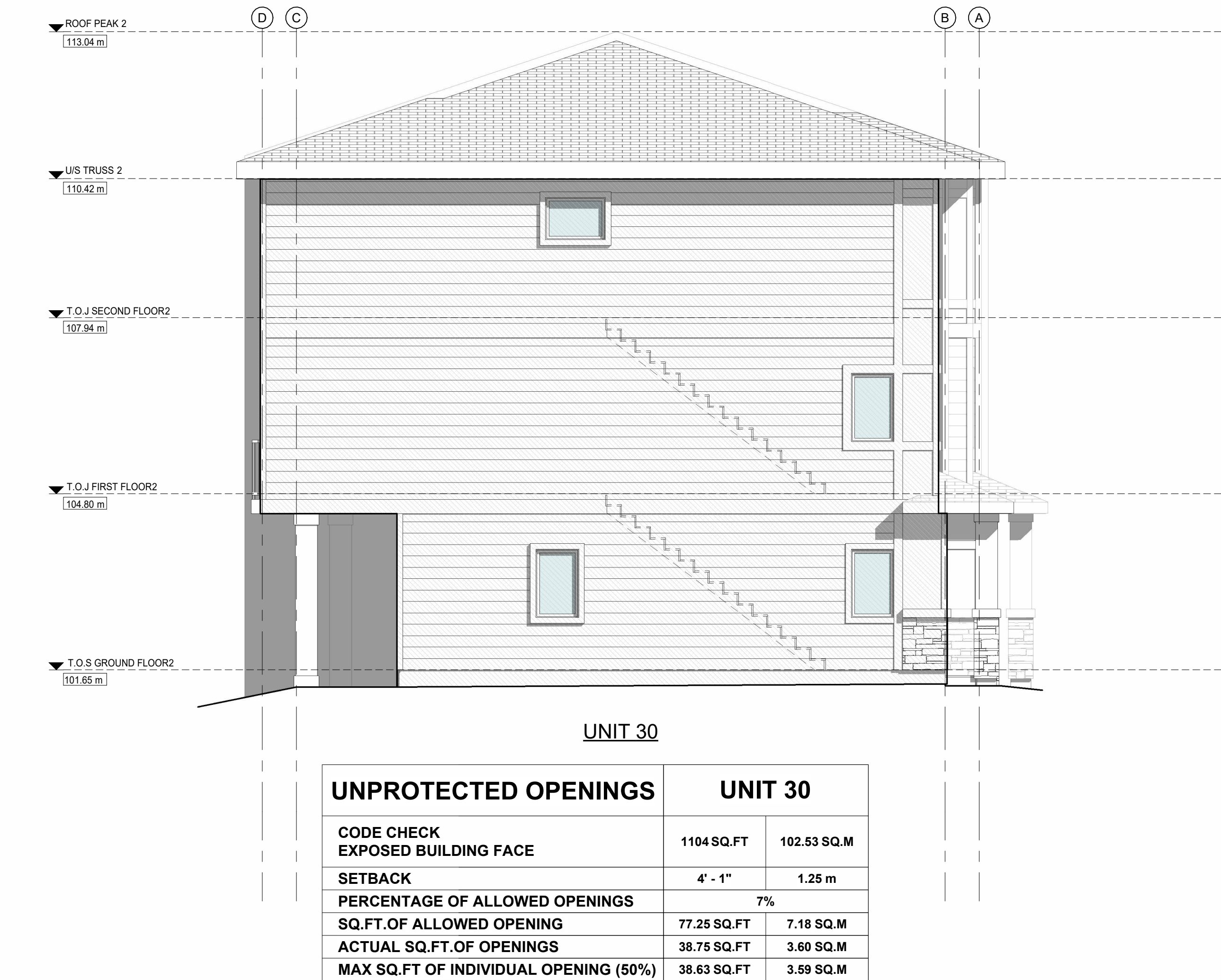
DRAWN BY:
N.S.K/H.S.S./
H.I.Z.R.H.E/H.H.M

CHECKED BY:
E.Z.H.A/A.M

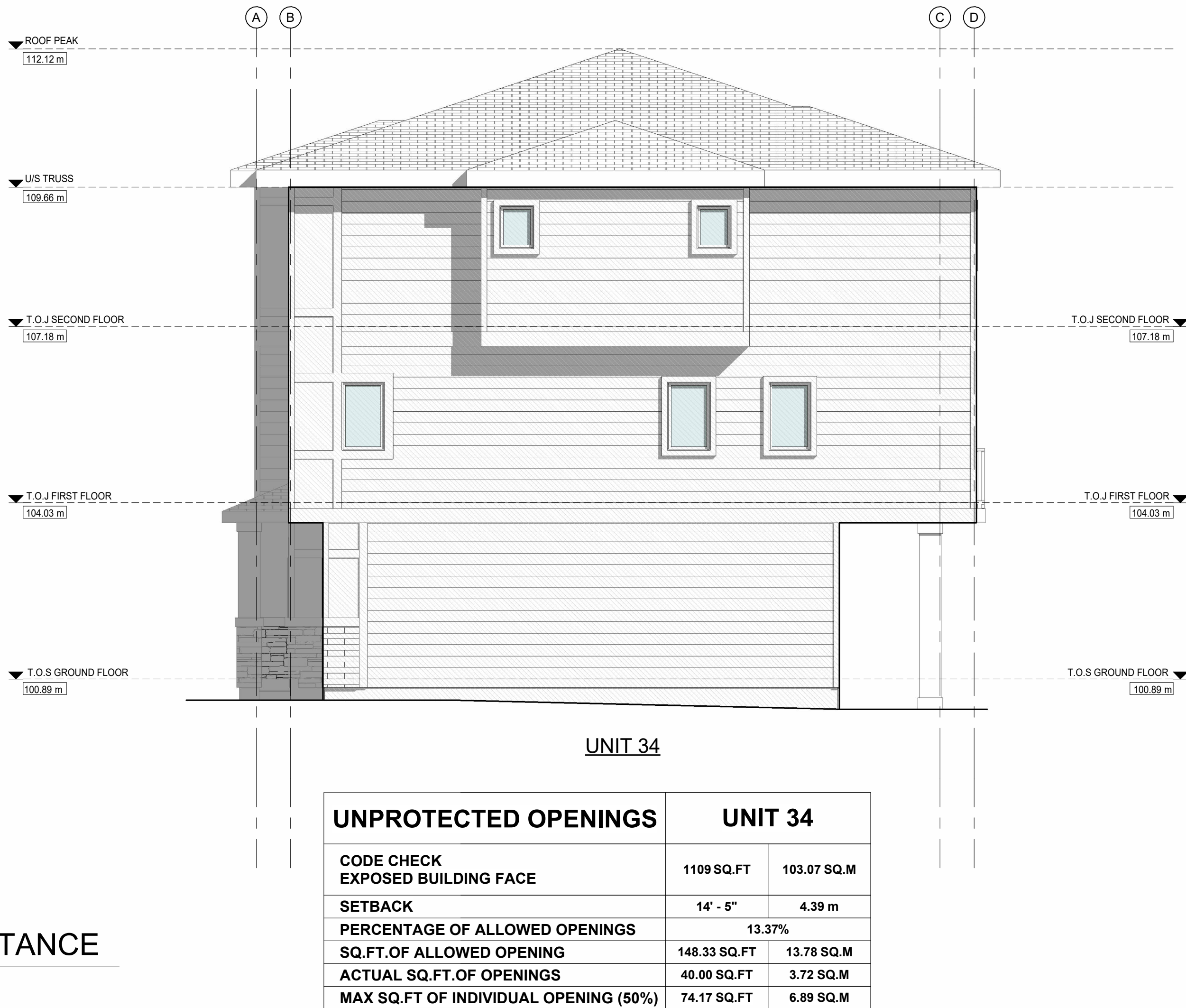
DATE:
25_06_14

SCALE: 3/16" = 1'-0"

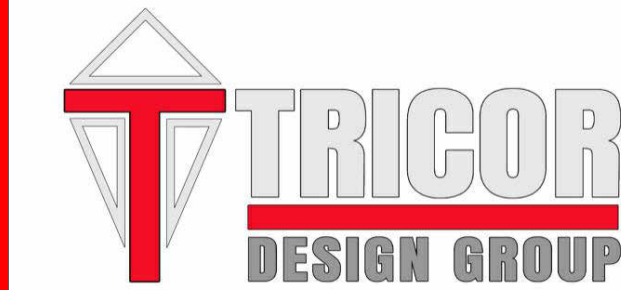
1 LEFT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



2 RIGHT (EAST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"



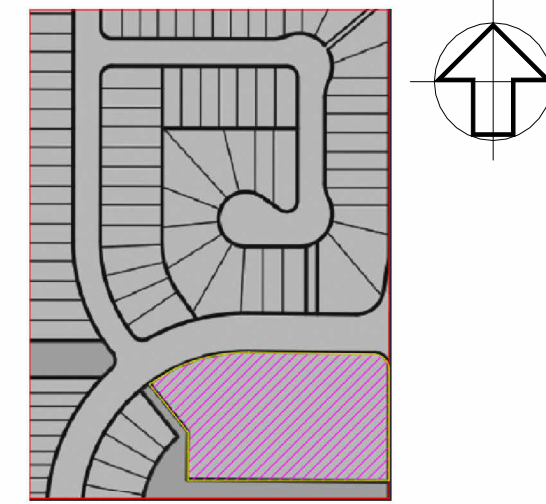
DESIGNED BY:



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tricordesigns.com

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02	25_03_27	DTR	H.H.E.M	E.Z.H.A./A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A./A.M

ISSUES:

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THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (2)
BUILDING 6

DRAWING NO.

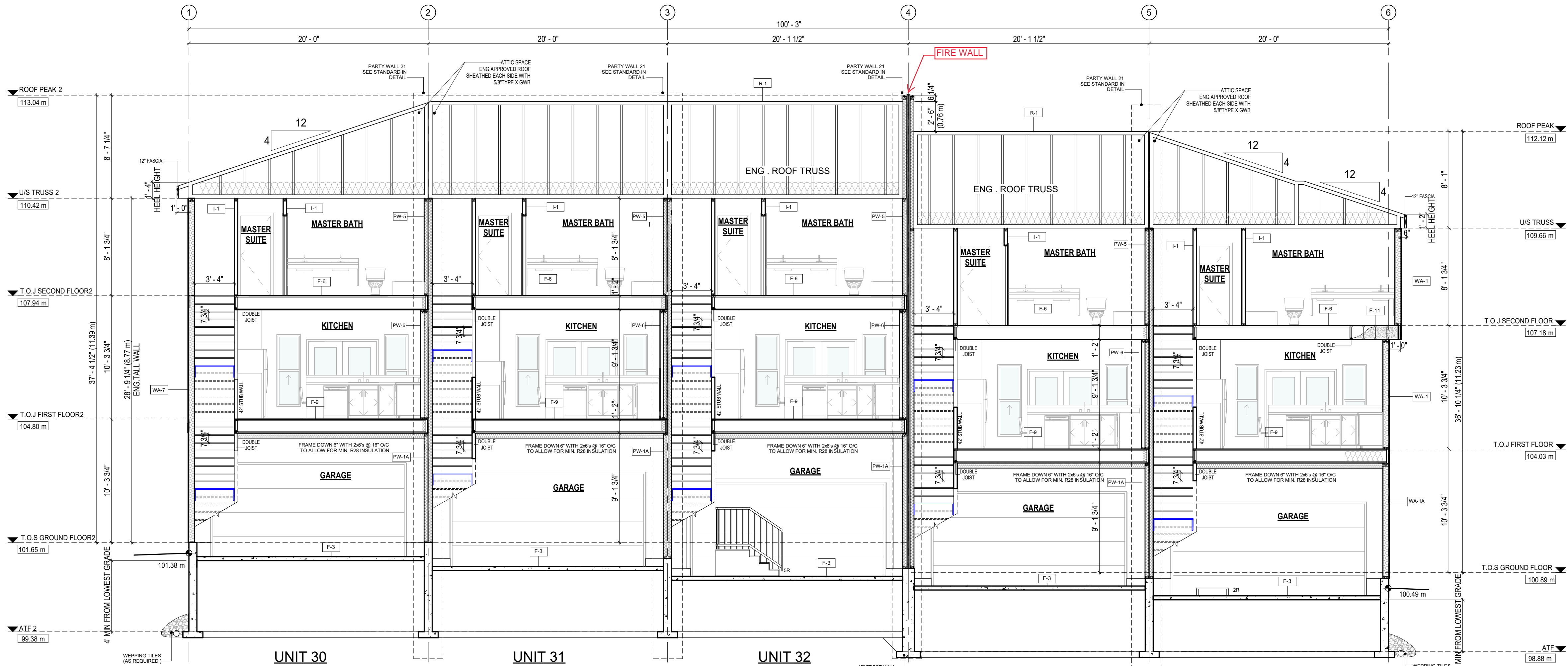
A-077

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.M
CHECKED BY: E.Z.H.A./A.M
DATE: 25_06_14

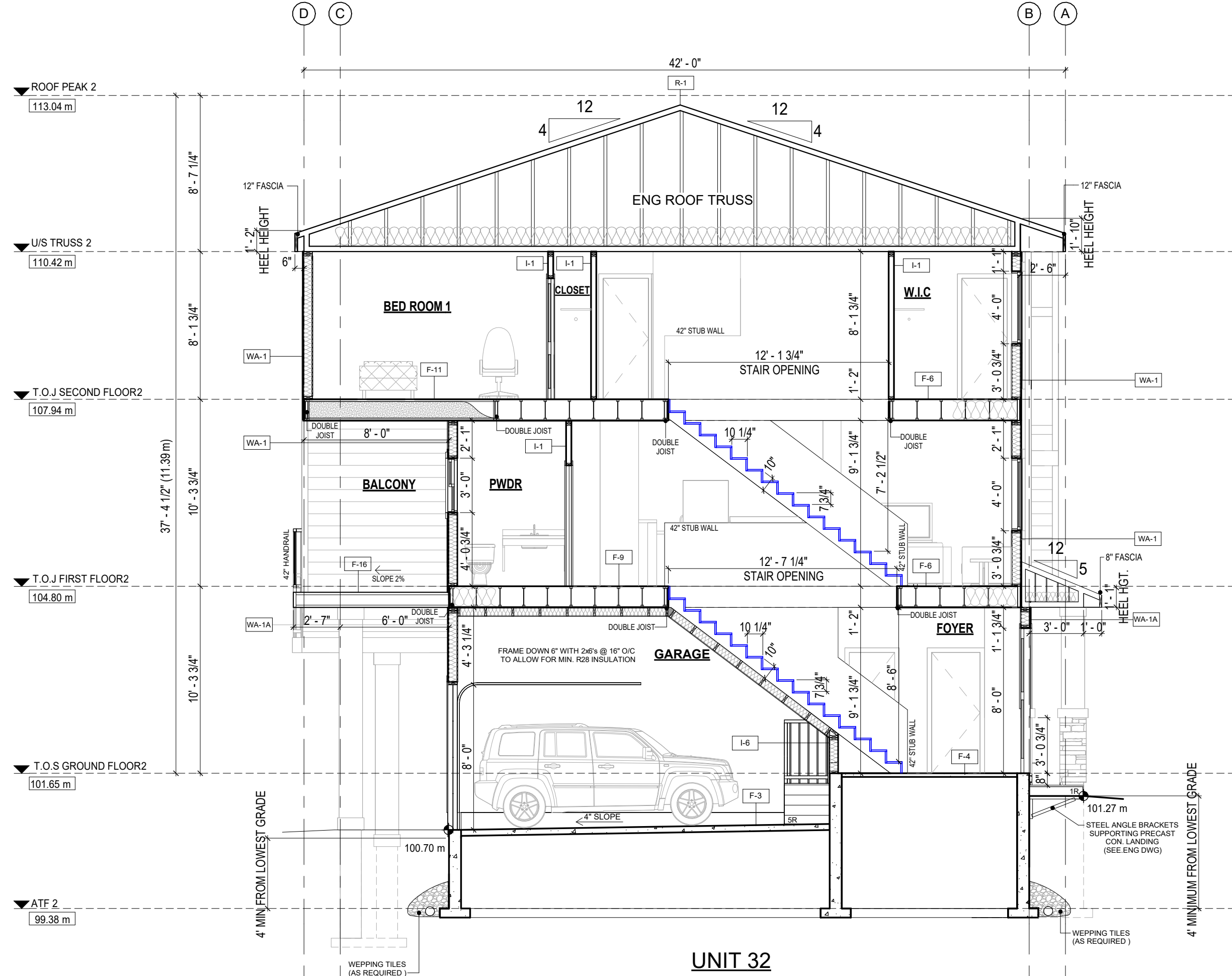
SCALE: 3/16" = 1'-0"

NOTES:
" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM
LOWEST GRADE

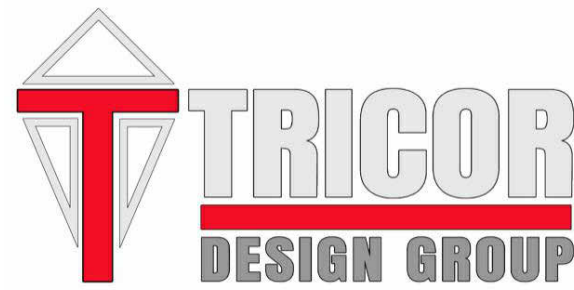


1 SECTION 1-1
3/16" = 1'-0"



2 SECTION 2-2
3/16" = 1'-0"

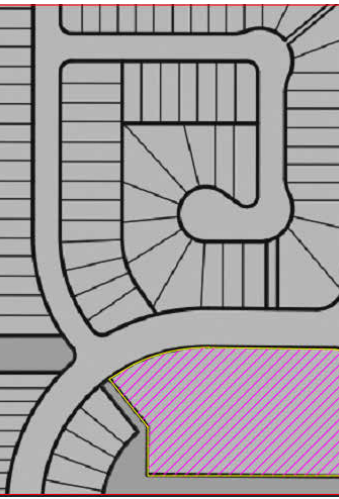
DESIGNED BY:



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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

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01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

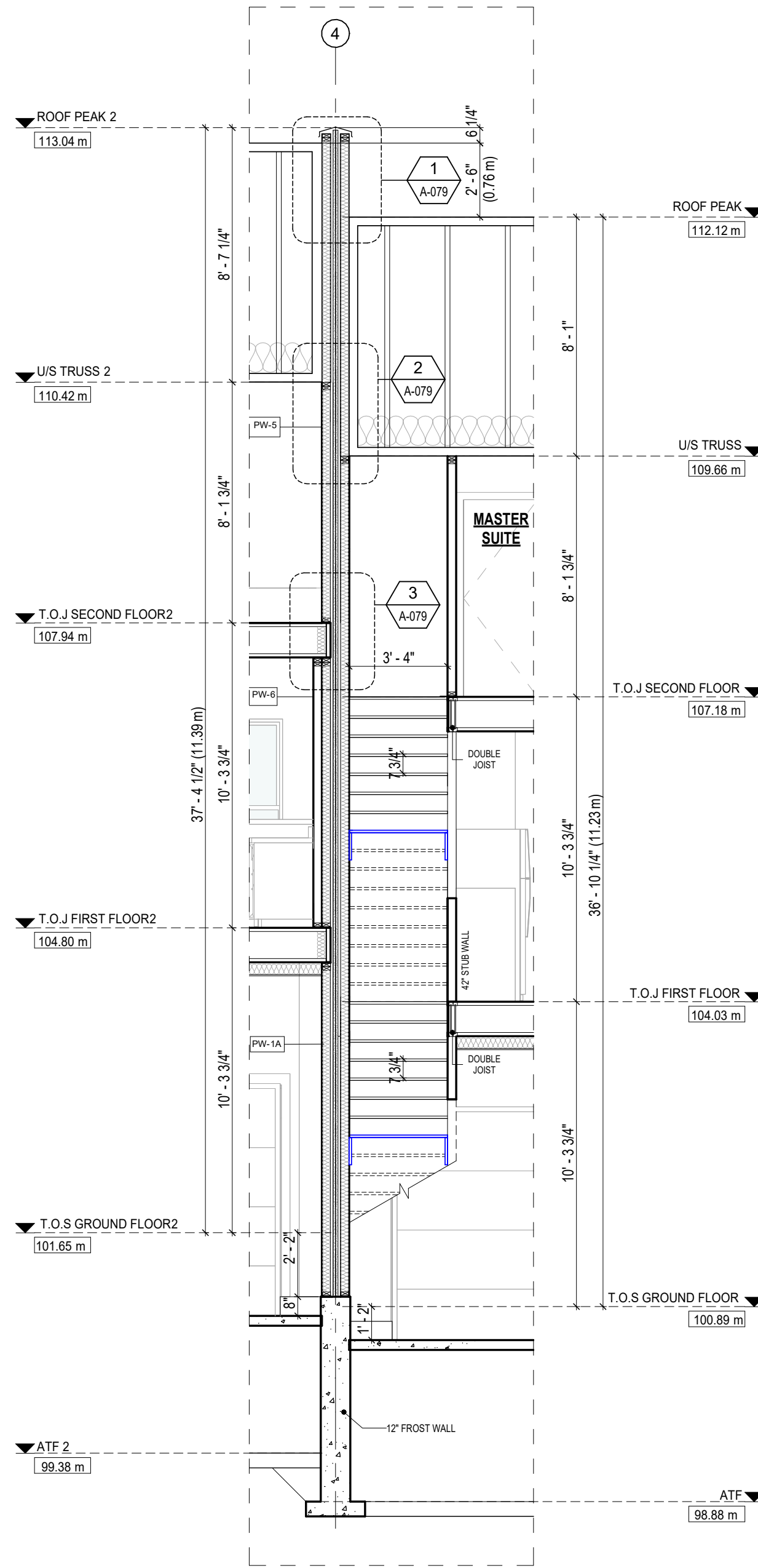
BUILDING SECTIONS (1)
BUILDING 6

DRAWING NO.

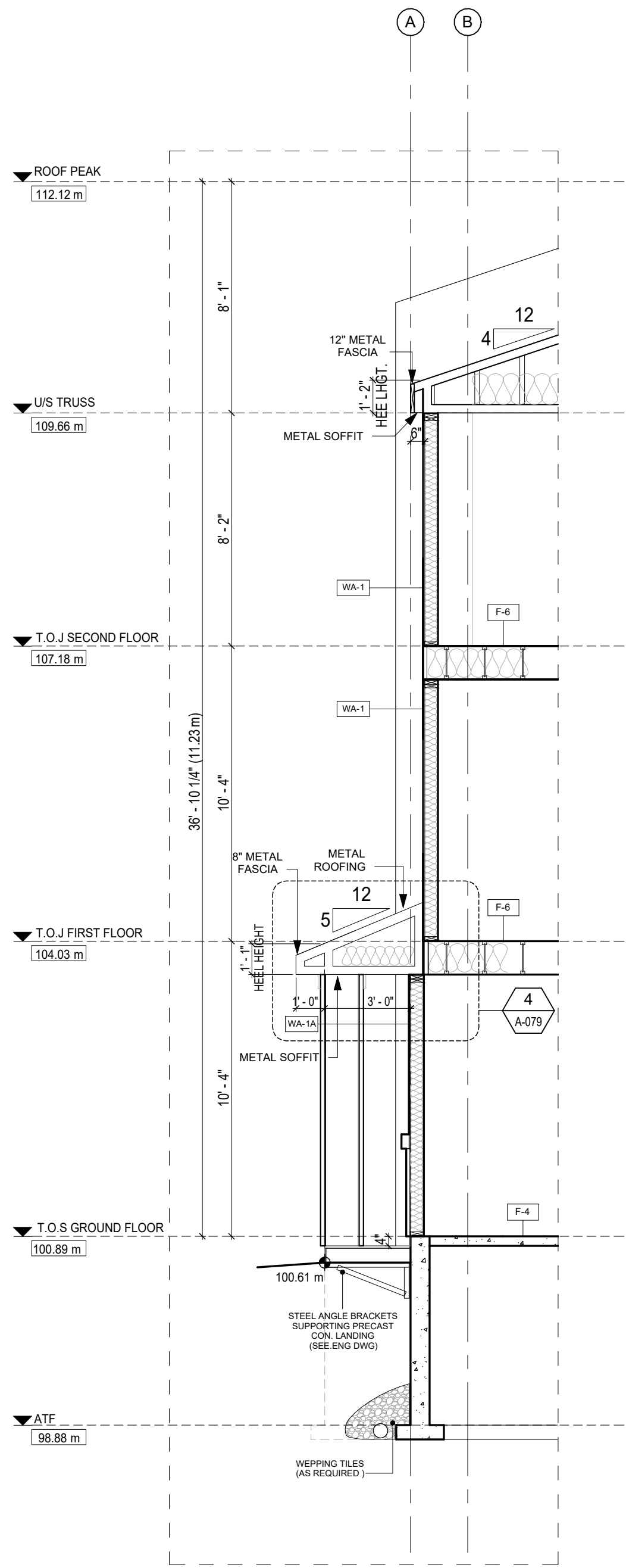
A-078

DRAWN BY: N.S.K.H.S./H.I.Z.R.H.E./H.H.M. CHECKED BY: E.Z.H.A/A.M. DATE: 25_06_14

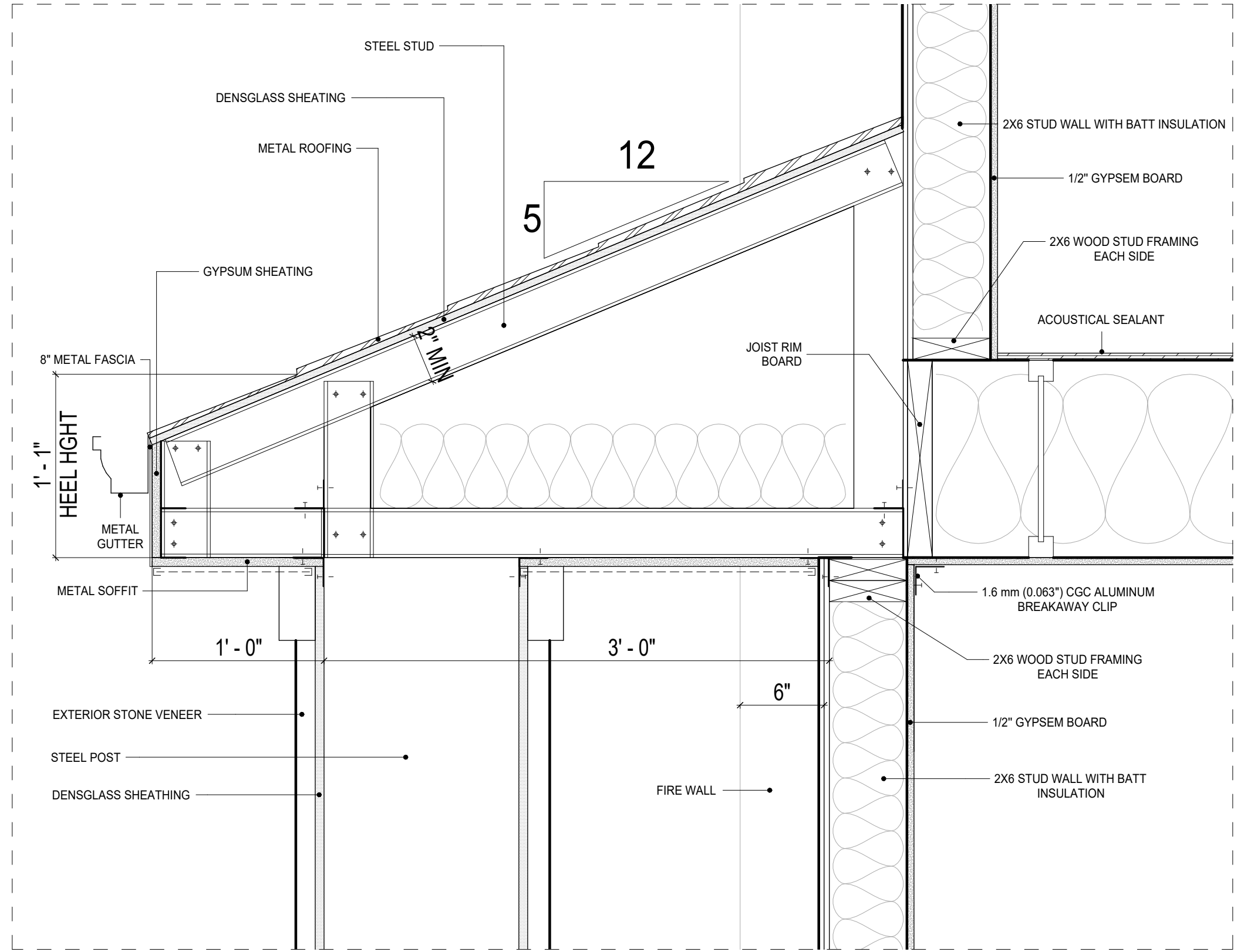
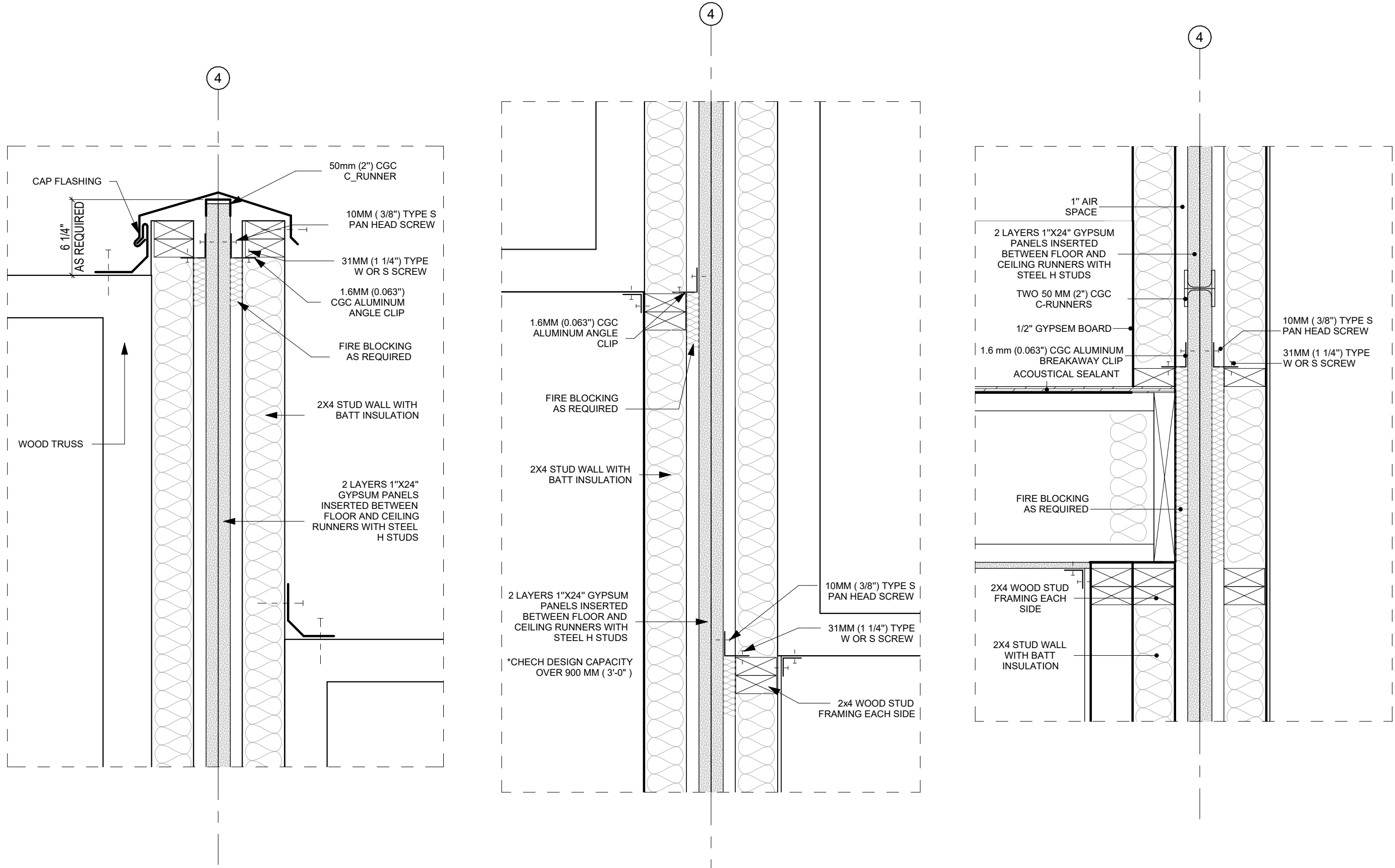
SCALE: 3/16" = 1'-0"



FIRE WALL SECTION
1/4" = 1'-0"

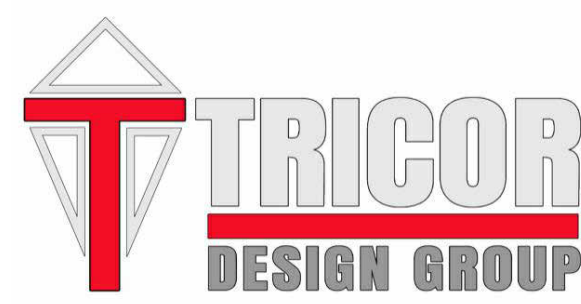


ENTRANCE WALL SECTION
1/4" = 1'-0"



DETAIL 4
1 1/2" = 1'-0"

DESIGNED BY:

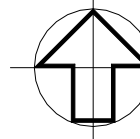


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T2E 6K3

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION DETAILS
BUILDING 6

DRAWING NO.

A-079

DRAWN BY:

CHECKED BY:

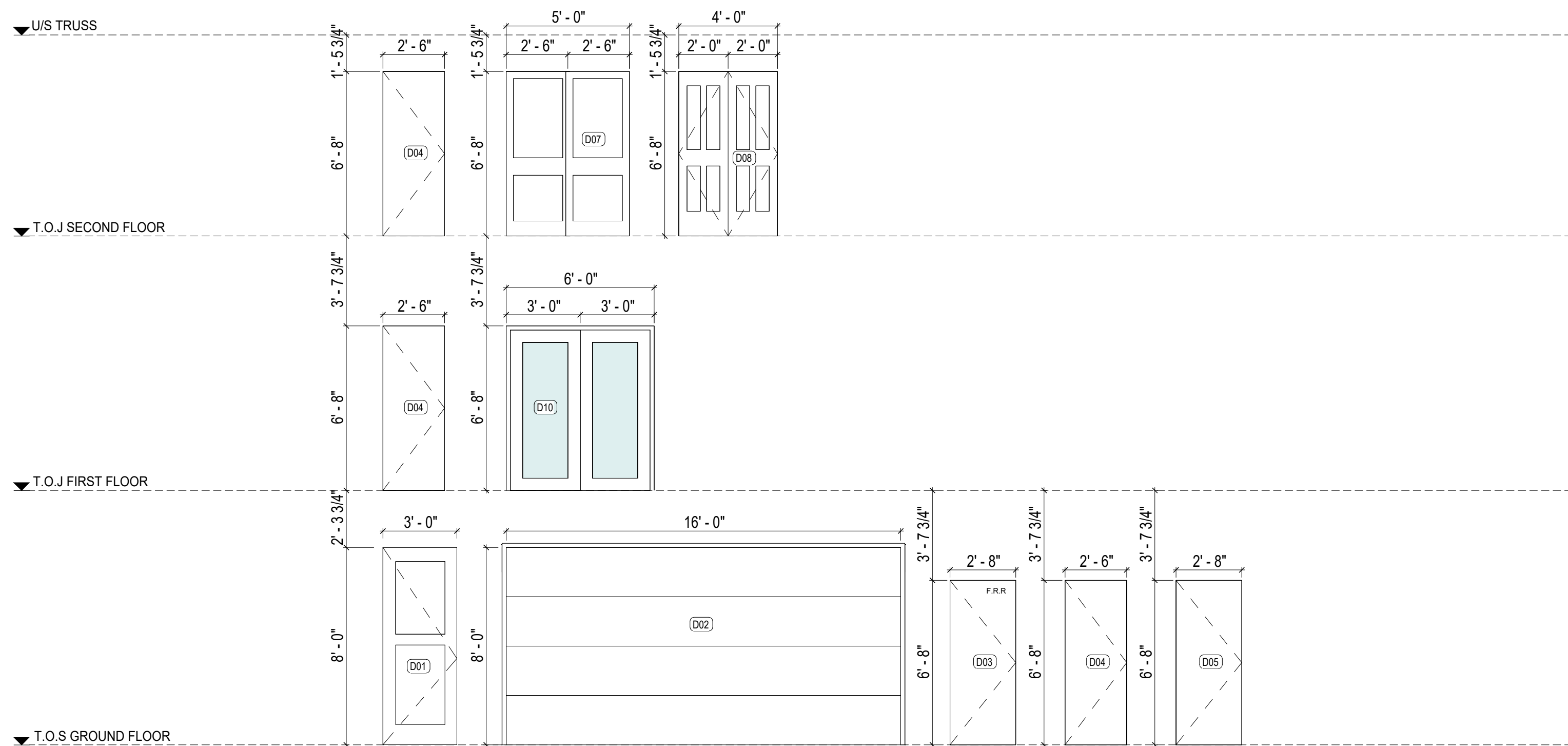
DATE:

SCALE: As indicated

GARAGE DOOR MODEL:
CLOPAYMODERN STEEL W/FULL
GLAZING AND VERTICAL
STACKGLAZING

1 DOORS TYPES

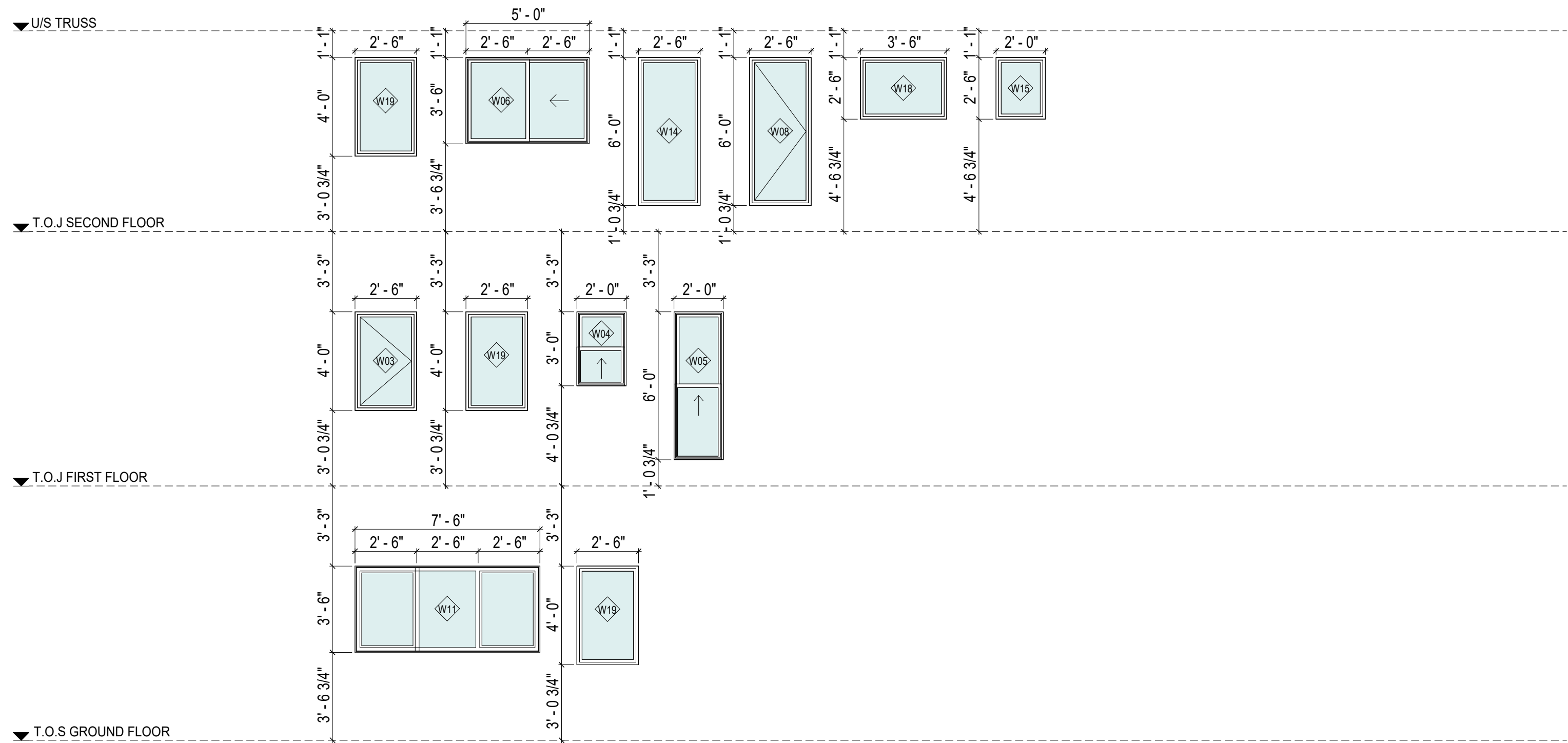
1/4" = 1'-0"



W08 :WILL BE (WOOD).

2 WINDOWS TYPES

1/4" = 1'-0"



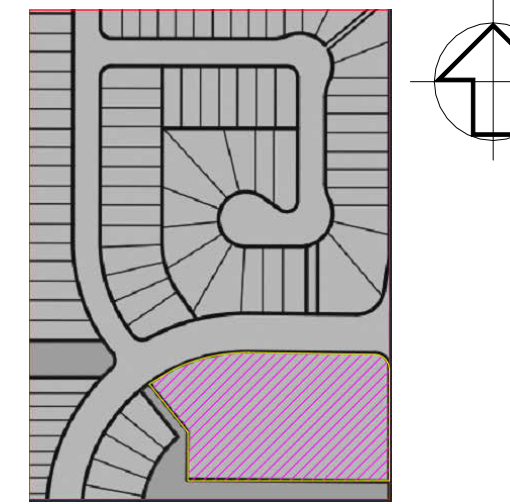
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S. /H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. /H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

**LUXURIA HOMES
AIRDRIE ,AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**WINDOWS & DOORS TYPES
BUILDING 6**

DRAWING NO.

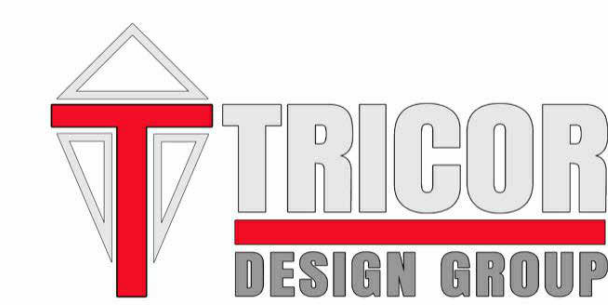
A-080

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.M.
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 1/4" = 1'-0"



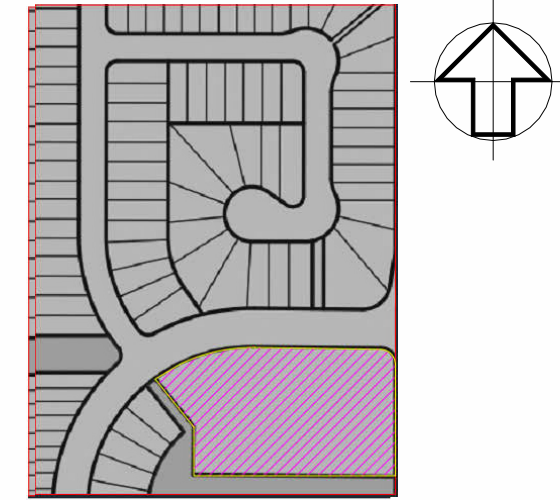
DESIGNED BY:



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REVISIONS:

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02	25_03_24	DTR	H.HMM/ M.R	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.HH.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING (7)

DRAWING NO.

A-081

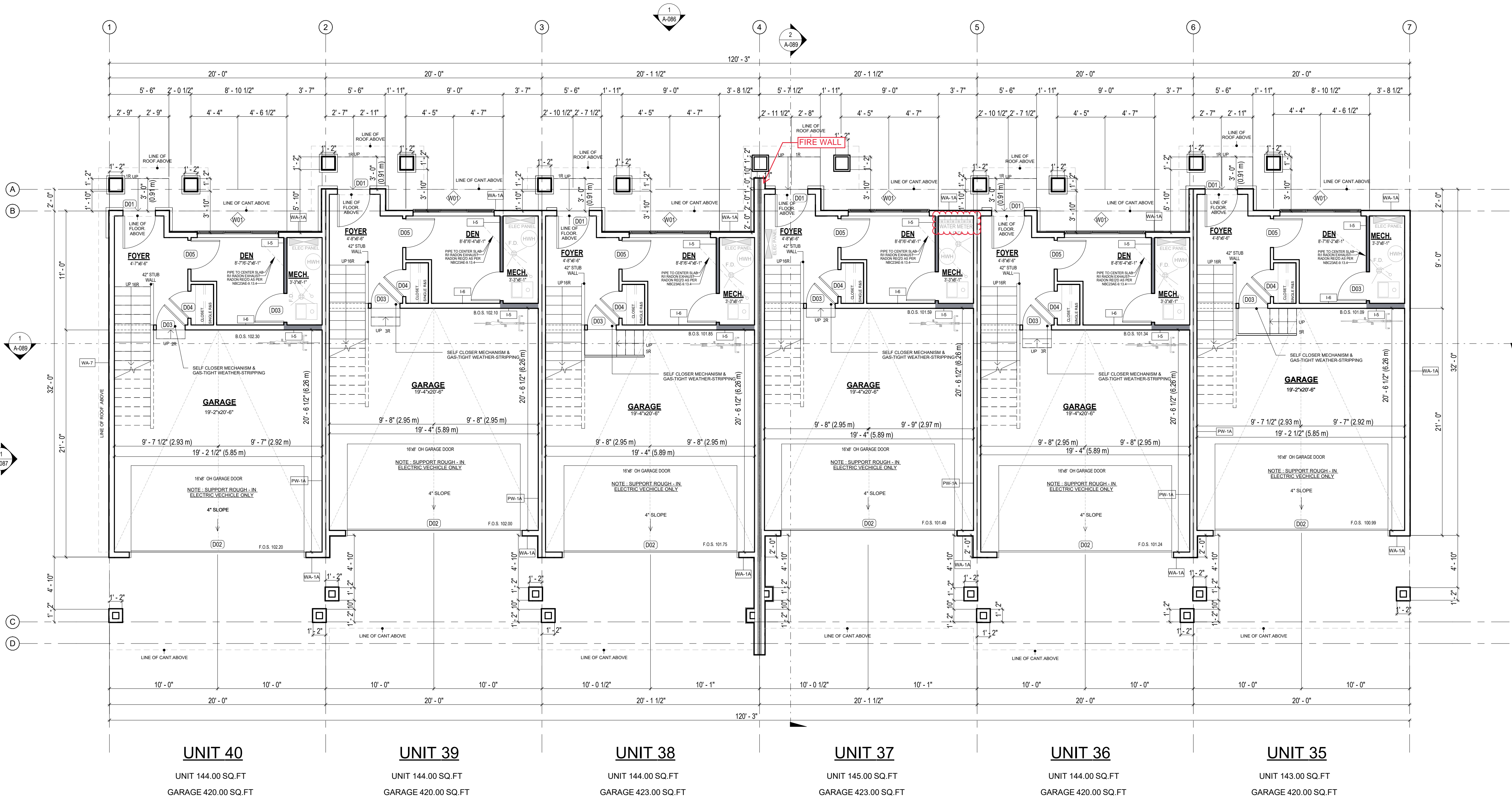
DRAWN BY: N.SHM/MKH
H.E/M.M.A.A
CHECKED BY: E.ZH.A/A.M
DATE: 25_06_14

SCALE:

W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN SILL HEIGHT
AND OUTSIDE GRADE IS MORE
THAN (72") , AND THE OPENING
PORTION WINDOW IS LESS THAN
(36") ,THAT WILL ALLOW THE
WINDOW ONLY TO OPEN TO (4")

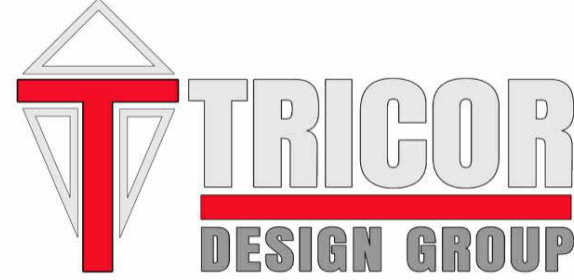
GARAGE DOOR MODEL:CLOPAY
MODERN STEEL WLFULL GLAZING
AND VERTICAL STACK



GROUND FLOOR PLAN

1
3/16" = 1'-0"

DESIGNED BY:

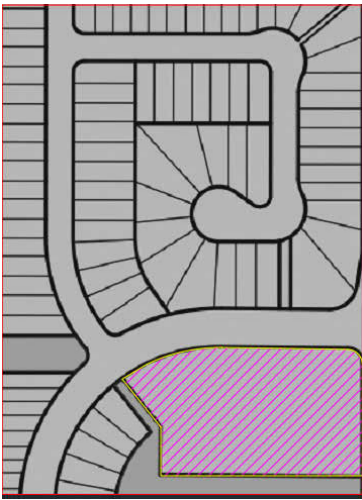


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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	N.H.M.M./M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN
BUILDING (7)

DRAWING NO.

A-082

DRAWN BY:

CHECKED BY:

DATE:

N.S.H.M./K.H.H.E.

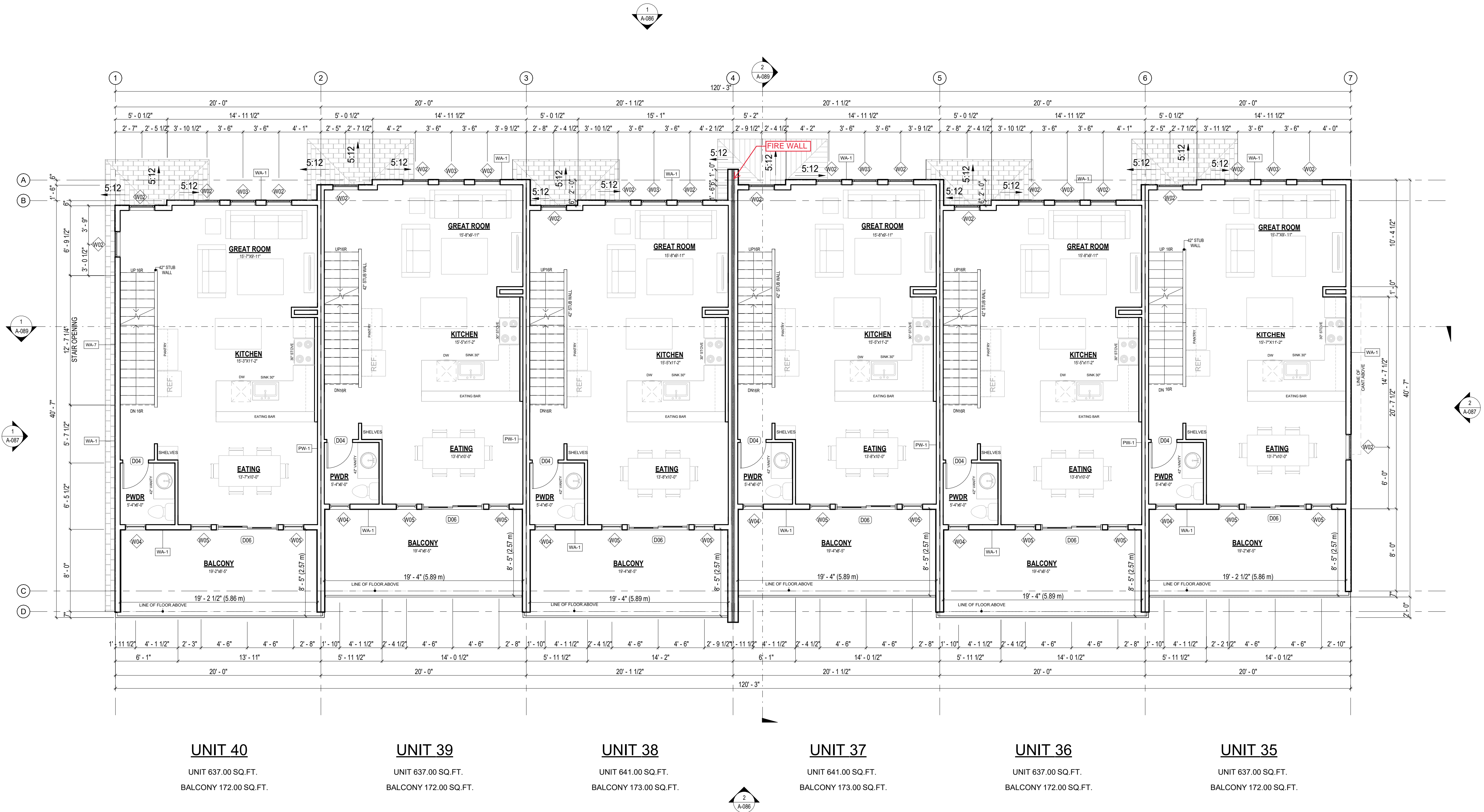
E.Z.H.A./A.M.

25_06_14

SCALE: 3/16" = 1'-0"

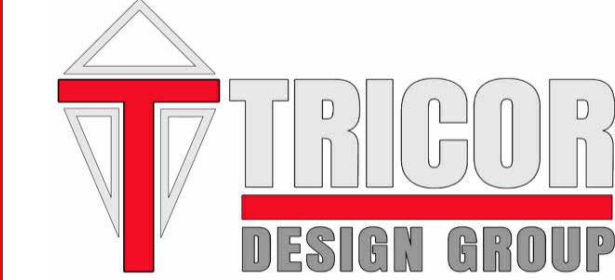
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN
3/16" = 1'-0"

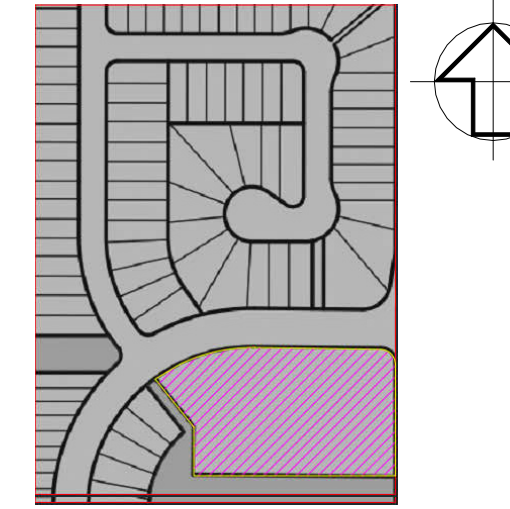
DESIGNED BY:



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KEY PLAN



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02	25_03_24	DTR	H.H.M.M/ M.R.	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN
BUILDING (7)

DRAWING NO.

A-083

DRAWN BY: N.SHM/MKH H.E/M.M/A.A
CHECKED BY: E.ZH.A/A.M
DATE: 25_05_14

SCALE: 3/16" = 1'-0"

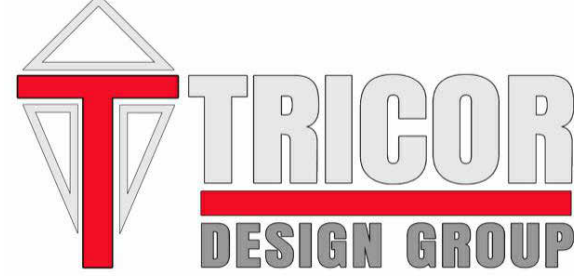
W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN TOJ AND SILL
HEIGHT IS LESS THAN (36") , THAT
WILL ALLOW THE WINDOW ONLY
TO OPEN TO (4")



1 SECOND FLOOR PLAN
3/16" = 1'-0"

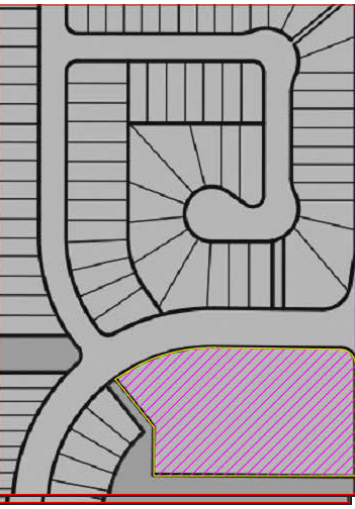
DESIGNED BY:



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T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

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02	25_03_24	DTR	H.HMM/ M.R.	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.HH.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN
BUILDING (7)

DRAWING NO.

A-084

DRAWN BY: N.SHM/MKH
H.E/M.M.A/A

CHECKED BY: E.ZH.A/A.M

DATE: 25_05_14

SCALE: 3/16" = 1'-0"

MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGE DOOR MODEL:CLOPAY
MODERN STEEL WLFULL GLAZING
AND VERTICAL STACK



1 FRONT (NORTH)ELEVATION

3/16" = 1'-0"



2 REAR(SOUTH) ELEVATION

3/16" = 1'-0"

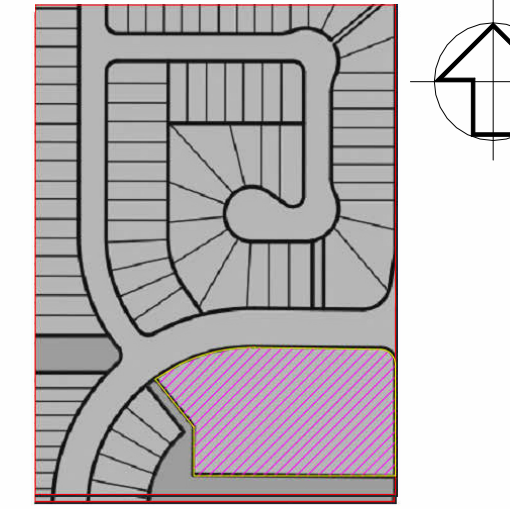
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.H.E	E.ZHA
02	25_03_24	DTR	N.HMM/ M.R	E.ZHA/A/M
03	25_05_14	DTR 2	A.A	E.ZHA/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZHA
02	25_04_30	BUILDING PERMIT	A.A	E.ZHA

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS
BUILDING (7)

DRAWING NO.

A-086

DRAWN BY: N.SHM/MKH
H.E/M.M.A/A

CHECKED BY: E.ZHA/A/M

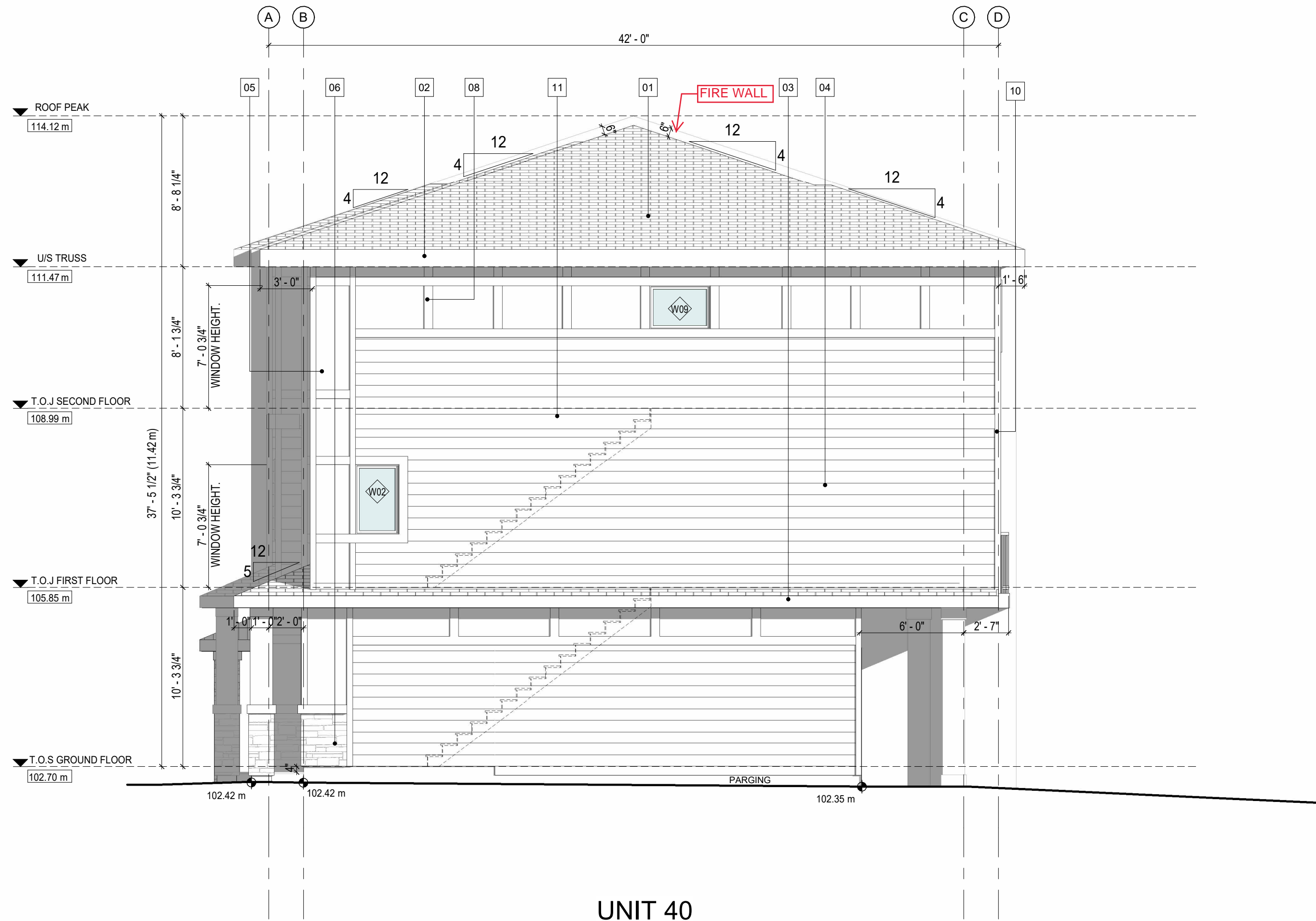
DATE: 25_06_14

SCALE: 3/16" = 1'-0"

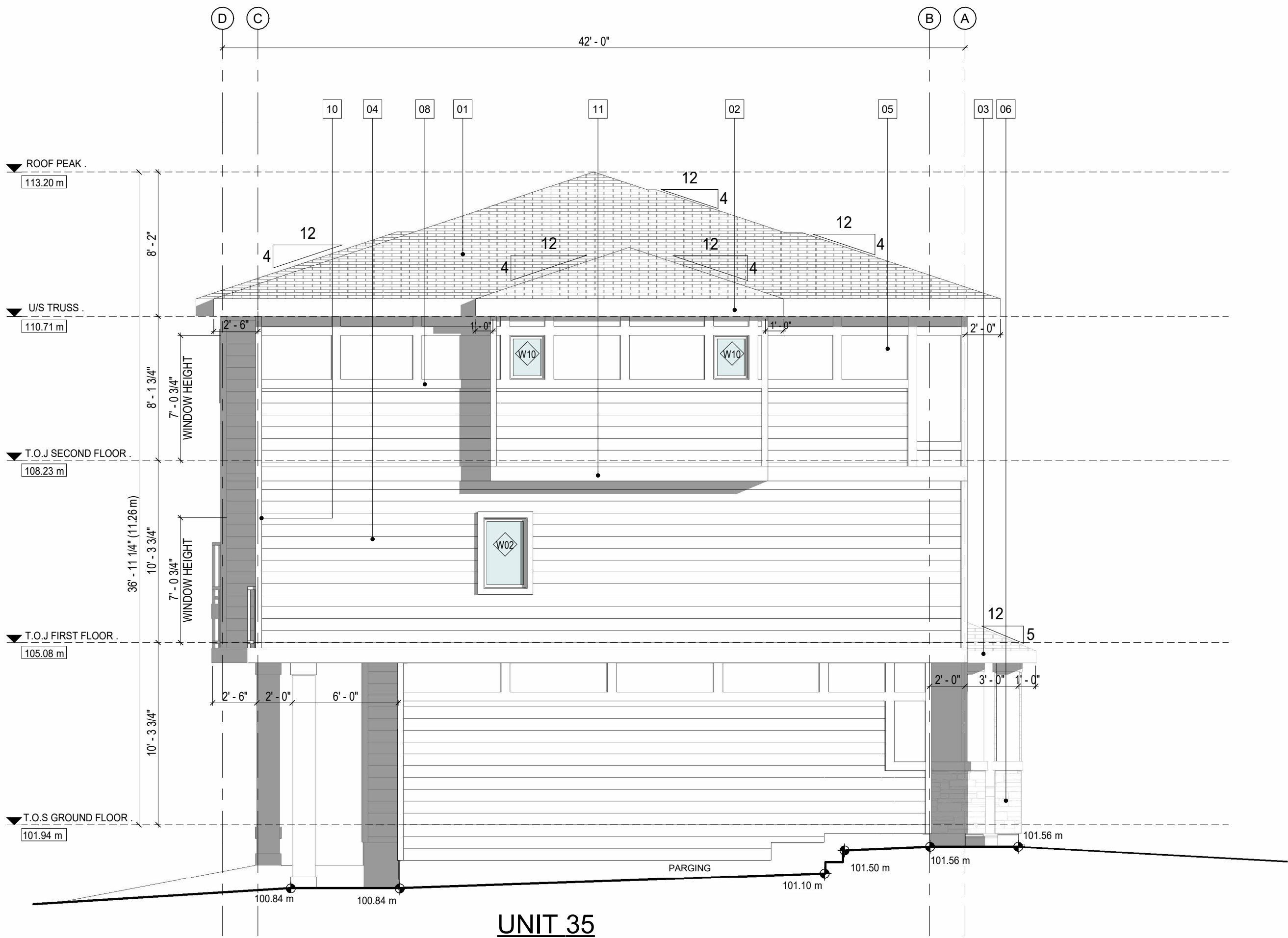
MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

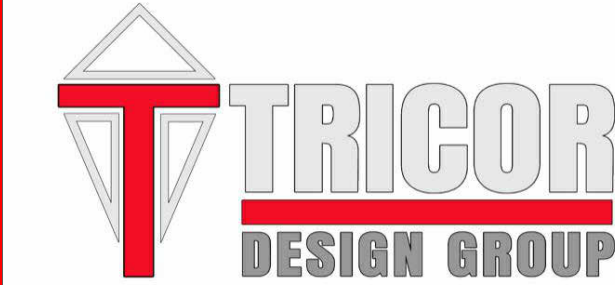
1 RIGHT (WEST)ELEVATION
3/16" = 1'-0"



2 LEFT(EAST) ELEVATION
3/16" = 1'-0"



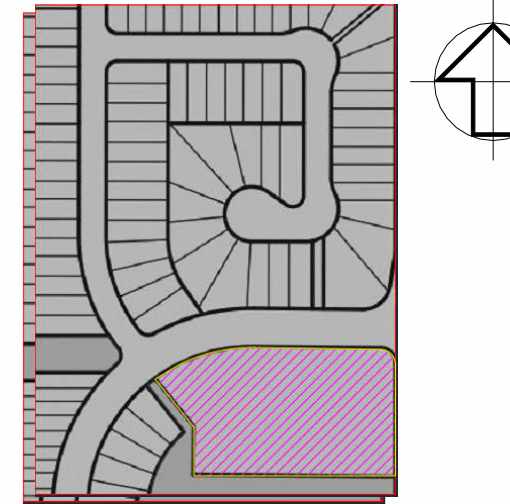
DESIGNED BY:



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02	25_03_24	DTR	H.H.M.M./M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	A.A	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS
BUILDING (7)

DRAWING NO.

A-087

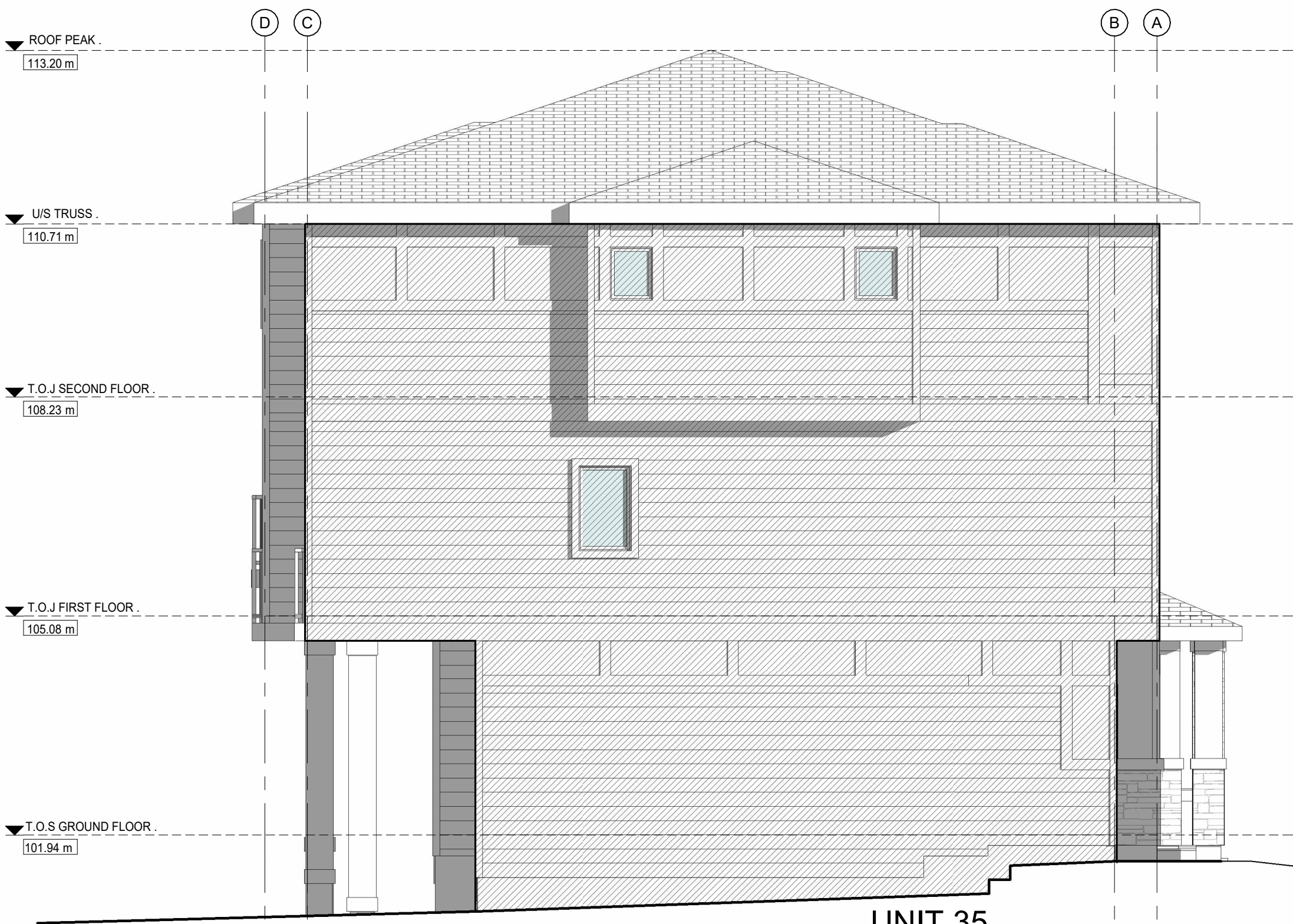
DRAWN BY: N.S.H.M./K.H.H.E
E.Z.H.A/A.M
CHECKED BY: E.Z.H.A/A.M
DATE: 25_06_14

SCALE: 3/16" = 1'-0"



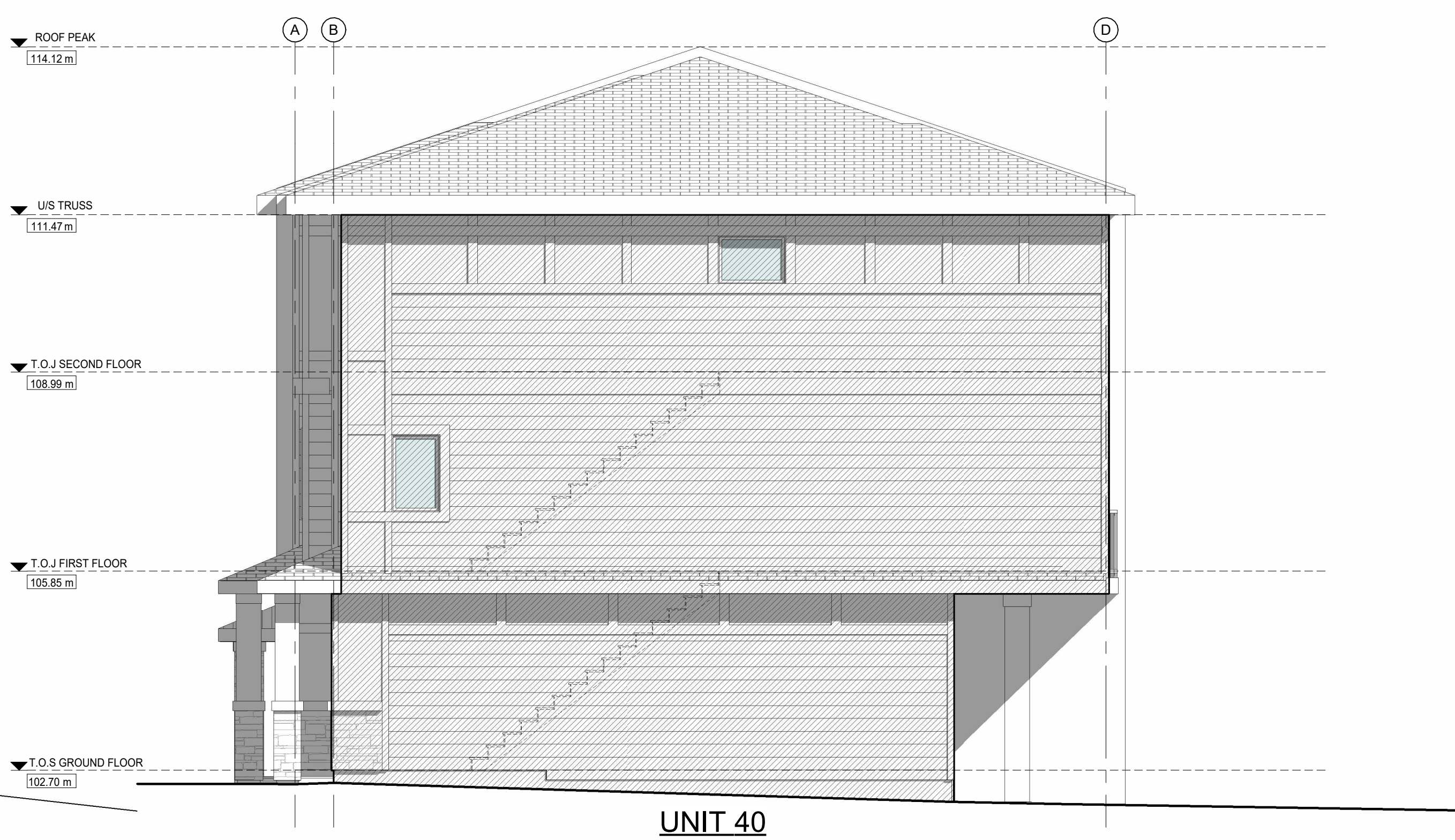
1 REAR(SOUTH) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 40		UNIT 39		UNIT 38		UNIT 37		UNIT 36		UNIT 35	
CODE CHECK EXPOSED BUILDING FACE	619 SQ.FT	57.52 SQ.M	603 SQ.FT	56.06 SQ.M	667 SQ.FT	62.00 SQ.M	589 SQ.FT	54.67 SQ.M	639 SQ.FT	59.35 SQ.M	632 SQ.FT	58.71 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m
PERCENTAGE OF ALLOWED OPENINGS	45.83%		50.65%		44.1%		51.24%		45.13%		49.52%	
SQ.FT.OF ALLOWED OPENING	283.74 SQ.FT	26.36 SQ.M	305.63 SQ.FT	28.39 SQ.M	294.30 SQ.FT	27.34 SQ.M	301.55 SQ.FT	28.01 SQ.M	288.28 SQ.FT	26.78 SQ.M	312.92 SQ.FT	29.07 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	141.87 SQ.FT	13.18 SQ.M	152.82 SQ.FT	14.20 SQ.M	147.15 SQ.FT	13.67 SQ.M	150.77 SQ.FT	14.01 SQ.M	144.14 SQ.FT	13.39 SQ.M	156.46 SQ.FT	14.54 SQ.M



2 LEFT(EAST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 35	
CODE CHECK EXPOSED BUILDING FACE	1151 SQ.FT	106.95 SQ.M
SETBACK	16' - 1"	4.90 m
PERCENTAGE OF ALLOWED OPENINGS	15.15%	
SQ.FT.OF ALLOWED OPENING	174.41 SQ.FT	16.20 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	87.21 SQ.FT	8.10 SQ.M



3 RIGHT (WEST) ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 40	
CODE CHECK EXPOSED BUILDING FACE	1112 SQ.FT	103.34 SQ.M
SETBACK	4' - 0"	1.22 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	77.87 SQ.FT	7.23 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	38.93 SQ.FT	3.62 SQ.M

DESIGNED BY:

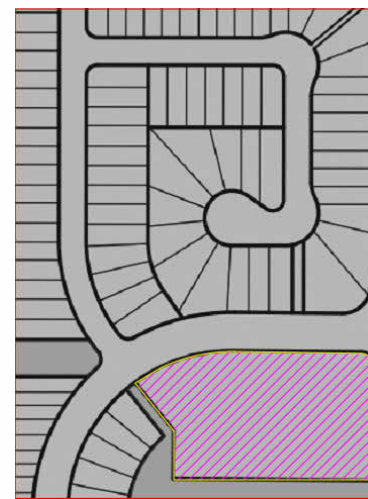


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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	N.S.H.M/ M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	A.A	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS
BUILDING (7)

DRAWING NO.

A-088

DRAWN BY:

CHECKED BY:

DATE:

N.S.H.M/K.H.H.E

E.Z.H.A/A.M

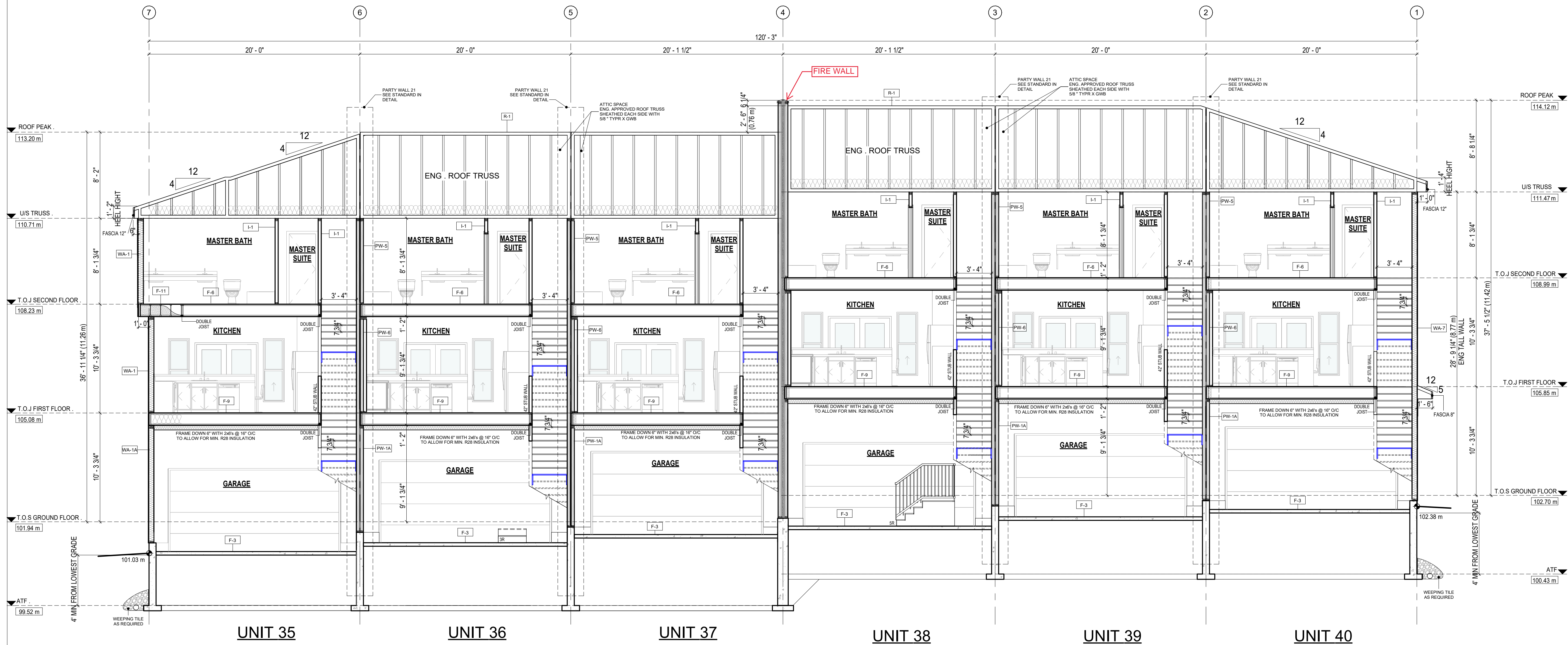
25_06_14

SCALE: 3/16" = 1'-0"

NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM
LOWEST GRADE



UNIT 35

UNIT 36

UNIT 37

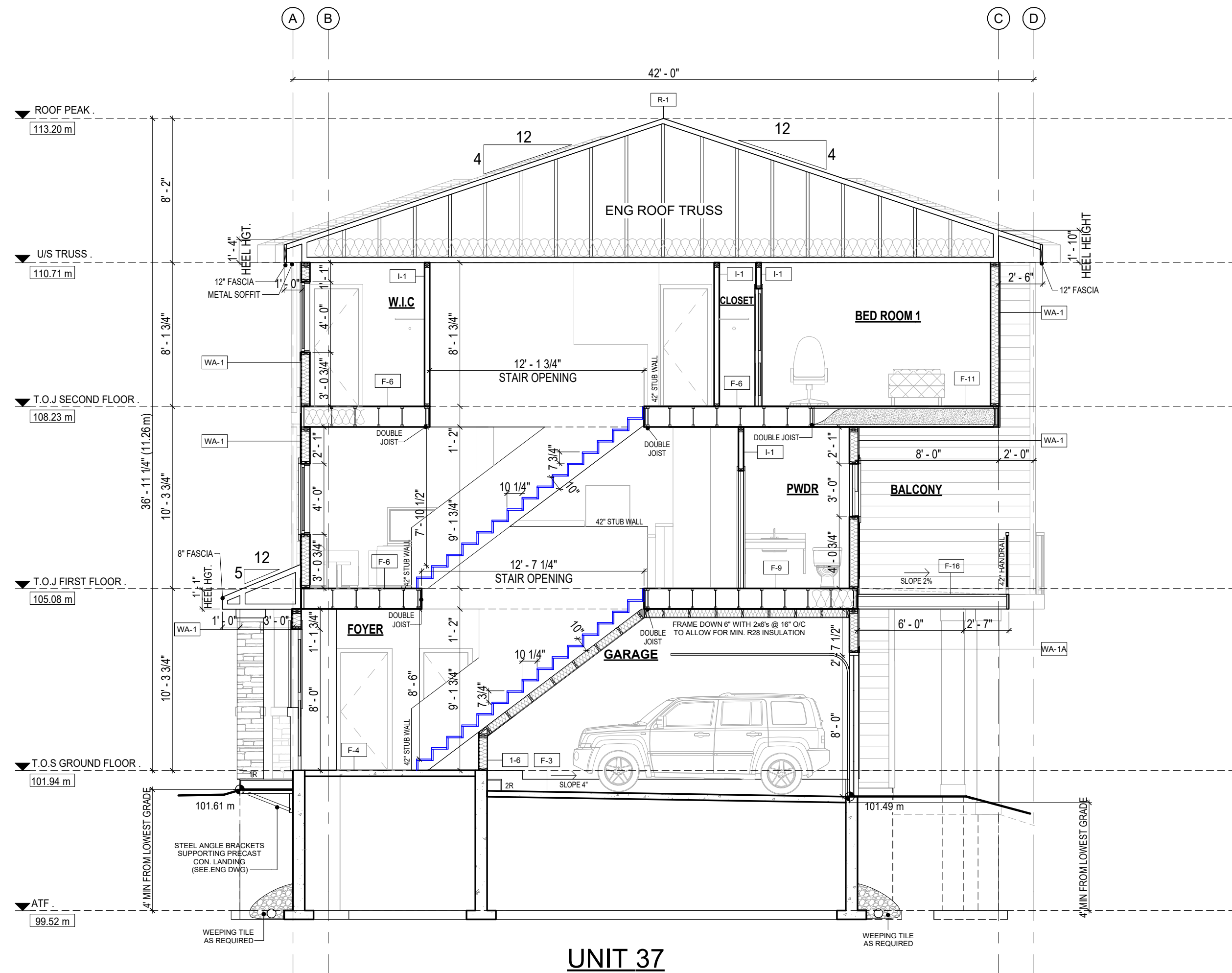
UNIT 38

UNIT 39

UNIT 40

SECTION 1-1

1 3/16" = 1'-0"

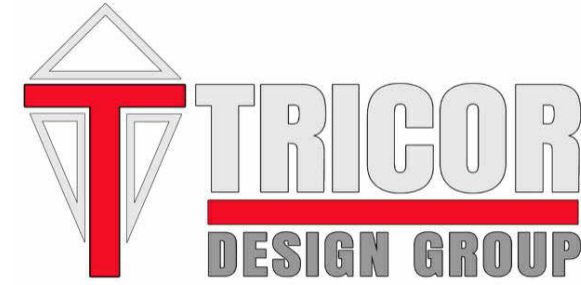


UNIT 37

SECTION 2-2

2 3/16" = 1'-0"

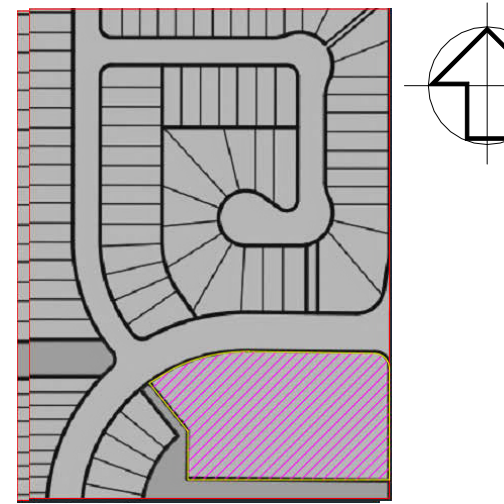
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REVISIONS:

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02	25_03_24	DTR	H.H.M.M./ M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./ K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT:

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS:

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

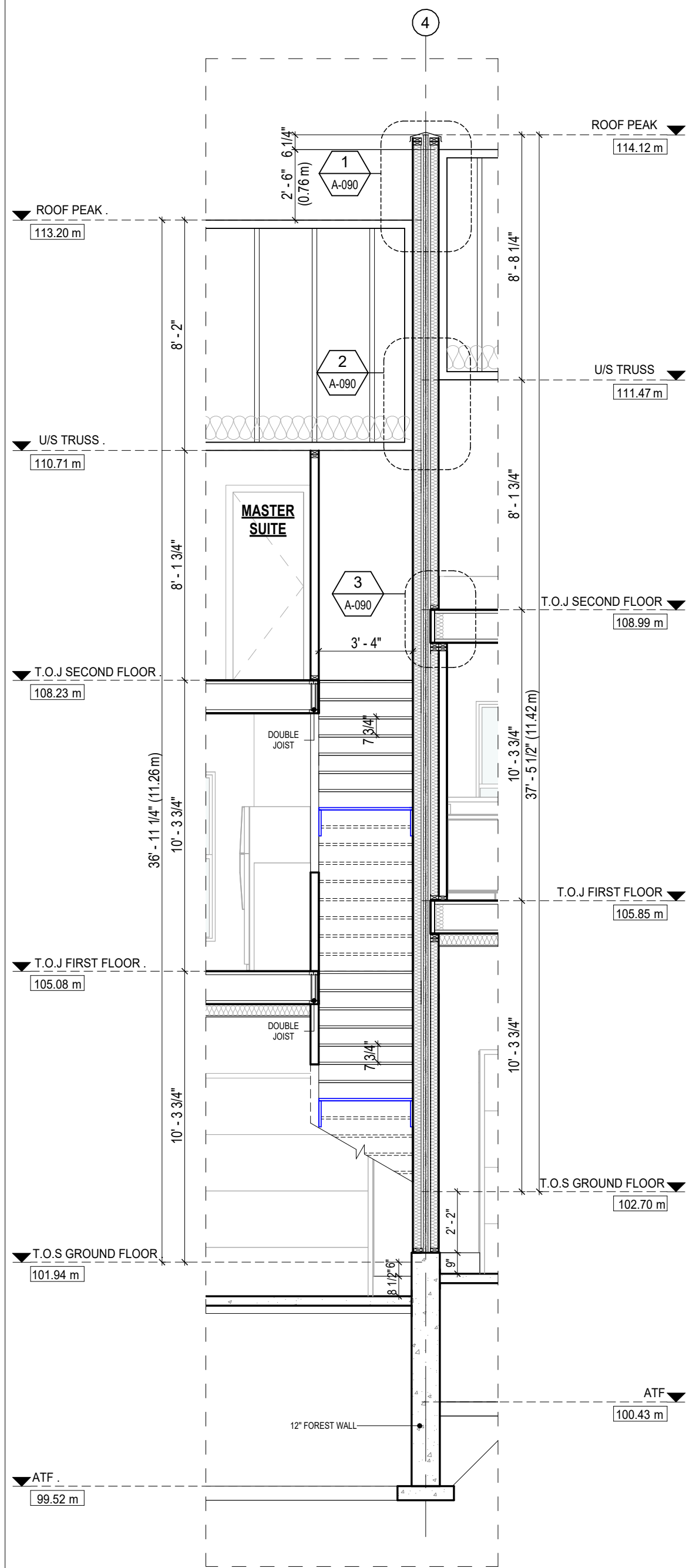
BUILDING SECTIONS
BUILDING (7)

DRAWING NO.

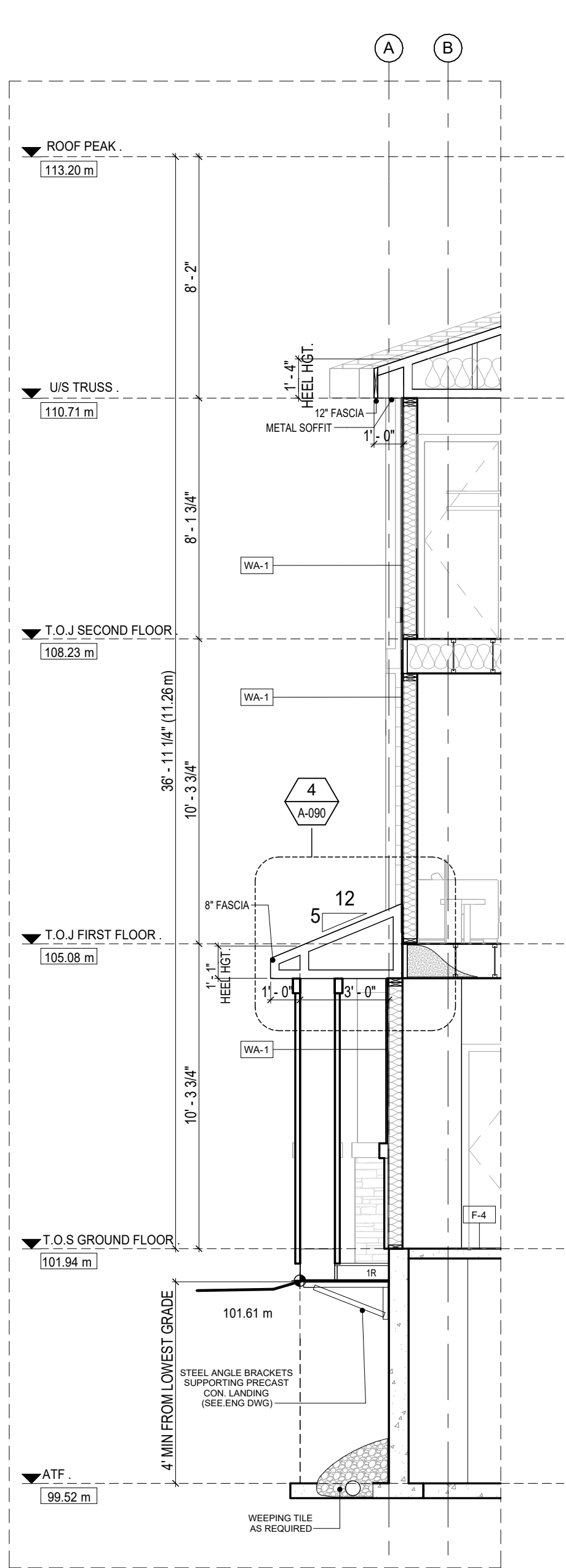
A-089

DRAWN BY: N.S.H.M./
H.E.M.M.A.A.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_06_14

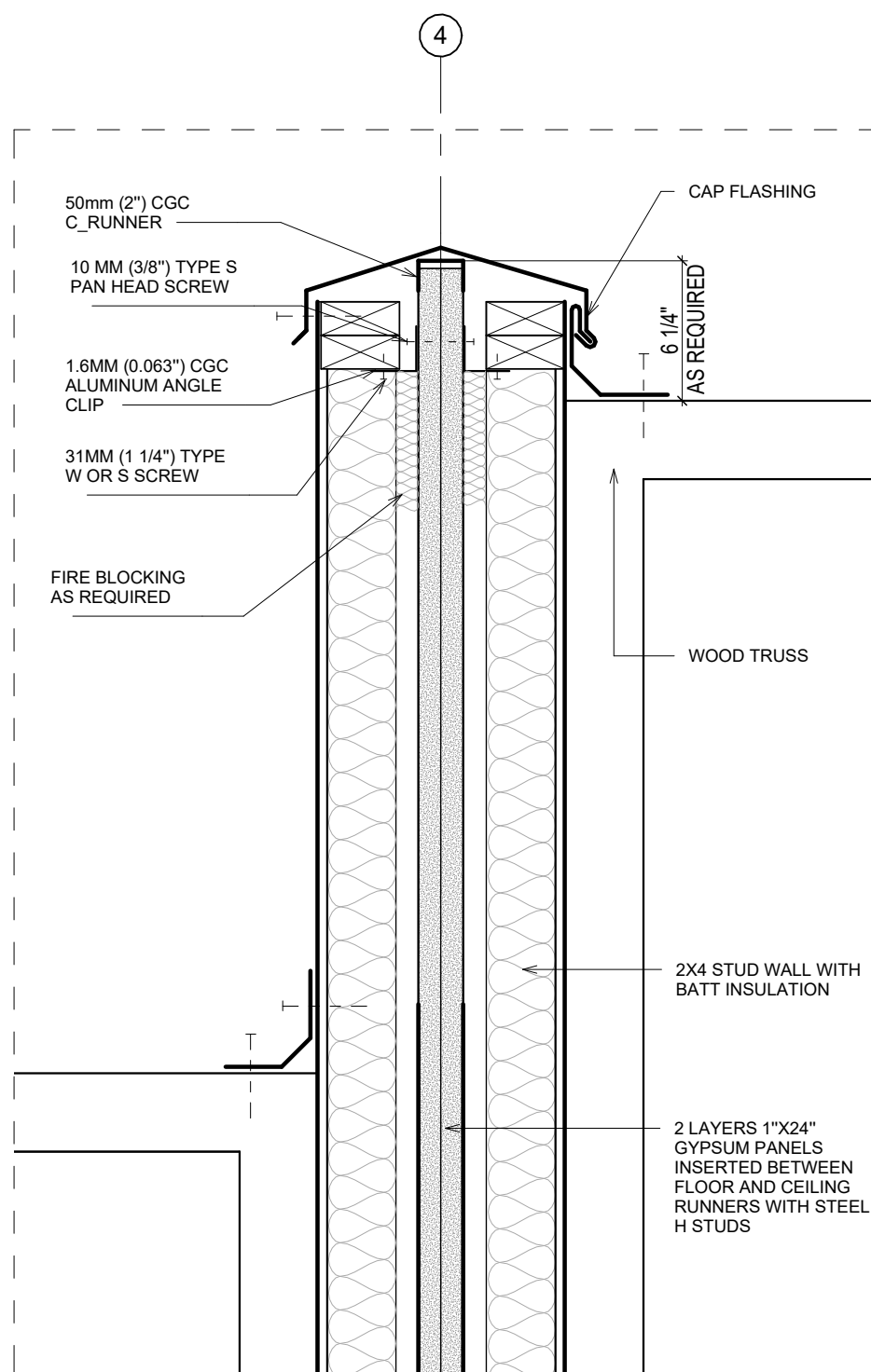
SCALE: 3/16" = 1'-0"



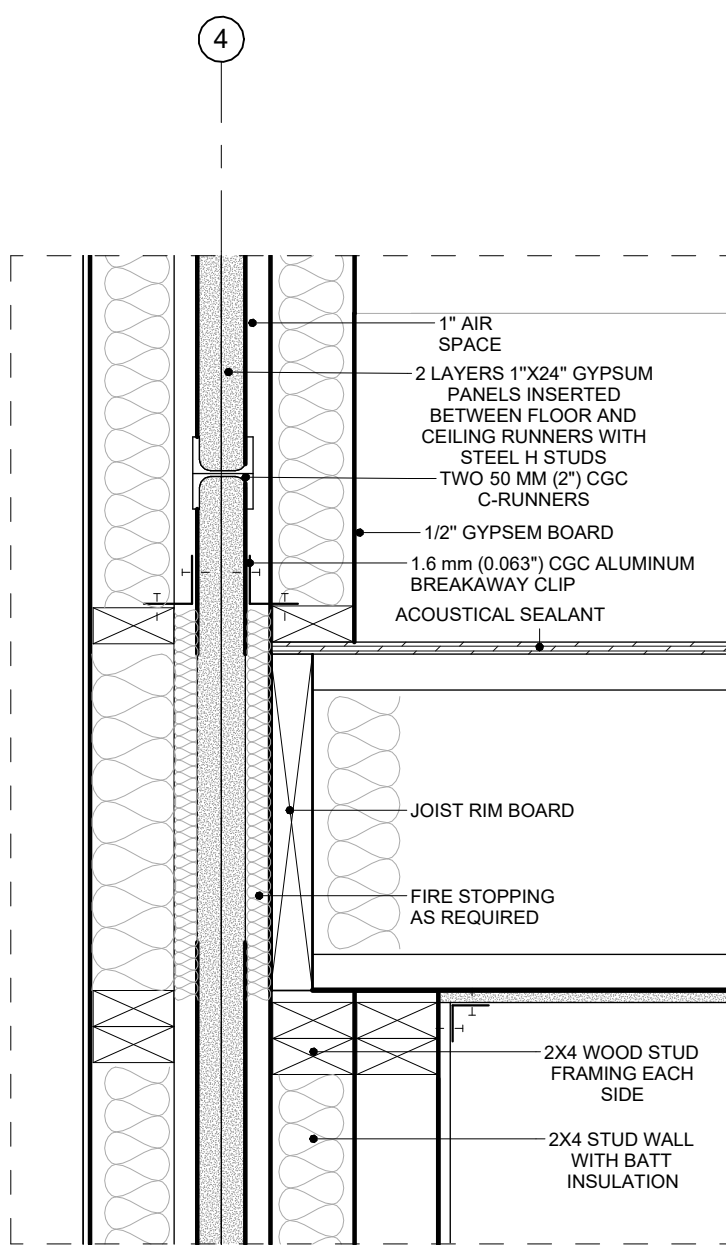
FIRE WALL SECTION
1/4" = 1'-0"



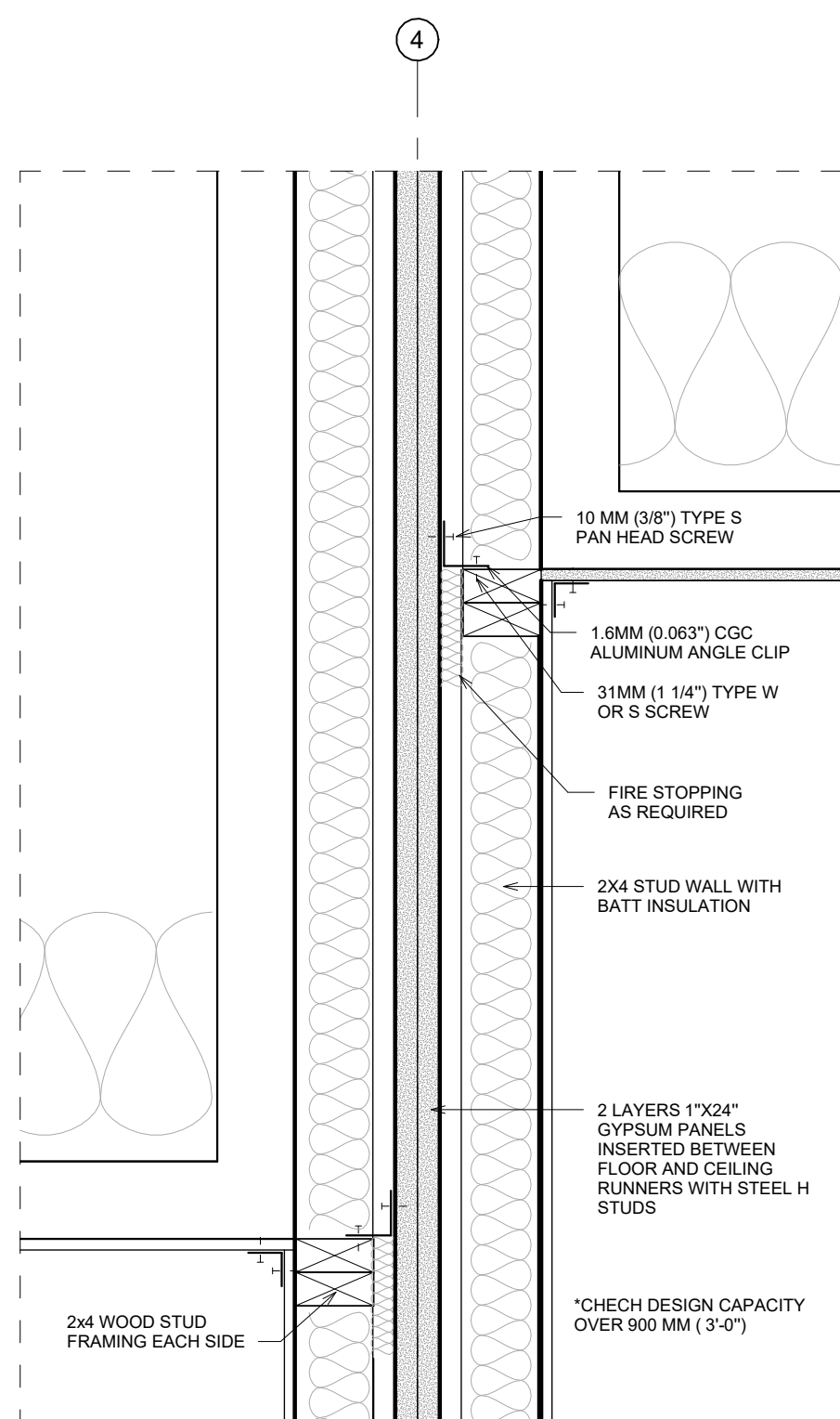
ENTRANCE WALL SECTION
1/4" = 1'-0"



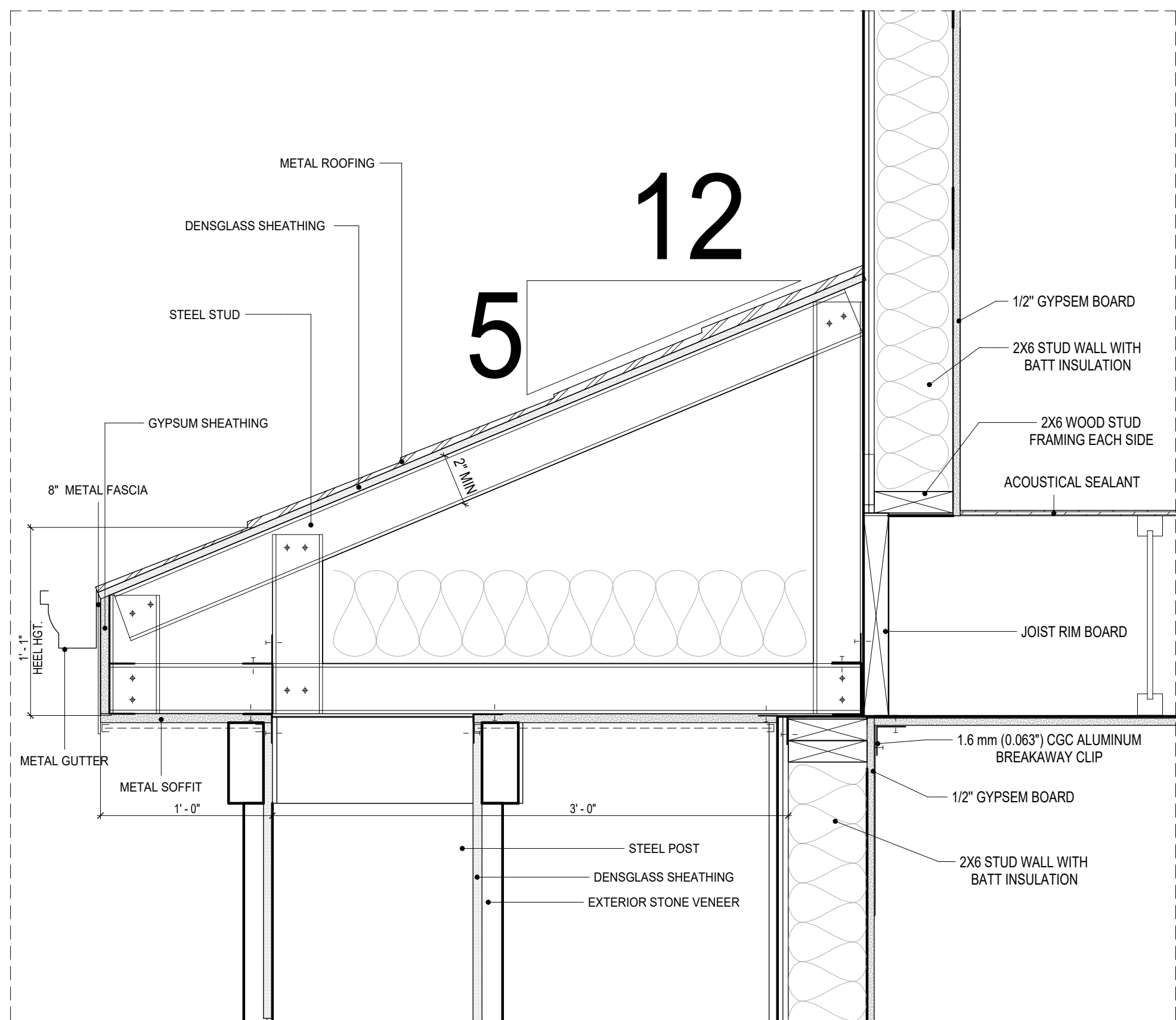
DETAIL (1)
1 1/2" = 1'-0"



DETAIL (3)
1 1/2" = 1'-0"



DETAIL (2)
1 1/2" = 1'-0"



DETAIL (4)
1 1/2" = 1'-0"

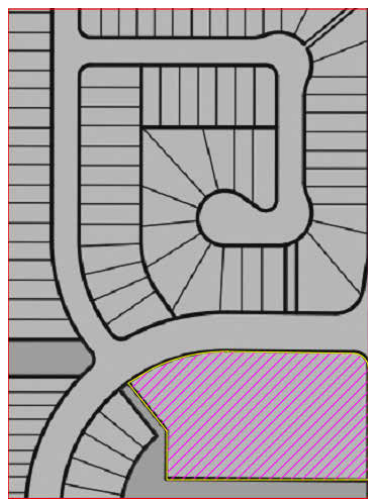
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02	25_03_24	DTR	H.H.M.M./M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS
BUILDING (7)

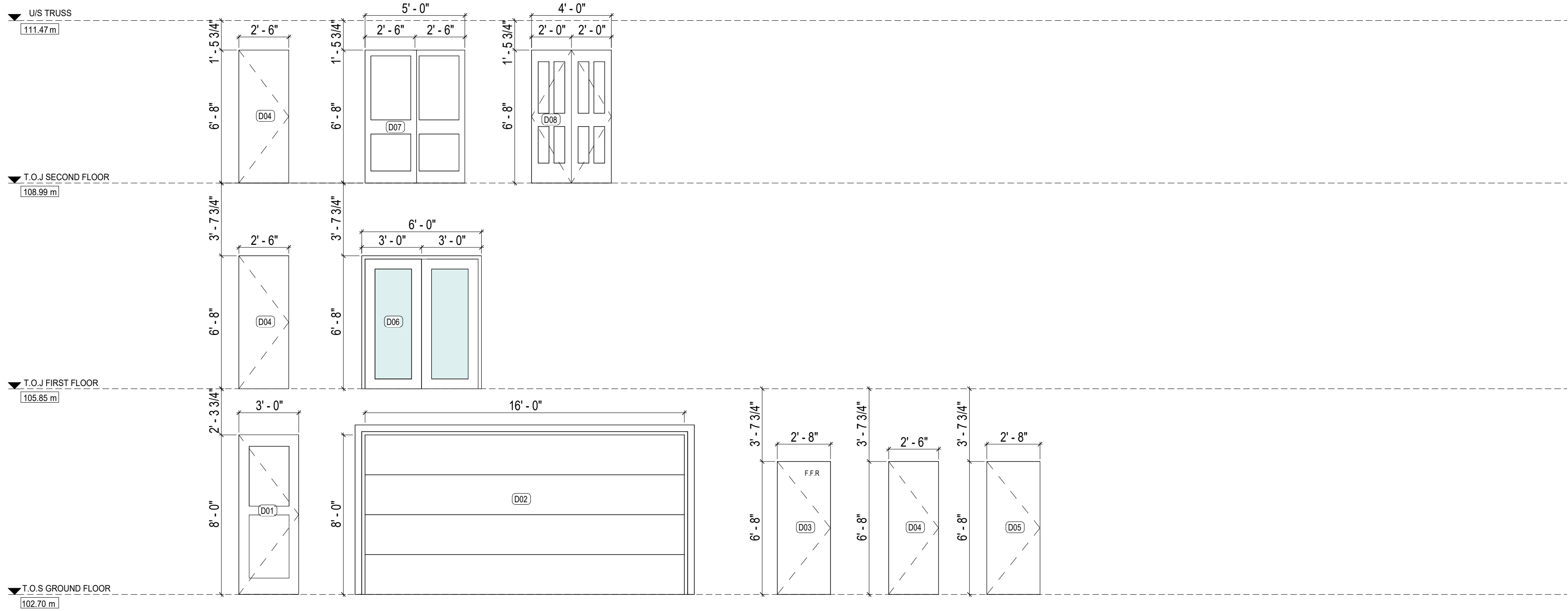
DRAWING NO.

A-090

DRAWN BY: N.S.H.M./K.H.H.E.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_06_14

SCALE: As indicated

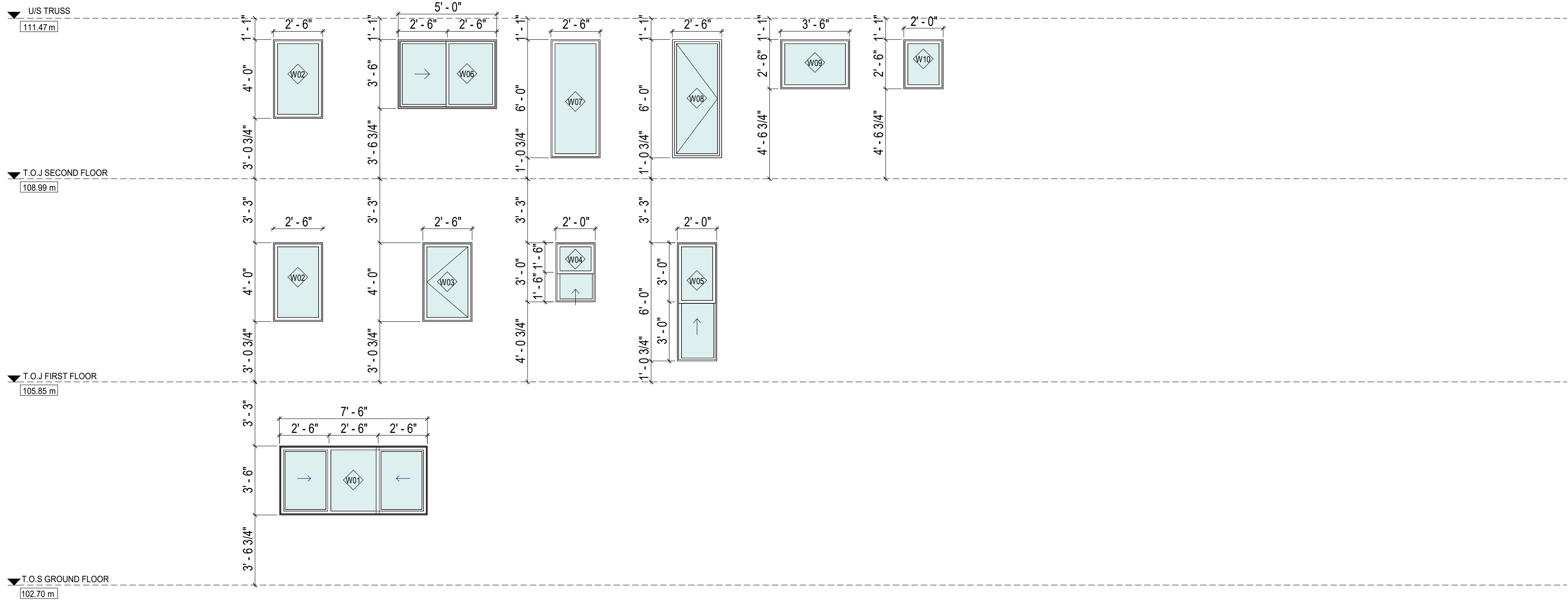
GARAGE DOOR MODEL:CLOPAY
MODERN STEEL WLFULL GLAZING
AND VERTICAL STACK



DOORS TYPES

1
1/4" = 1'-0"

W08 :WILL BE (WOCD).



WINDOWS TYPES

2
1/4" = 1'-0"

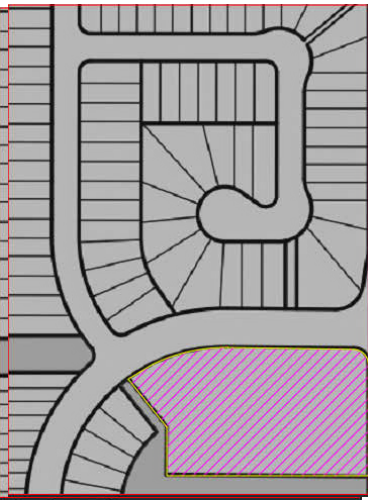
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01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.H.E	E.ZH.A
02	25_03_24	DTR	H.H.M.M/ M.R	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS AND WINDOWS TYPES
BUILDING (7)

DRAWING NO.

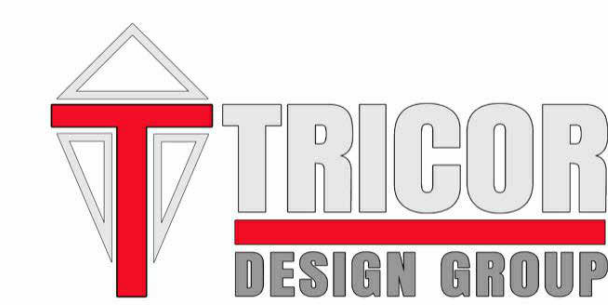
A-091

DRAWN BY: N.SHM/M.K.H. E.ZH.A/A.A
CHECKED BY: E.ZH.A/A.M
DATE: 25_05_14

SCALE: 1/4" = 1'-0"



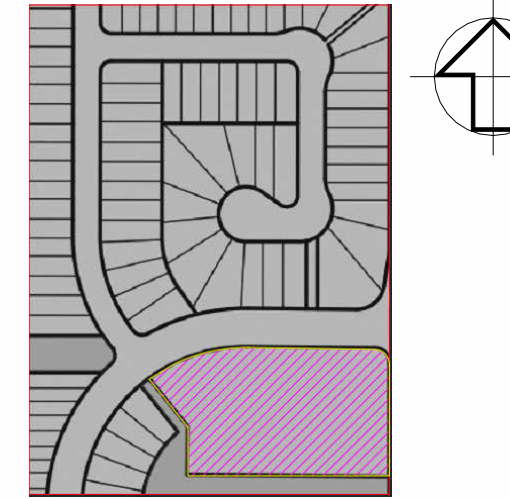
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02	25_03_24	DTR	H.H.E./M.H.I	E.Z.H.A/A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A./A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS
BUILDING (8)

DRAWING NO.

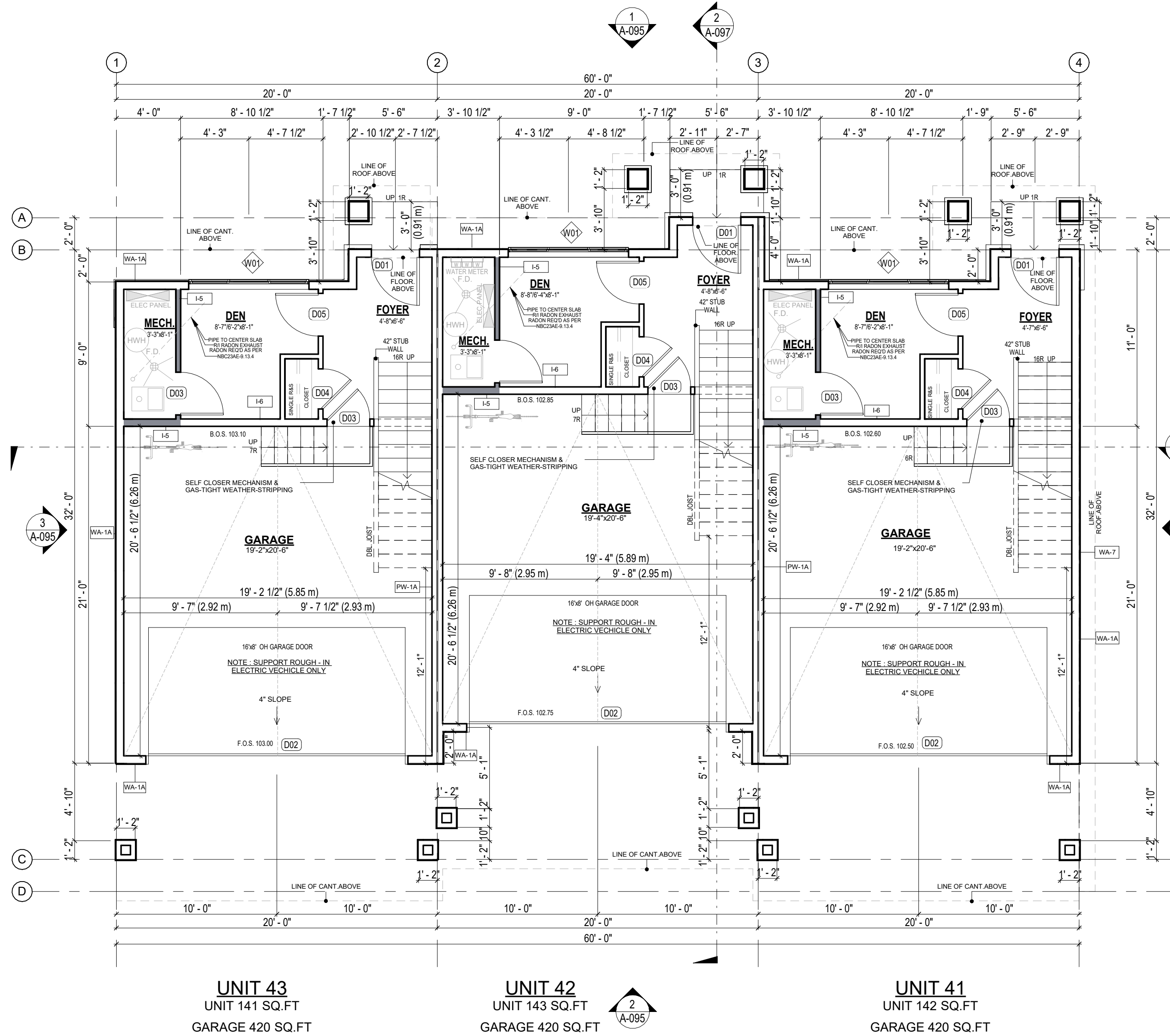
A-092

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A./A.Z.R. CHECKED BY: E.Z.H.A/A/M. DATE: 25_05_14

SCALE:

W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD)
WILL BE USED WHEN THE
DISTANCE BETWEEN SILL HEIGHT
AND OUTSIDE GRADE IS MORE
THAN (72") .AND THE OPENING
PORTION WINDOW IS LESS THAN
(36") ,THAT WILL ALLOW THE
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN

3/16" = 1'-0"



2 FIRST FLOOR PLAN

3/16" = 1'-0"

DESIGNED BY:

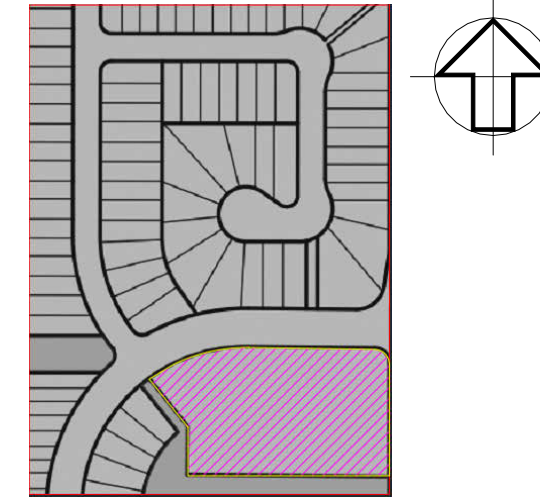


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02	25_03_24	DTR	H.H.E.M/H1	E.Z.H.A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/M

ISSUES:

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01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H H.M.S.S/A.A.Z	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND_FIRST_FLOOR PLANS
BUILDING (8)

DRAWING NO.

A-093

DRAWN BY:

H.H.N.S/K/H
H.M.S.S/A.A.Z

CHECKED BY:

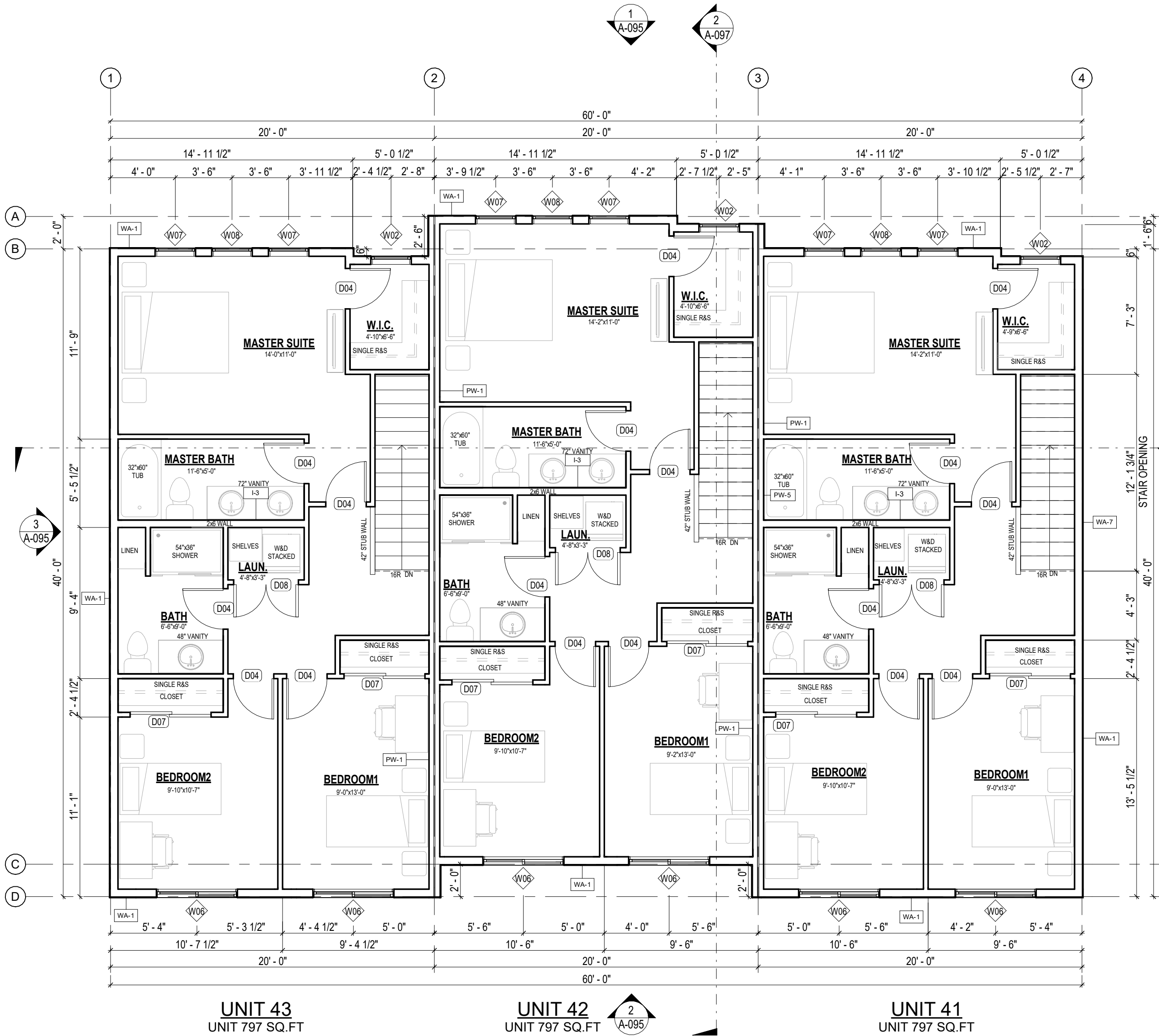
E.Z.H.A/M

DATE:

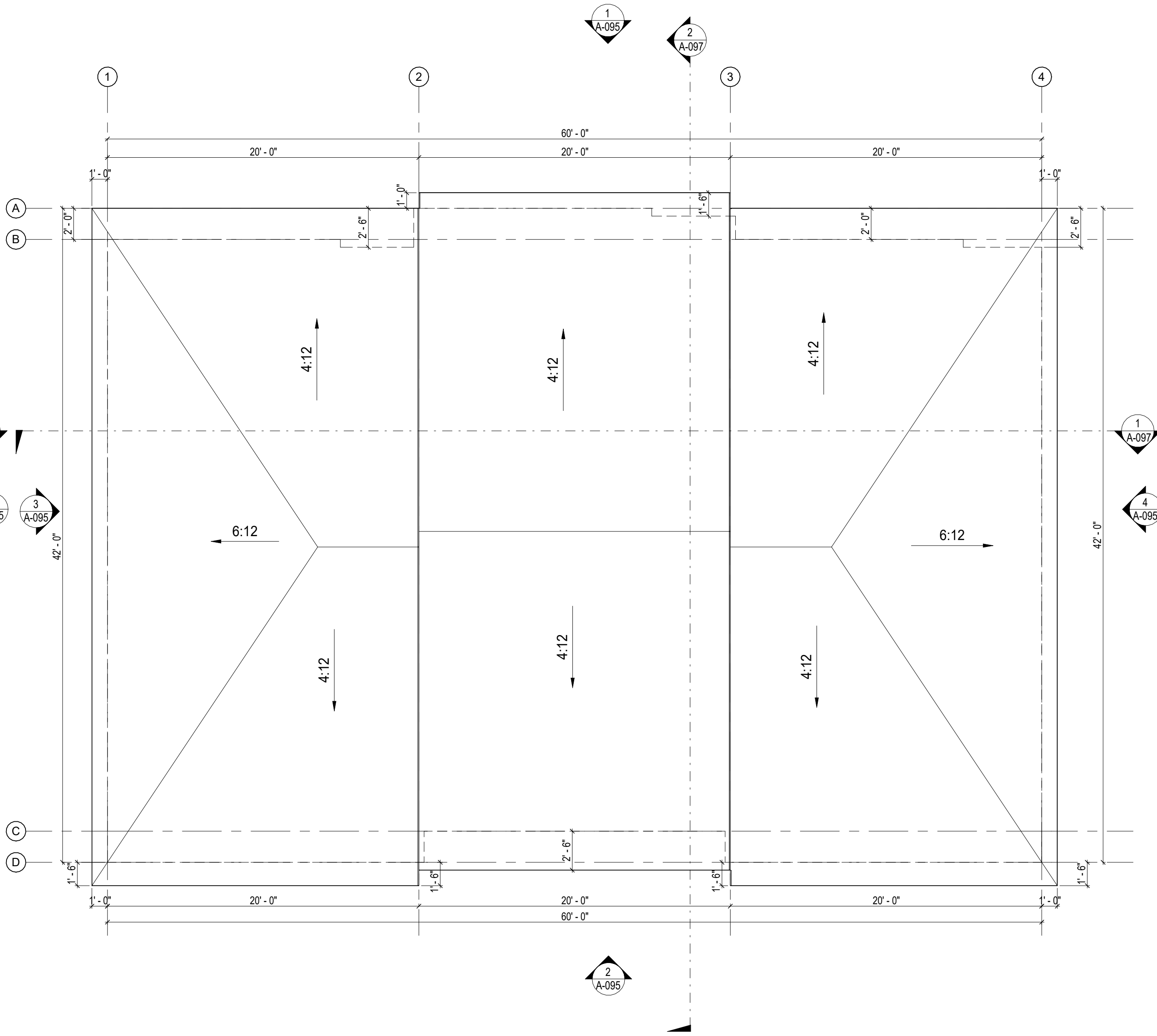
25_06_14

SCALE: 3/16" = 1'-0"

FIRST AND SECOND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")

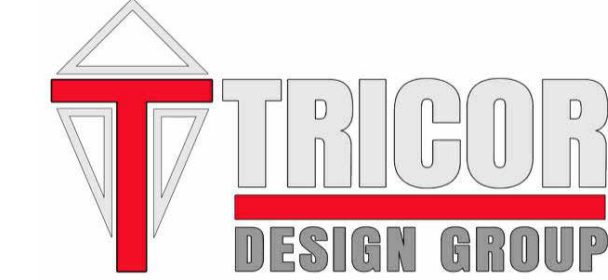


1 SECOND FLOOR PLAN
3/16" = 1'-0"



2 ROOF FLOOR PLAN
3/16" = 1'-0"

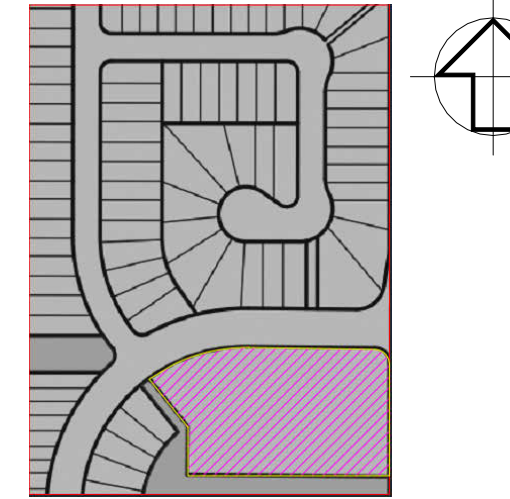
DESIGNED BY:



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CALGARY AB FAX: (403)203-1990
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REVISIONS:

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02	25_03_24	DTR	H.H.E./M.H.I.	E.Z.H.A./A.M.
02	25_05_14	DTR 2	M.R.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND ROOF FLOOR PLANS
BUILDING (8)

DRAWING NO.

A-094

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R. CHECKED BY: E.Z.H.A./A.M. DATE: 25_05_14

SCALE: 3/16" = 1'-0"

MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W8 :WILL BE (WOCD).

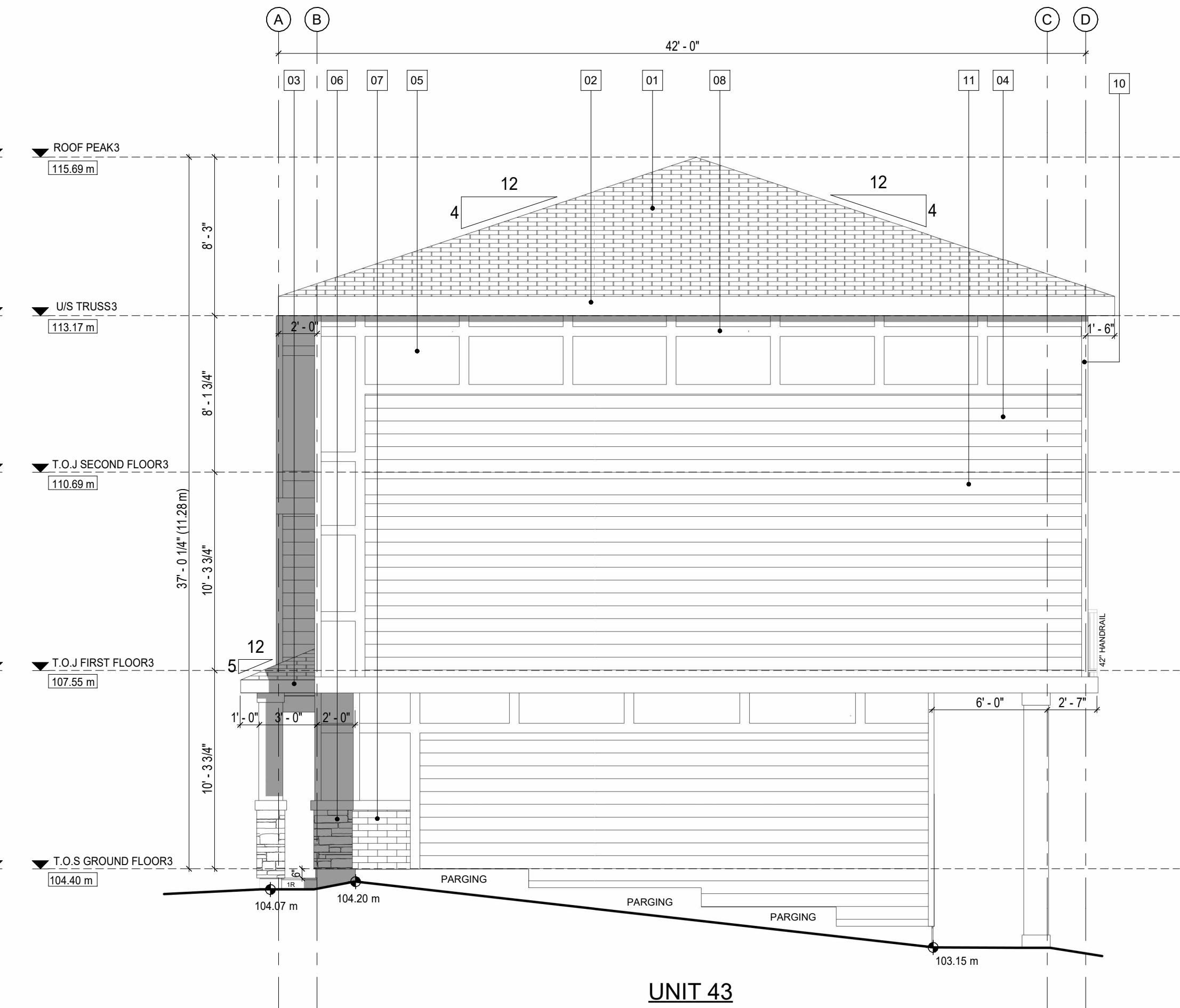
GARAGE DOOR MODEL : CLOPAY
MODERN STEEL W/FULL GLAZING
AND VERTICAL STACK GLAZING



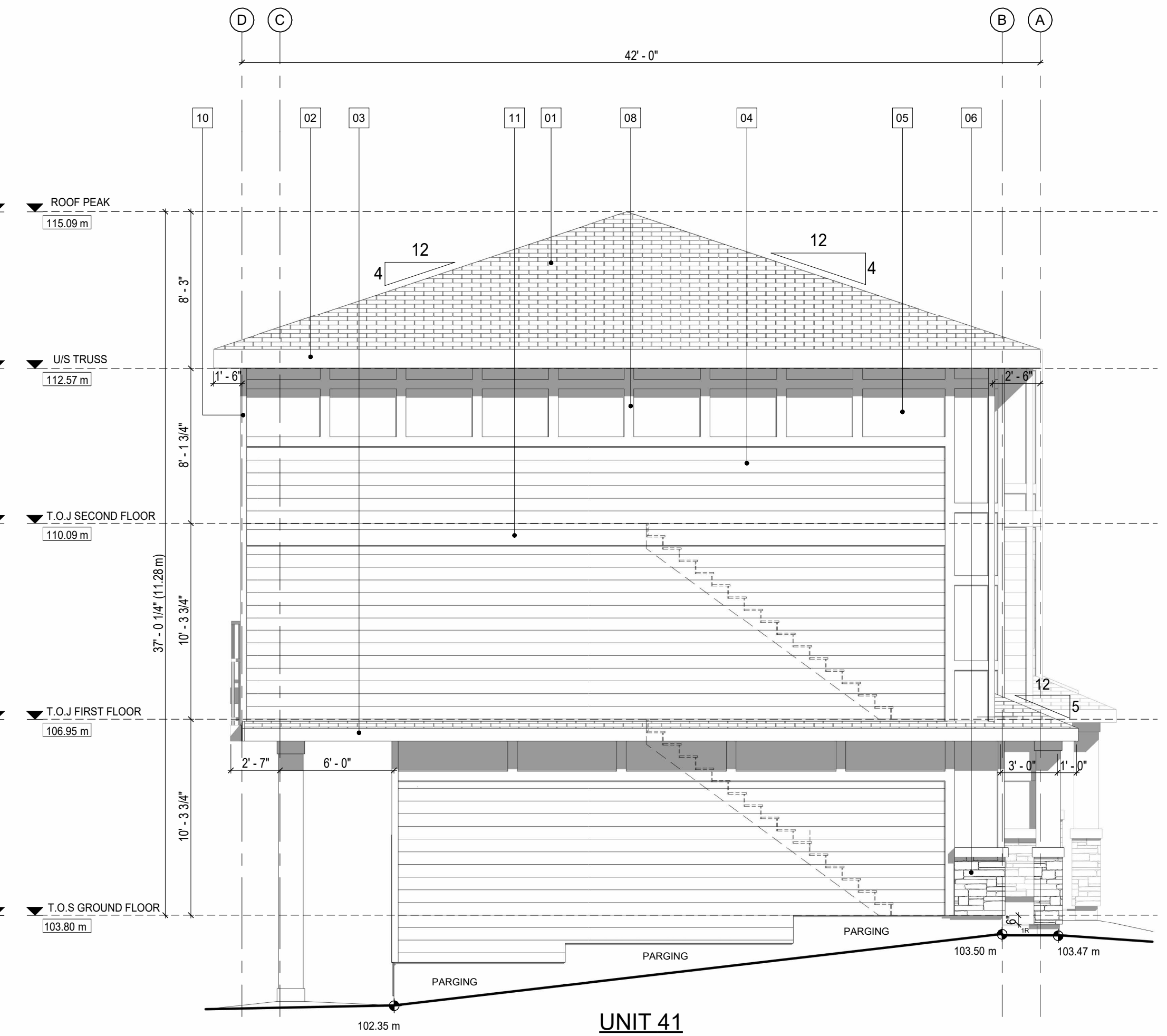
1 FRONT (NORTH) ELEVATION
3/16" = 1'-0"



2 REAR (SOUTH) ELEVATION
3/16" = 1'-0"



3 RIGHT (WEST) ELEVATION
3/16" = 1'-0"



4 LEFT (EAST) ELEVATION
3/16" = 1'-0"

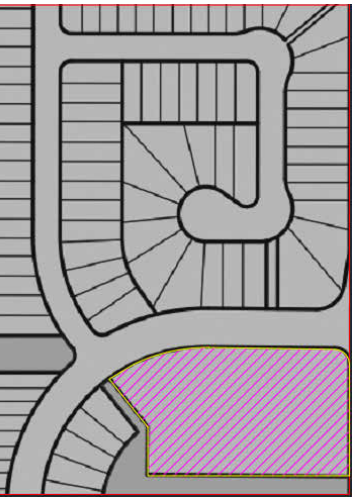
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970
CALGARY AB FAX: (403)203-1990
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.E./M.H.I.	E.Z.H.A./A.M.
02	25_05_14	DTR 2	M.R.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT - REAR - LEFT - RIGHT
ELEVATIONS
BUILDING (8)

DRAWING NO.

A-095

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_05_14
SCALE: 3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 42		UNIT 41	
CODE CHECK EXPOSED BUILDING FACE	646 SQ.FT	60.01 SQ.M	674 SQ.FT	62.65 SQ.M
SETBACK	13' - 11"	4.24 m	15' - 1"	4.60 m
PERCENTAGE OF ALLOWED OPENINGS	29.14%		33.18%	
SQ.FTG.OF ALLOWED OPENING	188.22 SQ.FT	17.49 SQ.M	223.77 SQ.FT	20.79 SQ.M
ACTUAL SQ.FTG.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	94.11 SQ.FT	8.74 SQ.M	111.88 SQ.FT	10.39 SQ.M

1 REAR ELEVATION LIMITING DISTANCE
3/16" = 1'-0"

DESIGNED BY:

TRICOR
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com

#202 - 4216 10 STREET NE,
CALGARY AB
T2E 6K3

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02	25_03_24	DTR	H.H.E./M.H.I	E.Z.H.A/A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H/ H.M.S./S.A./A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS
BUILDING (8)

DRAWING NO.

A-096

DRAWN BY:

H.H.N./S.K.H/
H.M.S./S.A./A/Z.R

CHECKED BY:

E.Z.H.A/A/M

DATE:

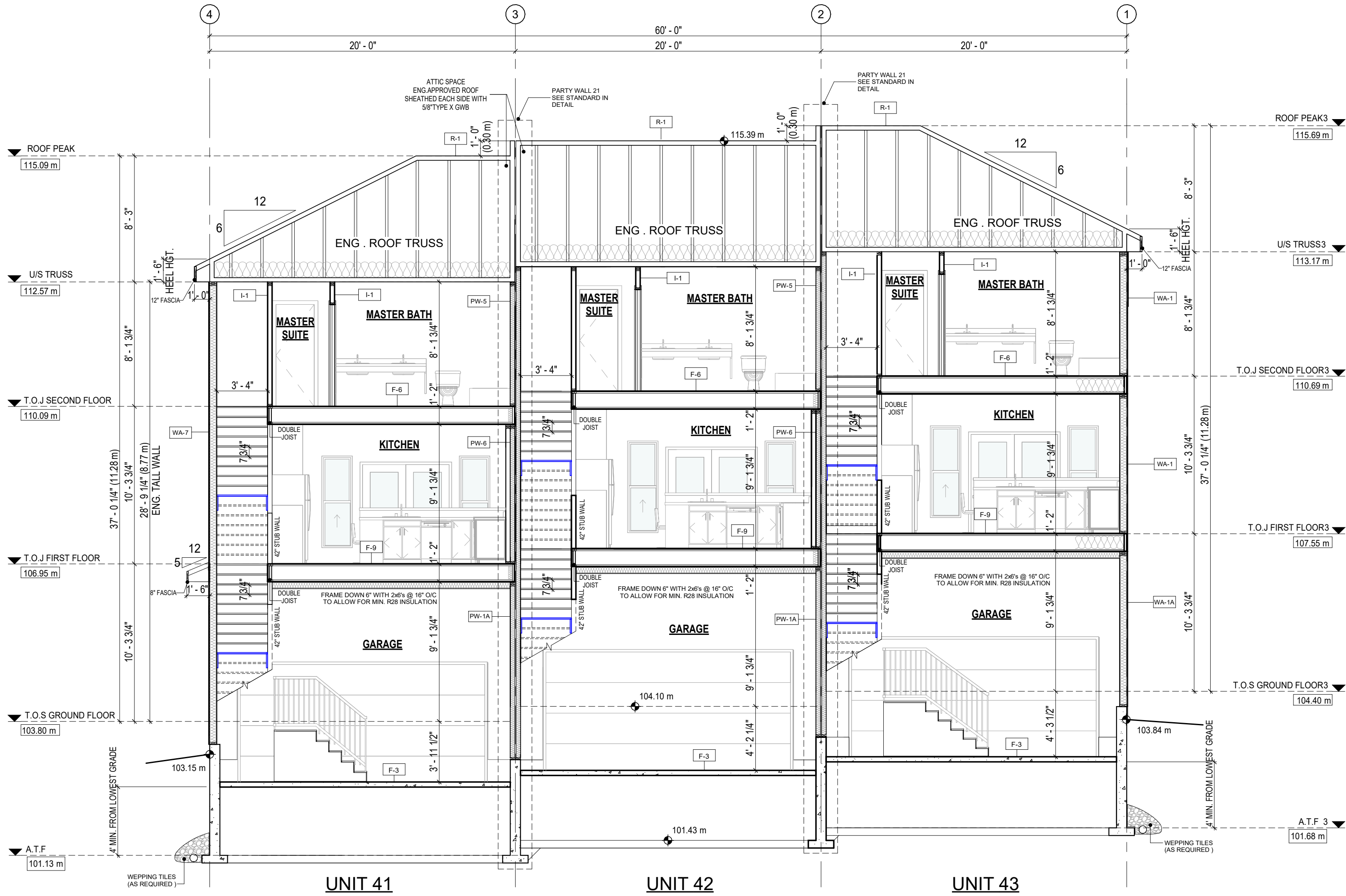
25_06_14

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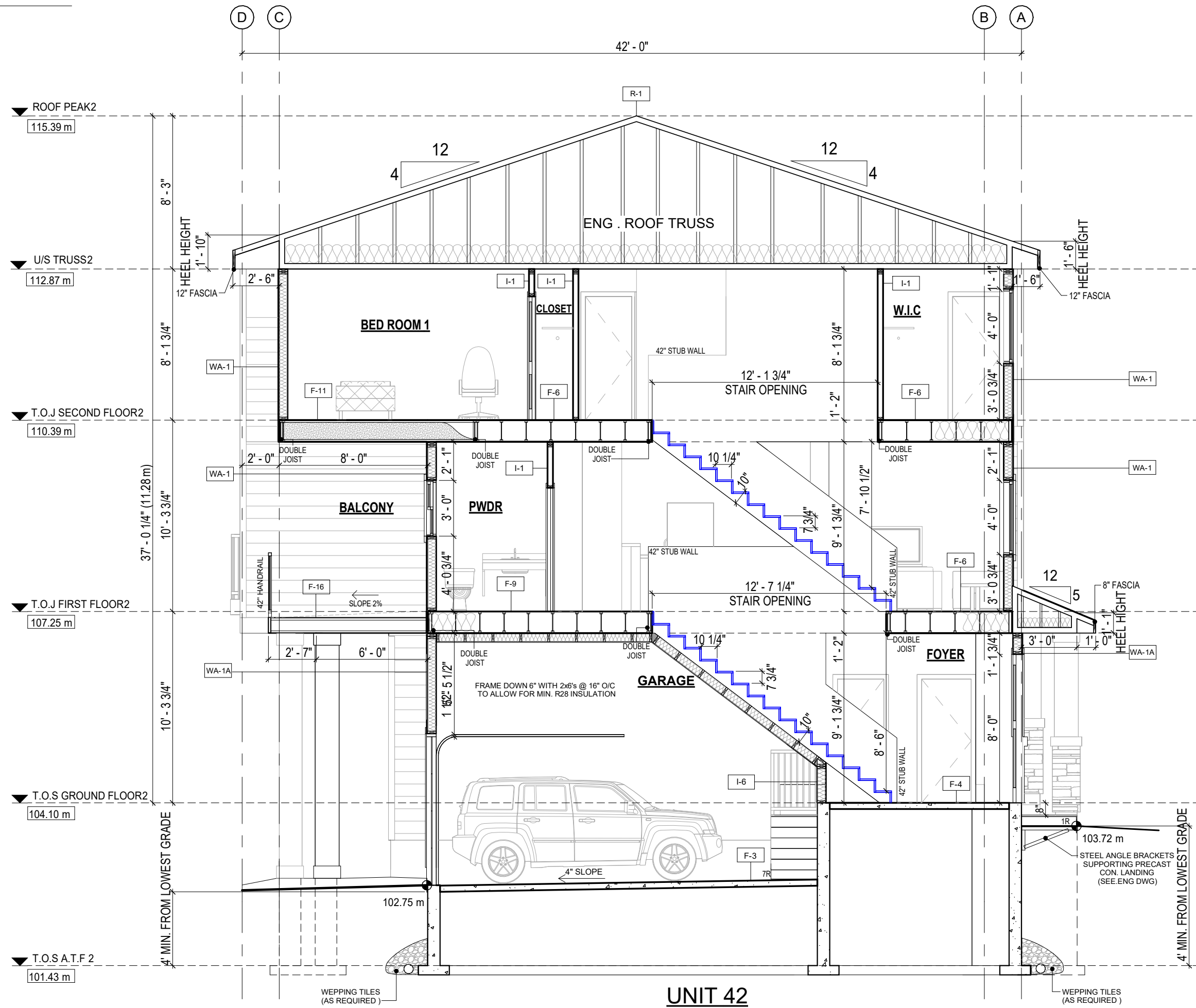
NOTES:

" FOLLOW ENGINEERING DESIGN
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM
LOWEST GRADE

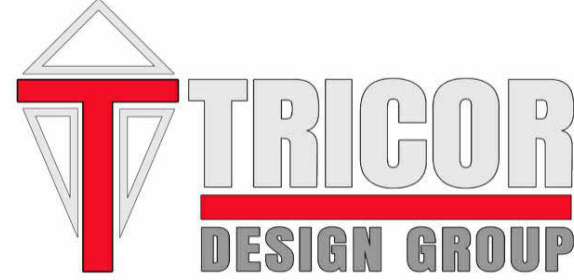


1 SECTION 1-1
3/16" = 1'-0"



2 SECTION 2-2
3/16" = 1'-0"

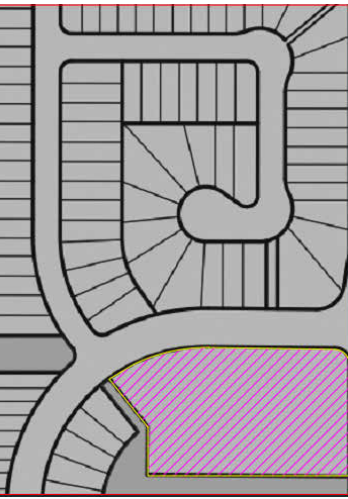
DESIGNED BY:



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ISSUES:

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1-1-SECTION2-2
BUILDING (8)

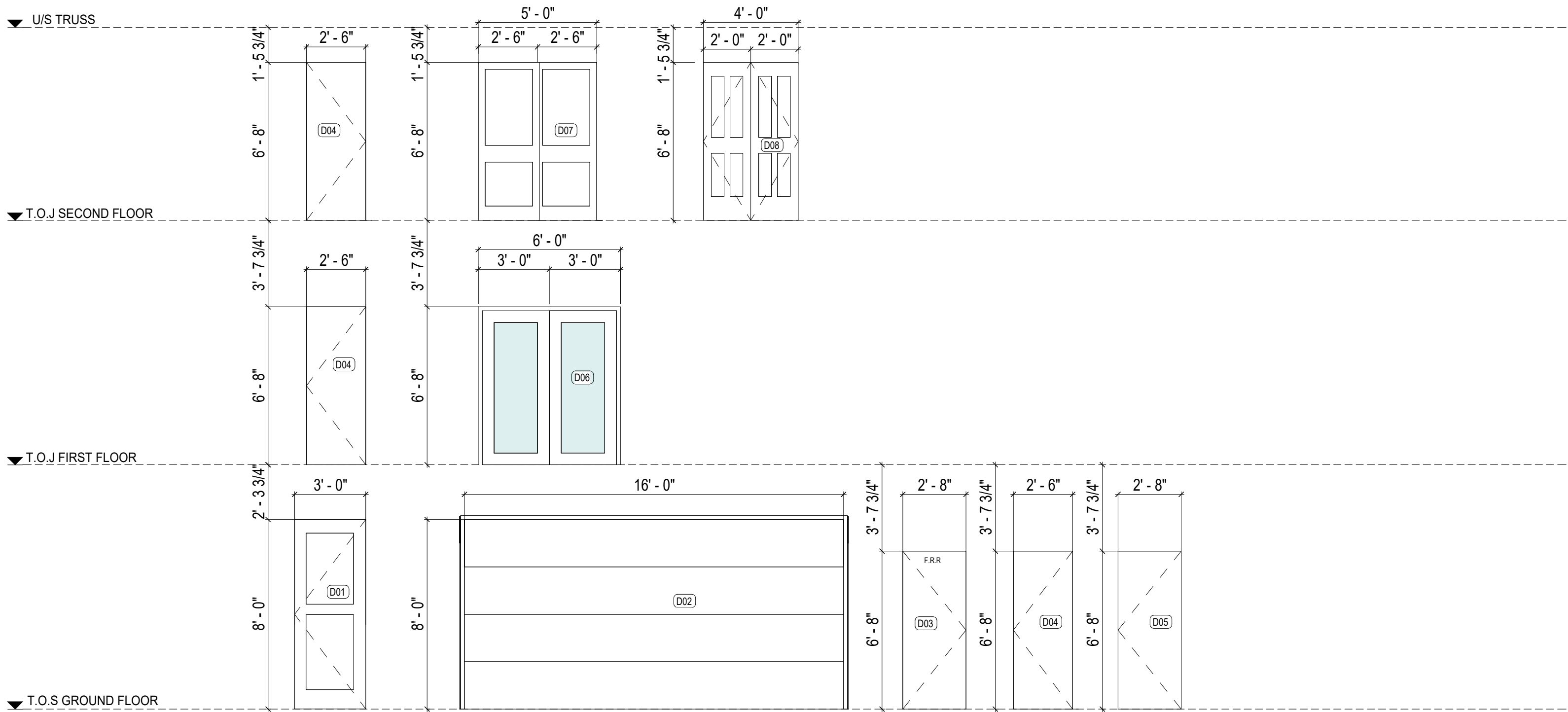
DRAWING NO.

A-097

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R. CHECKED BY: E.Z.H.A./A.M. DATE: 25_05_14

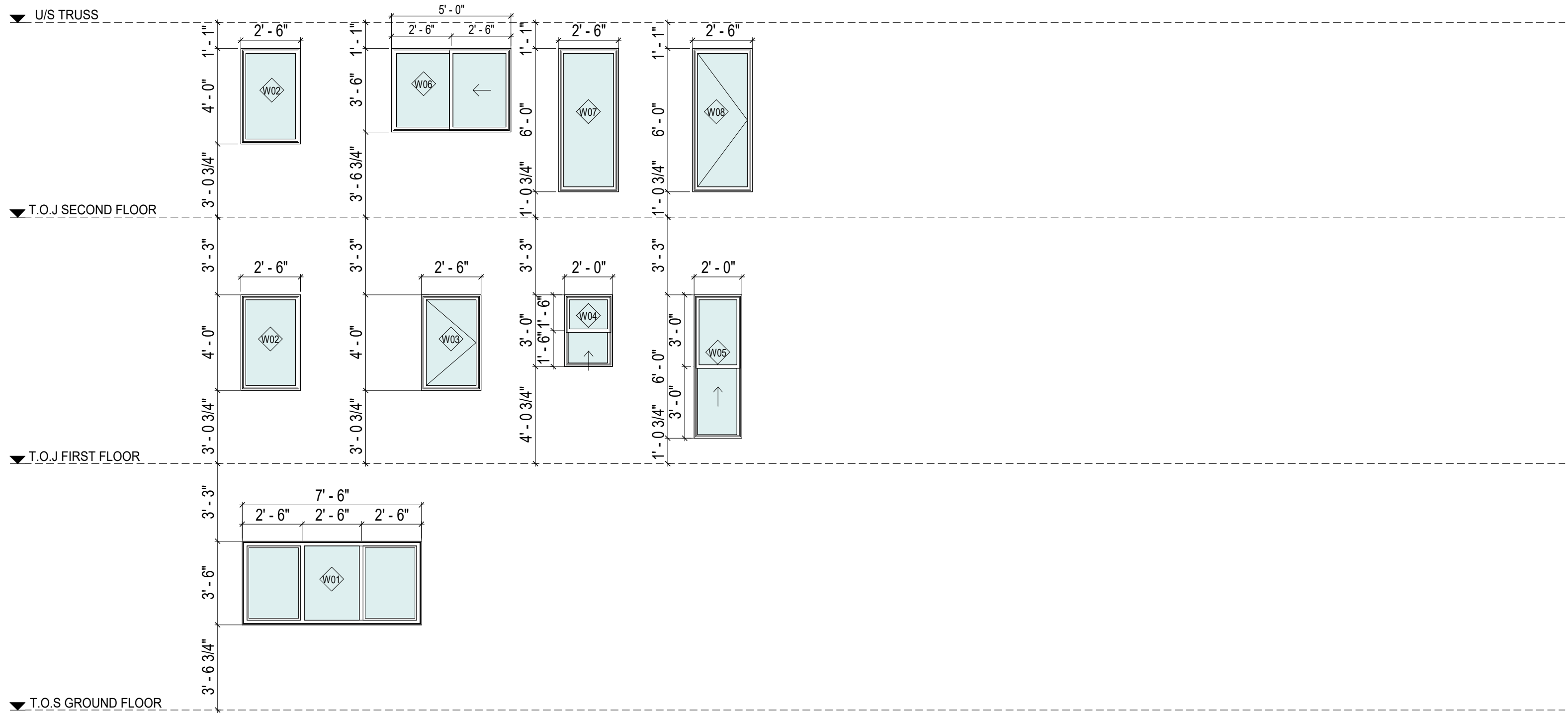
SCALE: 3/16" = 1'-0"

GARAGE DOOR MODEL : CLOPAY
MODERN STEEL W/FULL GLAZING
AND VERTICAL STACK GLAZING



1 DOORS TYPES
1/4" = 1'-0"

W8 :WILL BE (WOCD).



2 WINDOWS TYPES
1/4" = 1'-0"

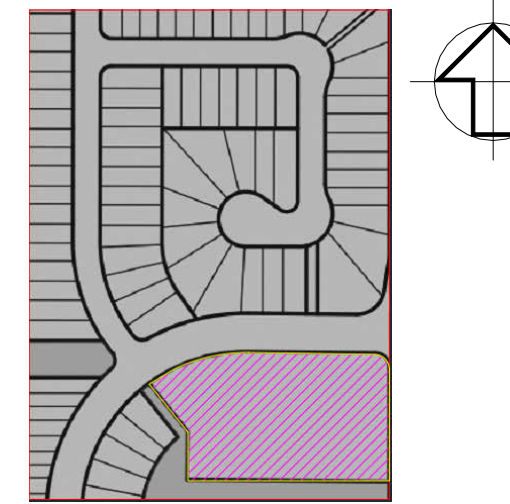
DESIGNED BY:



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KEY PLAN



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02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY
TOWNHOMES
3010 KEY DRIVE SW
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS & WINDOWS TYPES
BUILDING (8)

DRAWING NO.

A-098

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R.
CHECKED BY: E.Z.H.A./A.M.
DATE: 25_05_14

SCALE: 1/4" = 1'-0"

Attachment 2 - Recommended Conditions of Approval

Recommended Conditions of Approval

1. This development permit authorizes the development of Dwelling, Townhouse which is a Discretionary Use in the R3, Low-Rise Multifamily Residential District, on the lands legally described as LOT - 1, Block - 1, PLAN - 2312456.
2. All development, including the location, orientation, capacity, intensity, and use of buildings and any landscaping and site improvements, must be completed in accordance with Approved Plans.
3. Any changes to the design, format, location, orientation, capacity, intensity or use of any part of the development requires approval by the Development Authority.
4. All development must be carried out in accordance with the Land Use Bylaw and the Engineering Standards.
5. The minimum amenity area is varied by 23.2% from 19.2m² per unit to 25 m² per unit.
6. Prior to the issuance of a Development Permit, the developer shall provide a final set of plans, elevations and details, including updated swept path analysis to match City of Airdrie standard fire truck with metric dimensions, which shall include any revisions required by the Development Authority as part of the approval at the time of the decision.
7. The retaining wall identified in the Approved Plans shall be constructed entirely within the subject property, and the property owner shall be responsible for all maintenance and upkeep.
8. There shall be no direct pedestrian access from the units on the property to 24th Street.
9. Prior to construction commencing, the Developer shall enter into and abide by a development agreement in accordance with section 650 of the Municipal Government Act, containing terms acceptable to the City, including, but not limited to on-site and off-site improvements and the taking of security to secure the terms of the agreement.
10. Prior to construction commencing, performance security, in a form deemed acceptable to the municipality shall be provided to the satisfaction of the Development Authority.
11. The Developer shall install, at the Developer's sole cost, all signs required by the Development Authority to address restricted parking and traffic flow during and after construction.
12. The Developer shall provide Eighty-Six [86] on-site parking stalls as indicated on the Approved Plan. All parking stalls shall be hard surfaced with asphalt pavement, concrete or other similar paving material.
13. Four [4] additional stalls shall be barrier free parking stalls. These parking stalls shall be hard-surfaced, level, located close to the entrance of the landscape area, and shall be designated with the International Symbol of Access.

14. All signs identified in the Approved Plans may be constructed and installed without need of a new Development Permit. All other signage will require a separate Development Permit application and approval prior to placement.
15. The Developer shall place "Stop" and "No Parking" signs subject to the Approved Plans.
16. This development shall adhere to the new municipal address and/or addressing plan as provided by the Development Authority.
17. Site lighting shall adhere to the site lighting plan and light fixture standards as depicted in the Approved Plan, to the satisfaction of the Development Authority.
18. The area around the construction site shall be kept clear of equipment and debris, and construction materials, including garbage, shall be stored, to the satisfaction of the Development Authority and so as not to create a nuisance to neighbouring properties.
19. Prior to construction commencing, the Developer shall install secure construction fencing in accordance with approved plans and such fencing shall remain in place until the activity on-site is complete, as determined by the Development Authority.
20. The Developer shall abide by the approved landscaping plan.
21. The Applicant shall ensure any vegetation or landscaping that is removed, damaged or disturbed during construction shall be replaced at the applicant's sole cost.
22. Any temporary or auxiliary buildings/signs placed on site during construction shall be removed prior to Development Completion Certificate.
23. The ratio of garbage and recycling bins shall comply with that provided in the Approved Plans.
24. There shall be no unauthorized use of any adjoining Public Utility Lot or Reserve Land during the course of the approved development.
25. A Development Completion Certificate is required when the approved development has been completed.
26. The Applicant shall submit a complete set of as-built drawings, to the Development Authority at the time of application for Development Completion Certificate.

Advisory Comments

- a) The Developer is responsible for complying with all relevant municipal, provincial and federal legislation and regulations.
- b) All other necessary permits and inspections are the responsibility of the applicant including, but not limited to, Building Permits and Fire Approval and shall be submitted to the City as required. Please contact the Building Department at 403-948-8832 and/or the Fire Department at 403-948-8880.
- c) The Developer shall contact utility providers (gas, electric, telecommunications) and arrange for utilities to be installed or relocated in accordance with the utility provider requirements, at the Developer's sole cost.
- d) Administration is directed to collect relevant off-site levies, as well as voluntary recreation contributions in the amount of \$51,600 (calculated on the basis of \$1200 per residential unit), in accordance with Bylaw No. B-11/2019.
- e) Based on City of Airdrie Council Resolution 2022-C-046, City of Airdrie collaborates with Building Industry and Land Development Association (BILD) – Calgary Region and the local school boards to secure land assembly funding for future high school sites. According to the Memorandum of Understanding (MOU) between BILD and City of Airdrie dated January 31, 2022, the charge for the high school land assembly is \$618.91 per residential lot or dwelling unit, subject to annual inflation adjustment. The charge for 43 units is \$26, 613.13.
- f) TELUS Communications Inc. will require a utility right of way in order to provide service to this new development. The Developer shall email circulations@telus.com to initiate the utility right of way agreement.
- g) The Developer shall ensure Erosion and Sediment Control (ESC) measures are in place according to the City of Calgary guidelines before any construction begins. The Developer is responsible for conducting weekly erosion and sediment control inspections in accordance with the City of Calgary guidelines and submit to Engineering Services at esc@airdrie.ca.
- h) Any excess fill must be deposited on a site approved by the City of Airdrie. Please contact the Engineering Services Department at engineering.services@airdrie.ca to discuss fill deposit locations.
- i) The Developer shall ensure the termination of all water and sanitary lines that are not being utilized at the main.
- j) The Developer, not the City of Airdrie, shall responsible for the collection of garbage, waste, compost and recycling.
- k) The Developer shall apply to Engineering Services Department for excavations within public right-of-ways and roads. Contact: engineering.services@airdrie.ca.
- l) The following conditions form part of the accepted Erosion and Sediment Control (ESC,

dated on May 15, 2025):

- The accepted Erosion and Sediment Control (ESC) Plan must be amended when any changes are made. See section 3.1.2 of The City of Calgary Water Resources Erosion and Sediment Control Guidelines.
- Implementation of the Section 6.0 Winterization Plan Winter, found in the accepted ESC Plan, must be considered beginning September 15th and no later than November 14th of each year. Winter is defined as November 15th to April 15th.
- The ESC Plan, accepted by this letter, comes into force:
 - Immediately, if the site has not been stripped and graded or if stripping and grading is complete; or
 - Once stripping and grading, authorized under a separate ESC Plan, accepted by the City of Airdrie Engineering Services, is complete.
- In accordance with the requirements set out in Section 100.18 of the Standard Specifications – ESC, mandatory cover must be installed on a construction site when all or part of the site is left in a state where active construction is not occurring for 30 days. Should all or part of the site be inactive for 365 days or longer, the cover must be in the form of long-term cover (cover which requires limited or no application or ongoing maintenance such as established vegetation).
- It is the responsibility of the applicant to ensure that all other applicable federal, provincial and municipal legislation is adhered to.
- It is the responsibility of the applicant to ensure they obtain permission to cross or use any property outside the approved construction boundary.

m) The following conditions form part of the accepted Fire Flow Letter (dated on May 15, 2025):

- The 2-hour fire-rated firewall that divides the building into two separate fire compartments shall to provide continuous protection from the top of the footings to the underside of the roof deck.
- Any space between the top of the wall and the roof deck shall be tightly filled with mineral wool or non -combustible material.

n) The following conditions form part of the accepted DSSP (dated on June 11, 2025):

- Trees and light poles have been installed along Key Drive. The proposed driveway appears to conflict with an existing tree. Contact Parks for any tree relocation or removal prior to construction. Ensure a minimum horizontal separation of 3.0 meters is maintained between water services and trees.



COMMUNITY INFRASTRUCTURE & STRATEGIC GROWTH – AGENDA REPORT

Meeting Date: 8 July 2025

Subject: Development Permit PL2401878 – 13 Willow Green SW

Directorate: Strategic Growth and Investment

Issue:

The Community Infrastructure and Strategic Growth Standing Committee is being asked to decide on Development Permit PL2401878, which seeks approval for an Accessory Building (detached garage) that requires a variance to the maximum building area coverage and an increase in height.

Policy / Council Direction:

Council adopted a governance structure empowering the Community Infrastructure and Strategic Growth Committee (CISG) to act as the Development Authority for any accessory building exceeding a height limit of 5.5m. In addition, Bylaw Section 6.1 (1)(i)(ii) notes that the height of an Accessory Building can be increased to a height of 7.3 metres from 5.5m through a Development Permit application and evaluated as a Discretionary Use by the Community Infrastructure and Strategic Growth Committee (CISG).

In addition, under Bylaw Section 6.1(1)(h) notwithstanding the lists of Permitted and Discretionary Uses provided in any applicable land use district or Direct Control Bylaw, the development of an Accessory Building over 25.0m² in area that would function as an additional garage where a garage already exists shall be considered a Discretionary Use and require a Development Permit application and approval.

Background:

The subject property is located at 13 Willow Green SW in the Wildflower community. The property is districted R1-U, Urban Standard Residential District which permits accessory buildings. The proposed application is for a two-story garage (detached) which requires a minor variance of 19.3% to the maximum building area coverage and an approval for increase in height exceeding 5.5 m. The proposed height is 6.1m (20 Feet). The garage will provide parking for three vehicles and include a storage area on the second floor. Access to the second floor will be via an exterior staircase at the west side of the garage.

The property is situated on a 669.75 sqm pie-shaped lot, featuring a single detached dwelling with an attached front garage. The adjacent lots to the north, east, and west are districted R1-U, while the properties to the south are primarily zoned R1, with proposed single detached homes which have yet to be constructed. The parcel is accessible via a lane along the south boundary of the property. The proposed garage will be in the southwest corner of the property with direct access from lane.

The purpose of the R1-U district is to provide for residential development in the form of single detached dwellings on narrow lots with front-attached garages. This district is intended to accommodate a range of small lot building typologies, including both wide / shallow and narrow / deep configurations while maintaining minimum standards of the Bylaw for streetscape design, landscaping, and amenity areas.

Land Use Bylaw Review

This review outlines the key aspects of the Land Use Bylaw as they pertain to the proposed development.

Accessory Building Height

The garage is proposed to be 6.1m (20') in height which exceeds the standard maximum height of 5 metres for accessory buildings set by the Land Use Bylaw. However, the bylaw allows for height extensions under certain conditions. Pursuant to Section 6.1(1)(i)(ii), the maximum height of an Accessory Building may be extended up to 7.3m where it is subject to a Development Permit application and evaluated as a Discretionary Use under the authority of the Community Infrastructure and Strategic Growth Committee.

Accessory Building Coverage

The maximum size of garage that can be built is based on the lot area requirements of Section 6.1(1) Table 10. The maximum Accessory Building Coverage has been calculated to be 87.49 sqm. The proposed garage is 104.36 sqm in area which is 16.87 sqm larger than the maximum permitted size. This difference represents a 19.3% variance in area.

Table 10: Accessory Building Coverage

Lot Area	Calculation
Up to 360m ²	20% of the Lot Area
Above 360m ²	20% of the Lot Area for the first 360m ² PLUS 5% of the difference in area above 360m ² Up to a maximum of 90.0m ²

Lot Massing and Coverage

The existing principal dwelling occupies approximately 160.47 sqm of land which is calculated to be 24% lot coverage. The proposed second garage will increase the site coverage by 15.6% bringing the total site coverage to 39.6%, which is below the maximum allowed 55% in the R1-U district.

Massing and Coverage	
Maximum Building Height	11.0m
Maximum Site Coverage	55% of Lot Area
Minimum Landscaping	30% of Lot Area
Minimum Private Amenity Area (8)	60m ² per Lot <u>Bylaw B-31/2023</u>

Other than the increase to the height and its massing, the proposed garage meets all other regulations of the Land Use Bylaw.

Administration Recommendation:

That CISG endorses Development Permit PL2401878 with the conditions and notations outlined in Attachment 6.

Planning Rationale:

1. The proposed garage meets all regulations of Land Use Bylaw B-01/2016 and in the opinion of Administration is in keeping with the Accessory Building regulations as well as the purpose and intent of the R1-U, Urban Standard Residential District.
2. The proposed garage does not appear to unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment, or value of neighbouring parcels of land.
3. The proposed garage meets the expectations of the Airdrie City Plan, specifically Chapter 6 (Community Design and Development), which provides direction for established neighbourhoods. Under this section, the City is directed to support established residential neighbourhoods by encouraging development in ways that will respect the residential context and will complement the established character, scale, and general development pattern of the area.

Alternatives/Implications:

1. CISG could chose to direct Administration to provide additional information or amend the conditions of the report.
2. CISG could choose to provide alternative direction.

Budget Implications:

No budget implications are anticipated because of this development.

Communications and Engagement:

Communications and Engagement: Pursuant to Section 2.4.6 (2) of the LUB, the decision will be advertised in the “City Connection” newspaper and on the City’s website. In addition, a notification letter will be mailed to landowners within 60m of the subject property. A 21-day appeal period will be required from the date of decision.

Recommendation:

That the Community Infrastructure and Strategic Growth Standing Committee approves development permit PL2401878 to allow for the development of the garage at 13 Willow Green SW as per the conditions of approval outlined in Attachment #5.



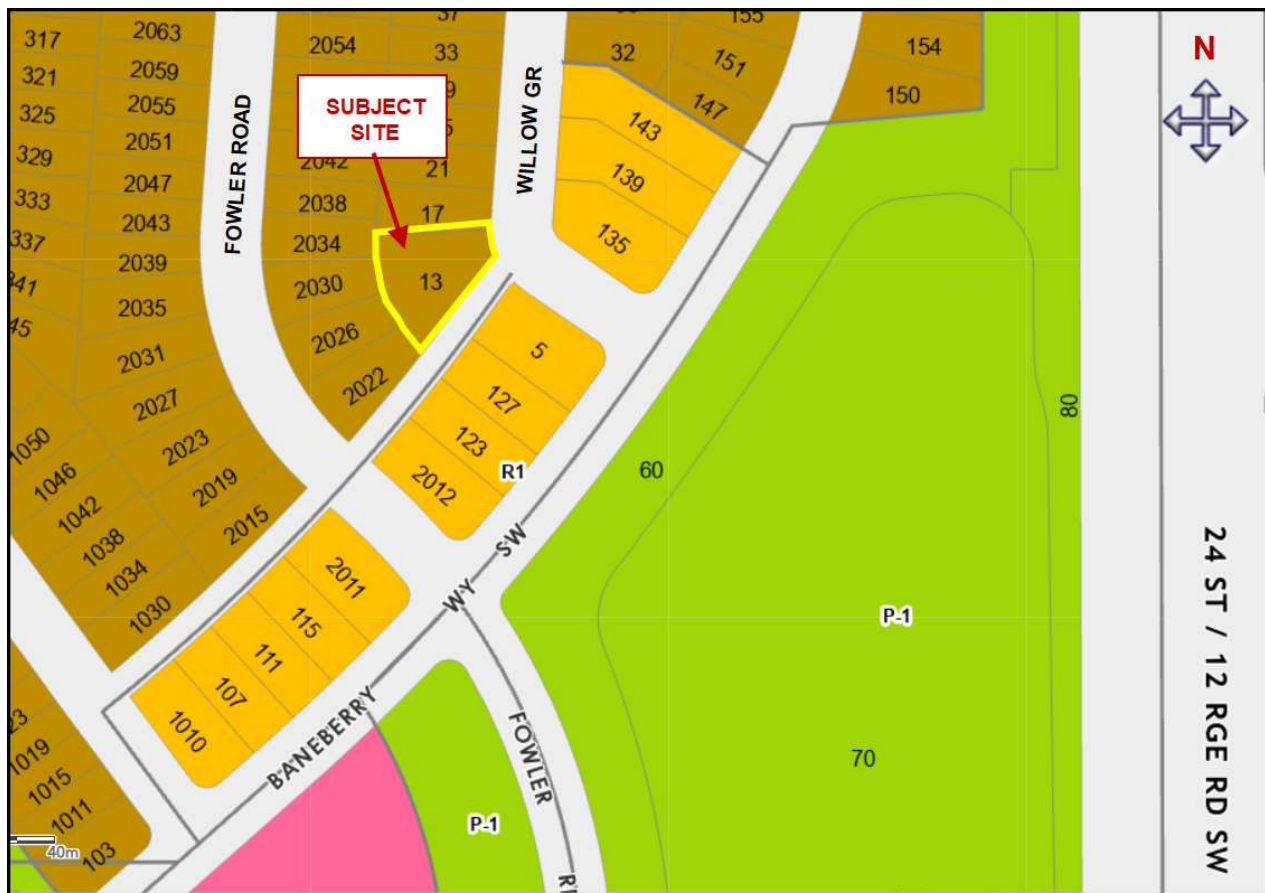
Geoff Rice
Planner I

Staff Presenter:	Geoff Rice
External Presenter:	N/A
Department:	Current Planning
Reviewed by:	Stephen Utz, Director, Strategic Growth & Investment
Attachments:	#1: Site Location and Adjacent Land Uses #2: Application Summary and District Standards #3: Accessory Building Regulations #4: Reference Images #5: Conditions of Approval (Final) #6: Application and Drawings

SUBJECT SITE



ADJACENT LAND USES



APPLICATION DETAILS

Development Permit Number PL2401878 (Detached Garage)

Applicant: Mark Scheck

Landowner: Mark Scheck

Legal Description: Lot: 15, Block: 5, Plan: 2312007

Civic Address: 13 Willow Green SW

Proposed Use: Accessory Building (Detached Garage)

Land Use District: R1-U Urban Standard Residential District

Community: Wildflower

Lot Size: 669.75 sqm

Variances: Minor Variance to Accessory Building Coverage (19.3%)

District Standards

8.5.5 R1-U, Urban Standard Residential District

Purpose and Intent

The purpose of this district is to provide for residential development in the form of single detached dwellings on narrow lots with front-attached garages. This district is intended to accommodate a range of small lot building typologies, including both wide/shallow and narrow/deep configurations that still maintain minimum standards of the Bylaw for streetscape design, landscaping, and amenity area.

Permitted Land Uses	Discretionary Land Uses
Dwelling, Single Detached Dwelling, Secondary Suite Bylaw B-30/2024 Accessory Building Home Business, Limited Child Care, Limited	Dwelling, Garage Suite Bylaw B-30/2024 Home Business, General Supportive Housing, Limited Urban Agriculture Bylaw B-08/2021

Note 1: All land uses are subject to general and use-specific regulations and standards provided in Parts 6 and 7 of this Bylaw.

Development Dimensions

Minimum Dimensions		
Lot/Unit Type	Area	Width (2)
District Standard		
- Recessed Garage	240m ²	9.4m
- Projecting Garage (3)	280m ²	9.7m
Corner Lot	300m ²	11.0m

Minimum Required Setbacks	
Front Yard (4)	3.0m
Side Yard (5)	1.2m
Side Yard, Corner	3.0m
Rear Yard (6), (7)	8.0m

Massing and Coverage	
Maximum Building Height	11.0m
Maximum Site Coverage	55% of Lot Area
Minimum Landscaping	30% of Lot Area
Minimum Private Amenity Area (8)	60m ² per Lot Bylaw B-31/2023

Development Standards

- (1) Signs in this district shall be regulated in accordance with Table S.01
- (2) Notwithstanding the Development Dimensions listed above, no lot shall be created with a Site Frontage less than 6.0m.
- (3) Within this district, a "projecting garage" is where the front face of the garage projects towards the street and is closer to the street than the entry for the dwelling, comprised of the face of the dwelling unit, door, and adjoining porch. A "recessed garage" is where the front face of the garage is level with or recessed behind the entry for the dwelling.
- (4) Notwithstanding the minimum required front yard setback, some lot or building configurations may require a larger setback in order to maintain clearance from any Utility Right of Ways in the front yard, or to accommodate the required 6.0 metre setback from the face of a garage door to the back of sidewalk, or back of curb on streets where no sidewalk is provided (outlined within **Section 7.12** (Driveways and Parking Areas)).
- (5) Notwithstanding the minimum required setbacks listed above, one interior side yard on a lot is permitted to be reduced to 0.6m where the adjoining side yard on the adjacent lot provides a setback of at least 1.2m.
- (6) Notwithstanding the minimum required setbacks listed above, the minimum rear yard setback may be reduced by up to 0.5m for each corresponding 0.305m (1 foot) increase to the lot width above the minimum requirements listed in the dimensions table above. The minimum required rear yard setback cannot be reduced in this way to any less than 5.5m.
- (7) Notwithstanding the provisions of **Section 7.25** (Projections and Encroachments), a deck in the rear yard shall not be permitted to extend into the required rear yard setback in a manner that reduces the remaining rear yard to less than a minimum of 3.0 metres (measured from the edge of the deck to the rear property line).

- (8) In addition to the requirements outlined in **Section 7.4** (Decks and Amenity Areas), the amenity area required in this district shall be provided as one contiguous area with a minimum dimension of at least 5.5m. The overall amenity space may be split for different uses and functions (e.g. a raised deck and yard) as long as both are part of the same contiguous area.
- (9) Notwithstanding the standards outlined in **Section 7.15** (Garage and Carport Requirements), up to 35% of the lots within a subdivision phase are permitted to be designed with a width of less than 10.36m and accommodate a 6.1-metre-wide garage, provided that:
- (a) Any such lots are interspersed within the subdivision to the satisfaction of the Development Authority;
 - (b) The width of any such lots is not less than the minimum that would be applied by the District Standard under the Minimum Dimensions listed above;
 - (c) Any additional lots less than 10.36m wide shall be developed in accordance with the regulations in **Section 7.15** (Garage and Carport Requirements) unless otherwise approved through a Development Permit issued by the Development Authority, and;
 - (d) For any subdivision less than 10 lots, the application of this standard shall be at the discretion of the Development Authority.
- (10) As part of a Subdivision Application, the applicant shall provide a set of design criteria that would create a streetscape deemed acceptable to the Approving Authority. The design criteria may include part or all of the following elements:
- (a) Placement of houses with the same elevations and colour treatment next to each other;
 - (b) Separation of identical unit elevations;
 - (c) The intended mix of model types, elevations, and architectural styles;
 - (d) Locating and orientating the front façade wall as close to the front lot line where possible;
 - (e) Ensuring that entry doors are visible from the street;
 - (f) Wrapping façade treatments on corner lots around the side of the building to provide a consistent profile along both facing streets;
 - (g) Consistent treatment of all visible side and rear elevations where they are exposed and visible from a public space, including environmental reserve, school sites, arterial roads (etc.);
 - (h) Compatibility of buildings which are adjacent or opposite one another in massing and height to avoid extreme variation in massing.
- The Development Authority may accept these architectural controls or design criteria for multiple subdivision phases or as part of a Neighbourhood Structure Plan.
- (11) Notwithstanding the maximum required setbacks listed above, the maximum building height may be increased by up to 0.25m for each corresponding 1.0m increase to the lot width above the minimum requirements listed in the dimensions table above. The maximum building height cannot be increased in this way to any height greater than 12.0m.

[Bylaw B-41/2018](#)
[Bylaw B-19/2019](#)
[Bylaw B-04/2024](#)
[Bylaw B-26/2024](#)

Accessory Building Regulations

6.1 Accessory Buildings

(1) In Residential Districts:

- (a) An Accessory Building must not be developed prior to development of the principal building on the same site.
- (b) Where an Accessory Building, other than a garage, is attached to the principal building by an open or enclosed roofed structure it is considered a part of the principal building and subject to the setback requirements for the principal building.
- (c) An Accessory Building shall not be used as a residence, or for a Home Business, unless that use is specifically allowed by a provision of this Bylaw and has received a Development Permit.
- (d) An Accessory Building shall not be located in a front yard.
- (e) An Accessory Building shall not be located in an interior side yard along the length of the principal dwelling, unless a clear distance of not less than 1.2m is maintained between the Accessory Building and the interior side yard property line.
- (f) An Accessory Building shall have a residential character and shall be finished in a manner compatible with the character and appearance of the principal building.
- (g) Garages in residential districts shall also meet all requirements and development standards of the land use district in which it is located, as well as those outlined within **Section 7.15** (Garage and Carport Requirements)
- (h) Notwithstanding the lists of Permitted and Discretionary Uses provided in any applicable land use district or Direct Control Bylaw, the development of an Accessory Building over 25.0m² in area that would function as an additional garage where a garage already exists shall be considered a Discretionary Use and require a Development Permit application and approval.

[Bylaw B-27/2023](#)

- (i) Unless otherwise specified in this Bylaw or by a Development Permit, the maximum height of an Accessory Building is 5 metres, or the height of the principal building on the site, whichever is less.
 - i. The maximum height of an Accessory Building may be extended up to 5.5 metres where it is subject to a Development Permit application, evaluated as a Discretionary Use under the authority of the Development Officer, and has regard to suitable architectural design, building placement, and landscaping to impacts on the surrounding properties to the satisfaction of the Development Authority.
 - ii. The maximum height of an Accessory Building may be extended up to 7.3 metres where it is subject to a Development Permit application, evaluated as a Discretionary Use under the authority of the Planning Commission, and has regard to suitable architectural design, building placement, and landscaping to impacts on the surrounding properties to the satisfaction of the Development Authority.
 - iii. A Development Permit application for ii. above shall include renderings of the proposed building showing how it would be viewed from at least two adjoining properties.

[Bylaw B-13/2021](#)

- (j) Where an amenity area is provided on the roof of an Accessory Building, it shall meet all of the standards and requirements for amenity area on the roof of Accessory Buildings, as outlined within **Section 7.4(5)** (Decks and Amenity Areas).

[Bylaw B-25/2019](#)

- (k) An Accessory Building in a residential district must meet the following setback requirements:
 - i. Minimum of 3.0m setback from any corner side yard;
 - ii. Minimum of 0.6m setback from any other side yard;
 - iii. Minimum of 0.6m setback from any rear yard;
 - iv. Minimum of 1.0m separation from the principal building on the site;
- (l) Notwithstanding the above setback requirements, where a residential site abuts a lane with a width of 6.7m or less, the Development Authority may require a rear yard setback greater than that listed above in order to achieve a combined distance of 7.3m or greater between the Accessory Building apron and the width of the rear lane.

- (m) Notwithstanding the above setback requirements, garages in residential districts may have one required side yard reduced to 0.0m at the discretion of the Development Authority, where the garage is designed to share a common wall with another garage on the adjacent site.
- (n) The maximum combined coverage of all Accessory Buildings shall not exceed the coverage of the principal building(s) on the lot, and otherwise shall be as outlined in **Table 10** (Accessory Building Coverage), below:

Table 10: Accessory Building Coverage

Lot Area	Calculation
Up to 360m ²	20% of the Lot Area
Above 360m ²	20% of the Lot Area for the first 360m ² PLUS 5% of the difference in area above 360m ² Up to a maximum of 90.0m ²

[Bylaw B-13/2021](#)

- (2) In Rural Districts:
 - (a) On parcels over 16.0 hectares (40.0 acres) in area that contain an agricultural use, portable cylindrical grain bins and 3-sided stock shelters less than 27.9m² (300 square feet) are not required to meet minimum setback requirements, except no bins or stock shelters shall be placed within 30.0 m (98.4 feet) of a corner of the site that is formed by the intersection of two roads.
- (3) In Non-Residential Districts:
 - (a) An accessory building must not be developed prior to the issuance of a Development Permit for the principal building.
 - (b) An accessory building in a non-residential district is part of a principal use of the site on which it is located, and must be in compliance with the development regulations of the district.
 - (c) Accessory buildings shall have the same height limits and setback requirements as for the principal building, unless otherwise specified in the District.
 - (d) Notwithstanding the above, accessory buildings shall not be located in front of the principal building(s).
 - (e) Fabric Covered Storage Structures are not permitted in a Residential, Mixed Use, Commercial or Office Park Employment District (IB-O), but may be used in other districts, provided the following requirements are met:
 - i. The structure shall not be located in front of the principal building;
 - ii. The structure shall meet the setback requirements of the district and shall be screened and oriented to reduce any visual impacts to the satisfaction of the Development Authority.
 - iii. The structure shall not exceed the maximum height requirement identified for the land use district in which it is located.
 - (f) A Fabric Covered Storage Structure proposed in an Industrial District, other than the Office Park Employment District (IB-O), shall be considered an Accessory Building and shall be subject to the issuance of a Development Permit.
- (4) The use of a Shipping Container/Sea Can Storage Container as an Accessory Building:
 - (a) Shall be subject to an application for Development Permit;
 - (b) May only be permitted in industrial, public, and rural districts;
 - (c) Shall meet all provisions outlined in **Section 7.23** (Outdoor Storage).

[Bylaw B-50/2021](#)

REFERENCE IMAGES





Looking SE across from
location of proposed garage



CONDITIONS OF APPROVAL & ADVISORY COMMENTS

Conditions of Approval

1. This development permit authorizes the development of a which is an Accessory Building (Detached Garage) in the R1-U, Urban Standard Residential District, on the lands legally described as Lot 15, Block 5, Plan 2312007.
2. All development, including the location, orientation, capacity, intensity, and use of buildings and any landscaping and site improvements, must be completed in accordance with Approved Plans.
3. Any changes to the design, format, location, orientation, capacity, intensity or use of any part of the development requires approval by the Development Authority.
4. All development must be carried out in accordance with the Land Use Bylaw and the Engineering Standards.
5. The Accessory Building Coverage is varied by 19.3 %, from 87.49 sq. m. to 104.36 sq. m.
6. The area around the construction site shall be kept clear of equipment and debris, and construction materials, including garbage, shall be stored so as not to create a nuisance to neighbouring properties.

Advisory Comments

- a) The detached garage shall not be used or converted into an accessory suite. Any future proposal to use or convert the detached garage to an accessory suite will require a separate development permit application, which must be reviewed and approved by the Development Authority.
- b) It is the responsibility of the applicant/owner to meet all conditions of approval.
- c) All contractors working on this development may require a valid Airdrie Business License prior to the commencement of any work and must maintain the license for the full duration of the construction period.
- d) All other necessary permits and inspections are the responsibility of the applicant including, but not limited to, Building Permits and Fire Approval and shall be submitted to the City as required.
- e) Please contact the Building Department at 403-948-8832 and/or the Fire Department at 403-948- 8880.
- f) The allocation of parking stalls between tenants is the responsibility of the landowner.
- g) The Developer is responsible for complying with all relevant municipal, provincial, and federal legislation.
- h) The Developer shall contact utility providers (gas, electric, telecommunications) and arrange for utilities to be installed or relocated in accordance with the utility provider requirements, at the Developer's sole cost.

Development Permit

Application for Development Permit

Property Information

Municipal Address (if applicable)

13 Willow Green SW Airdrie AB T4B 5M3

Legal Description (all/parts of)

Lot 15

Block 05

Registered Plan 2312007

Development Proposal

Description Detached Garage

Proposed Use Personal use

Authorization & Consent

☐ **Use of Information**

I hereby consent to the use of information included in this application for promotional purposes, news, research and/or educational purposes.

☒ **Right of Entry**

I authorize Planning Department staff to access my property for the purposes of evaluating this application.

Declarations

Name of Applicant:

* MARK SCHECK

Signature of Applicant:

* 

Date: AUGUST 28, 2024

Application Info (for office use only)

DP #

Fees \$

Receipt #

Date

Approved By

☐ CISG / ☐ DO / ☐ SDAB

Refused By

☐ CISG / ☐ DO / ☐ SDAB

Permit Issuance

Permit Expiry

Applicant

Name Mark SCHECK

Business Name

Mailing Address 13 Willow Green SW

City Airdrie

Province ALBERTA

Postal Code T4B 5M3

Phone (403) 850-9908

Email (required) markscheck1@gmail.com

Registered Landowner (if not the applicant)

Name

Business Name

Mailing Address

City

Province

Postal Code

Phone

Email (required)

The information on this form is collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy Act and the Land Use Bylaw. It is used solely for Planning, Engineering, Economic Development, and Assessment/Taxation purposes. Questions on collecting this information can be directed to the Team Leader, Planning & Development Department at 400 Main Street SE, Airdrie, Alberta, T4B 3C3, telephone 403-948-8832.

See reverse for application requirements

Development Permit

Minimum Application Requirements

Item	Format Requirements
<input checked="" type="checkbox"/> Application Fee	See the current Planning Fee Schedule
<input type="checkbox"/> Authorization Letter	An original letter of authorization from the registered landowner. (if the applicant is not the landowner)
<input checked="" type="checkbox"/> Certificate of Title(s)	One copy of the property Certificate of Title dated no later than 30 days from the date of the application. For a copy of the Certificate of Title(s), visit the land titles website at www.spin.gov.ab.ca or visit a local registry office.
<input checked="" type="checkbox"/> Site Plan	8.5" x 11" or 11" x 17" sized scaled plan showing (dimensions in metric): <ul style="list-style-type: none"> • Legal description, address, legal description, land use designation(s) • Coloured Context Plan and rendering • Site area, total gross floor area of building(s), gross floor area of each bay/unit, coverage of building(s), total lot coverage • Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) • Building setbacks • All easements (i.e., utility rights-of-way) • Fencing/gates • Garbage enclosure location(s) • Lighting location(s) • Other amenity location(s) (i.e., benches) • Snow storage location(s) • Sign location(s) • Bicycle rack location(s) • Parking stall locations and number • Access points • Internal roads, sidewalks, and pathways, etc. • Abutting roads, sidewalks, and pathways, etc.
<input type="checkbox"/> Coloured Landscaping Plan	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • Site area, coverage of landscaping • Natural features of the land • Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) • Number, location, size, height, type of plantings (trees and shrubs) • Berming • Method of irrigation
<input checked="" type="checkbox"/> Floor Plan(s)	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • The layout of the interior and exterior walls and identification of all proposed and existing rooms on all floors (including mezzanine areas), their uses, floor area, and TOTAL floor area. • All doors, stairs, and window locations.
<input checked="" type="checkbox"/> Coloured Elevation Plan(s)	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • All sides, including a description of the exterior finishing materials and Fascia sign details (if any).
<input type="checkbox"/> DSSP	Engineered stamped scaled drawing set, including: <ul style="list-style-type: none"> • Site Servicing Plan • Grading Plan • Stormwater Management Plan (and calculations) • Erosion and Sediment Control Plans

The above list is a generalized list of requirements. The Development Authority may require additional information (see Land Use Bylaw No. B-01/2016).



LAND TITLE CERTIFICATE

S

LINC SHORT LEGAL
0039 659 115 2312007;5;15

TITLE NUMBER
241 125 726

LEGAL DESCRIPTION
PLAN 2312007
BLOCK 5
LOT 15
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;1;27;10;SE

MUNICIPALITY: CITY OF AIRDRIE

REFERENCE NUMBER: 231 312 781 +42

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
241 125 726	21/05/2024	TRANSFER OF LAND		\$822,144	SEE INSTRUMENT

OWNERS

MARK SCHECK

AND

ERIN SCHECK

BOTH OF:

13 WILLOW GREEN SW

AIRDRIE

ALBERTA T4B 5M3

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
231 312 784	12/10/2023	UTILITY RIGHT OF WAY GRANTEE - THE CITY OF AIRDRIE. AS TO PORTION OR PLAN:2312008

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
241 125 726

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
231 312 787	12/10/2023	CAVEAT RE : EASEMENT AND RESTRICTIVE COVENANT
231 312 788	12/10/2023	RESTRICTIVE COVENANT
231 368 620	29/11/2023	ENCUMBRANCE ENCUMBRANCEE - 1811126 ALBERTA LTD. 2500, 450 - 1 STREET S.W. CALGARY ALBERTA T2P5H1
241 125 727	21/05/2024	MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE EAST 10205-101 STREET NW, 5TH FL EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$675,000

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 28 DAY OF AUGUST,
2024 AT 10:20 A.M.

ORDER NUMBER: 51467344

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Date Printed: April 16, 2025

SCHECK, MARK
13 WILLOW GREEN SW
AIRDRIE, AB T4B 5M3

TIME EXTENSION APPROVAL LETTER

Application Number: PL2401878
Proposed Use: Accessory Building (Detached Garage)

Property Address	Legal Description
13 WILLOW GREEN SW, AIRDRIE, AB	Lot: 15, Block: 5, Plan: 2312007

Dear Mr. Scheck,
In response to your time extension request received within the requisite 40-day period, the City of Airdrie hereby grants a 6-month time extension for the commencement of Development Permit PL2401878.

The new commencement period shall begin on April 16, 2025, and expire on October 16, 2025.

Yours truly,



Geoff Rice
Current Planning
City of Airdrie

Shop
Storage

1118 SqFt
605 SqFt

Total Structure

1720 SqFt

Scheck



General Notes:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, AND ENGINEERING PACKAGES PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL BUILDING CODES AND LOCAL CODES.

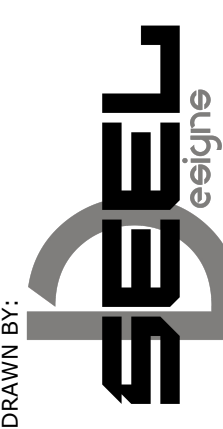
CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. IT IS UPON THE BUILDER OR CONTRACTOR TO CONSTRUCT ALL STRUCTURES TO THE FEDERAL AND/OR MUNICIPAL BUILDING CODE.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Non structural components of the house exterior may not look as depicted, this is a just a visual illustration.



DRAWN BY:



SHEET TITLE:

Scheck

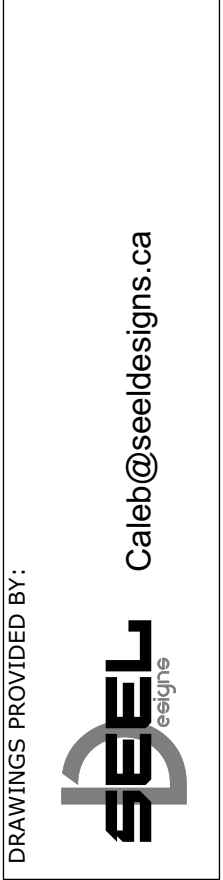
SHEET TITLE:

Permit Plan

PROJECT DESCRIPTION:

13 Willow Green SW
Airdrie, AB T4B 5M3

DRAWINGS PROVIDED BY:

Caleb@seeldesigns.ca

DATE:

5/20/2025

SCALE:

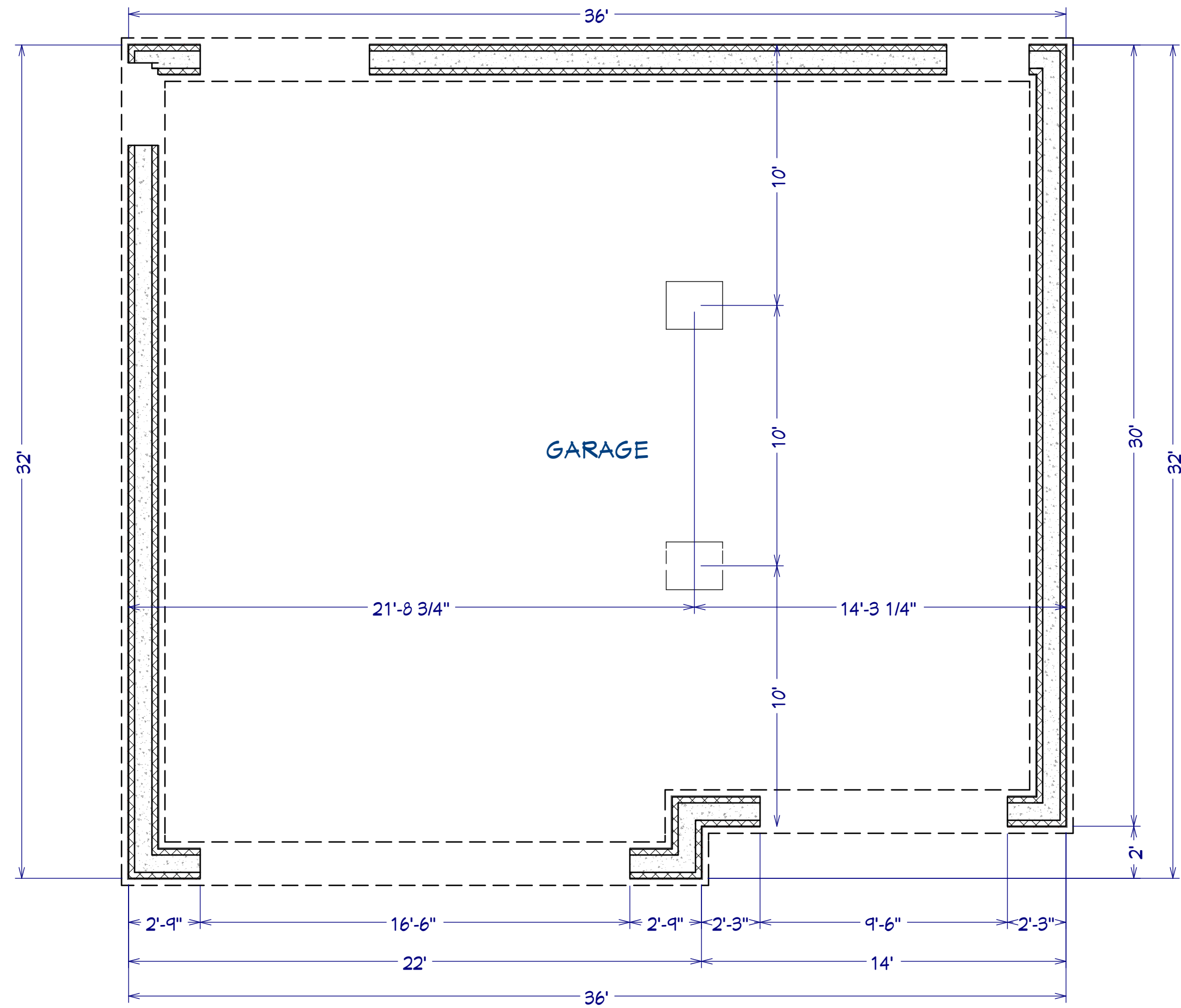
SHEET:

A-1

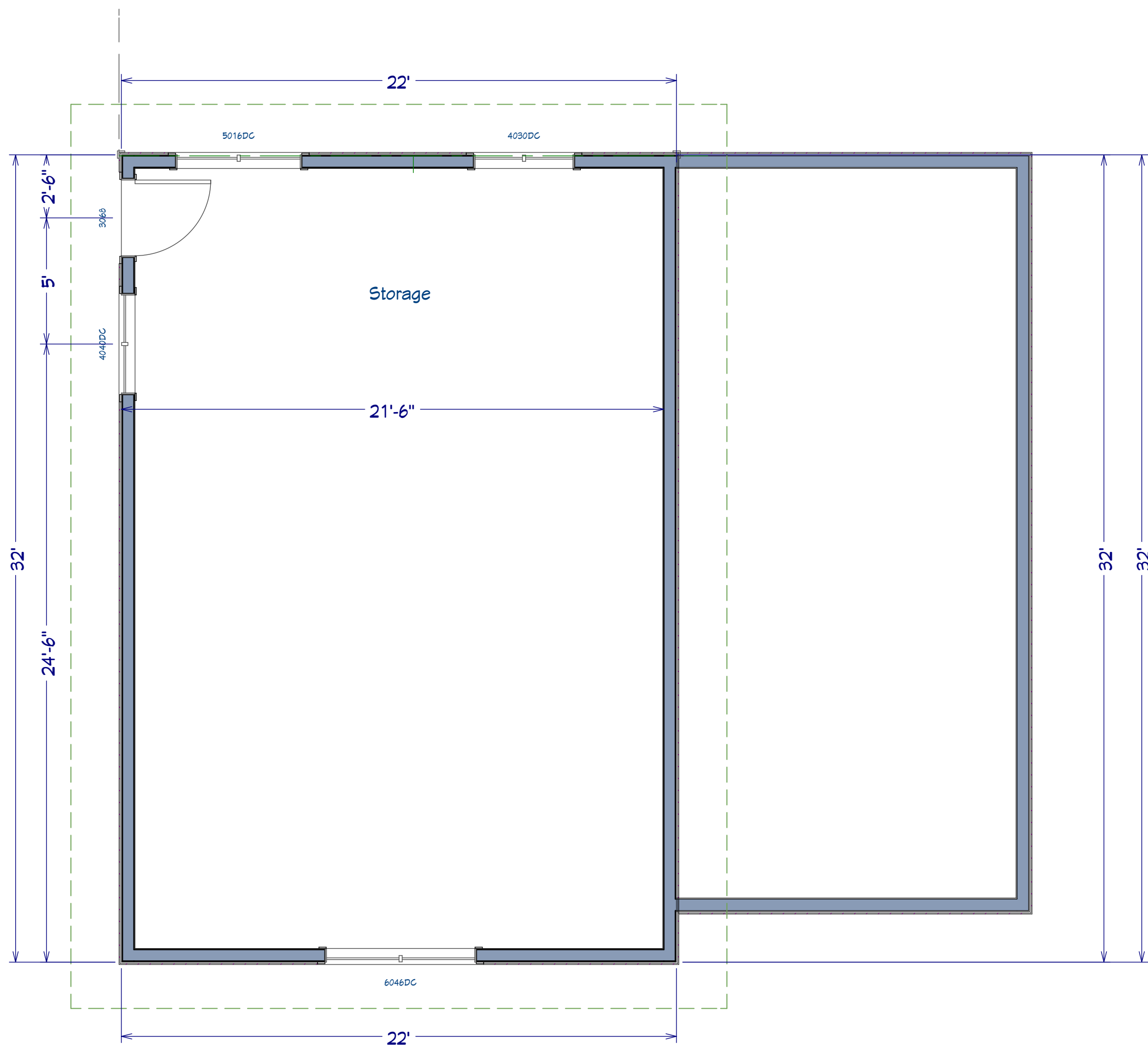
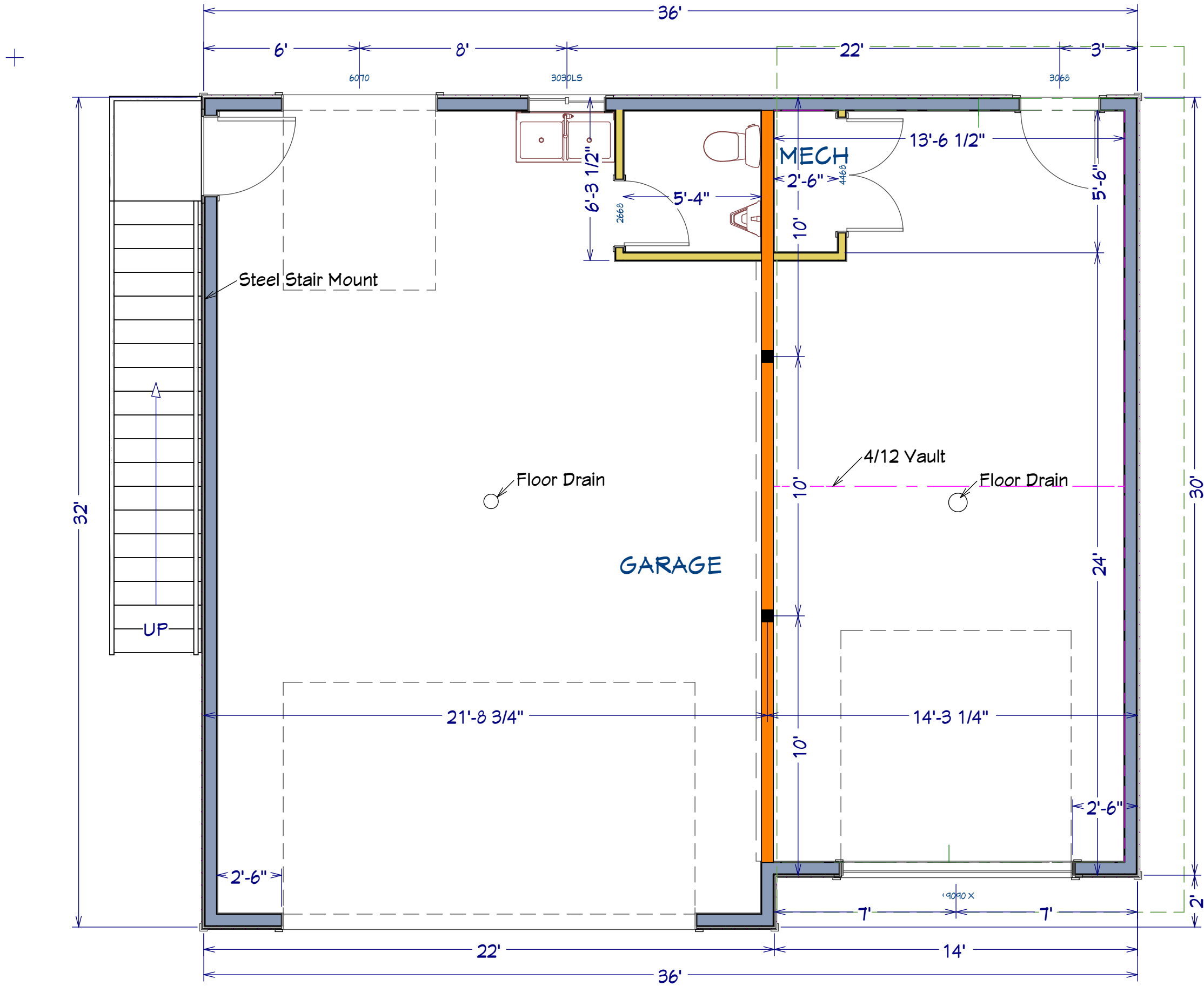
Rendering



Foundation



Main Floor



LIVING AREA
100 SQ FT

Upper Floor

2 X 6 EXTERIOR WALL

2 X 4 INTERIOR WALL

2 X 6 INTERIOR WALL

ICF FOUNDATION

1. ROOF CONSTRUCTION

ROOFING MATERIAL
1/2" PLYWOOD OR 1/16 OSB SHEATHING
w/ H-CLIPS
ENGINEERED TRUSSES @ 24" o/c
BLOWN-IN R-52 INSULATION
6mm POLY VAPOR BARRIER
5/8" FG GYPSUM BOARD
RIDGE VENTING

EXTERIOR WALL

HARDY SIDING
5/8 EXTERRA
BUILDING PAPER
1/2" SHEATHING
2X6 STUDS @16" O/C, C/W R-22 BATT INSULATION
6MM POLY VAPOR BARRIER
1/2" GYPSUM BOARD
5/8 ANCHOR @ 36" O/C - 4" EMBEDMENT

3. INTERIOR WALL

1/2" GYPSUM BOARD
2x4 FRAMING @ 16" O/C
1/2" GYPSUM BOARD

4. SECOND FLOOR CONSTRUCTION

FINISH FLOOR
3/4" T&G SUBFLOOR
FLOOR TRUSSES WITH ENGINEERED
BEAMS PER SPEC

5. FOUNDATION WALL

PEEL AND STICK MEMBRANE TO GRADE
4" BIG O PERFORATED PIPE AROUND THE PERIMETER
OF THE FOUNDATION. MIN 6" WASHED ROCK
ABOVE AND BELOW THE PIPE
13 1/2" ICF WALL W/ 8" CONCRETE
R/W 10M HORIZONTAL REBAR ON 16" CENTERS
AND 15M VERTS ON 24" CENTERS
1/2" GYPSUM BOARD

6. CONCRETE FOOTING

MIN. 20" x 8" CONG. STRIP FOOTING
2 15MM CONTINUOUS REBAR
**ALL FOOTING TO BE ON
UNDISTURBED SOIL OR
REINFORCE AS REQUIRED

7. WEEPING TILE

6" WASHED ROCK
OVER 4" DIA. WEEPING TILE
FOUNDATIONS MUST BE DRAINED

8. FASCIA

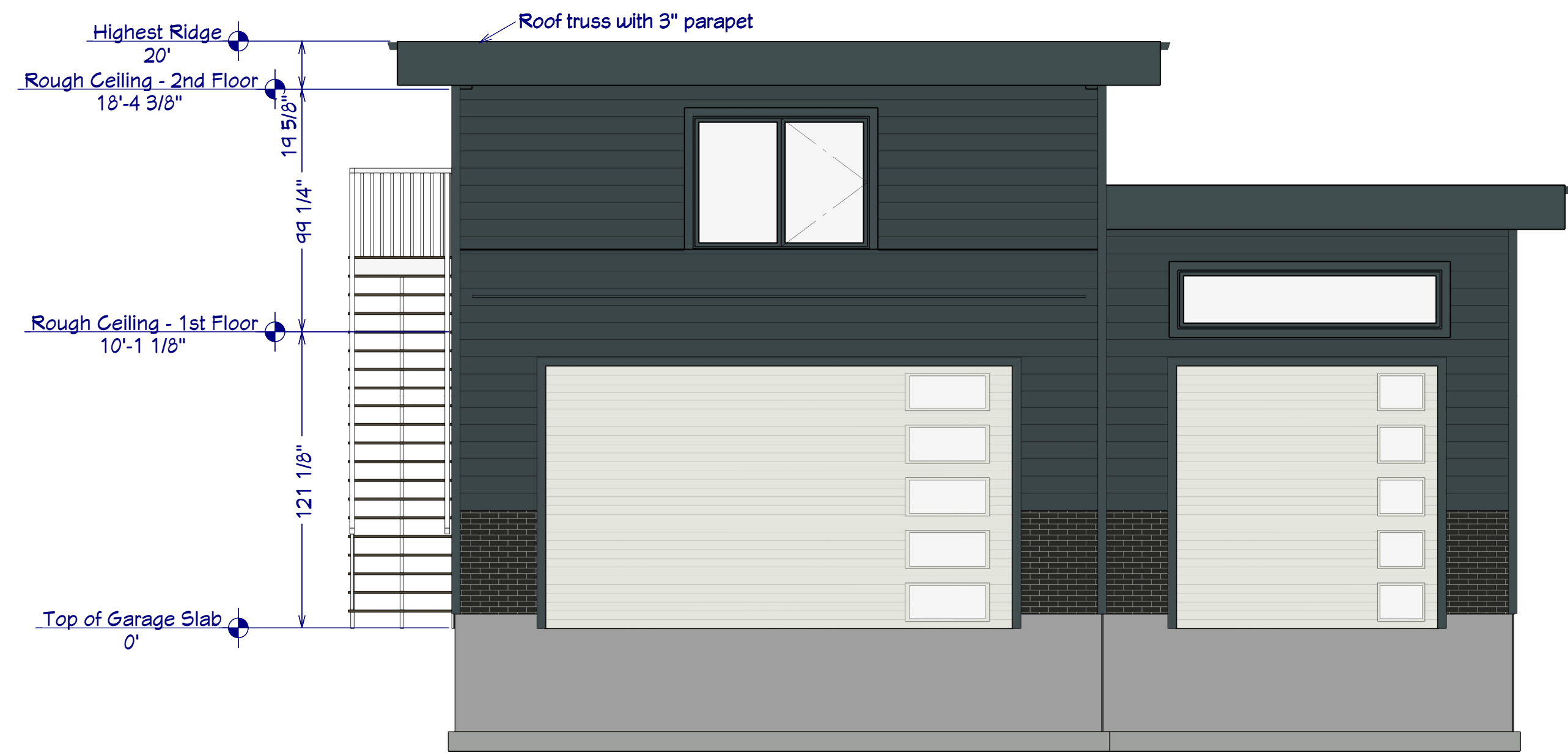
PREFINISHED ALUMINUM FASCIA
ON 2x6 NAILER c/w PREFINISHED
ALUMINUM VENTED SOFFIT

9. CEILING SPACE

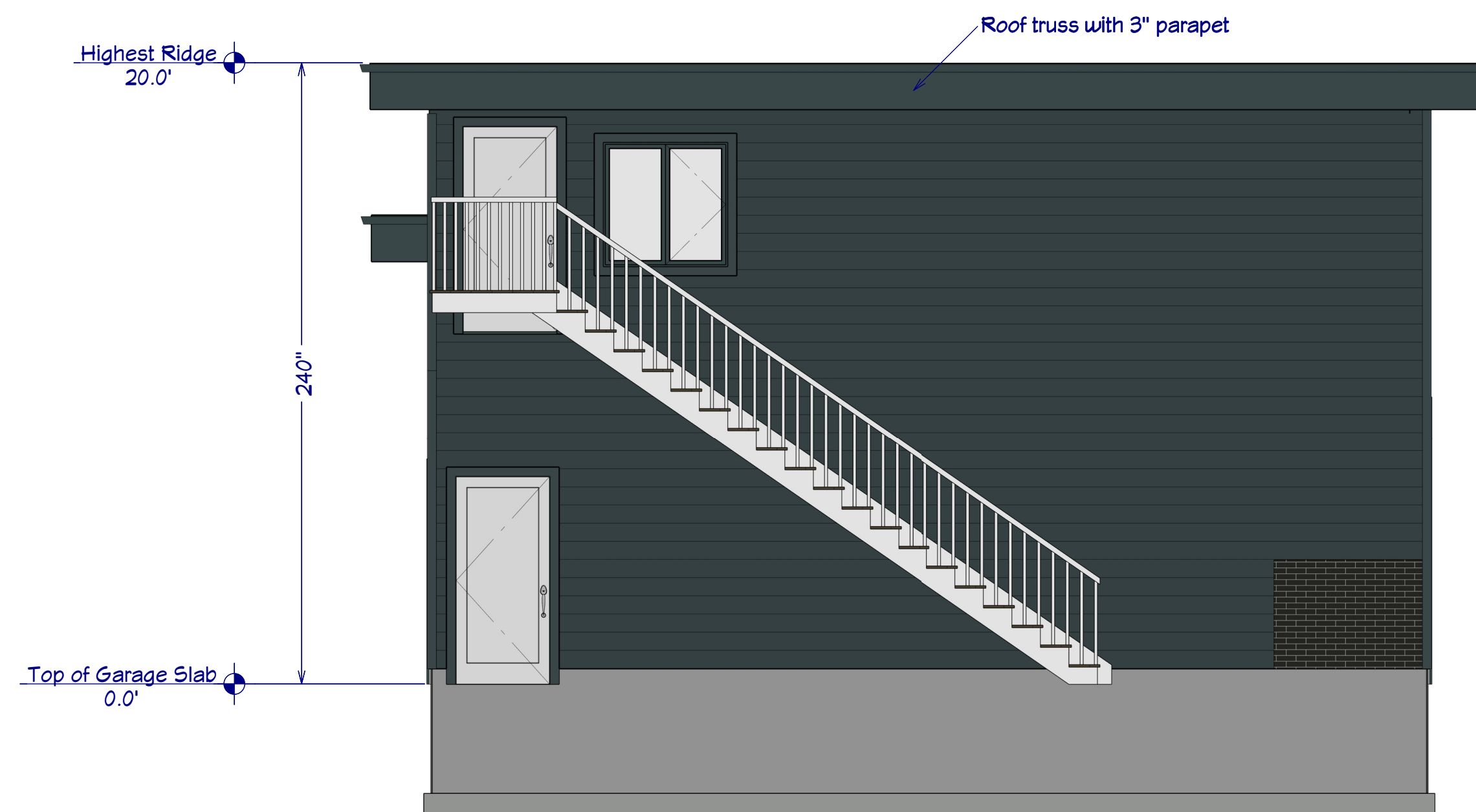
INSULATION STOPS IN EACH TRUSS
SPACE c/w 1" AIR SPACE
ROOF VENTS TO PROVIDE 1 SQ.
FT. VENTING PER 300 SQ. FT.
OF INSULATED CEILING AREA

10. GARAGE FLOOR

4" CONCRETE GARAGE SLAB 30 MPA
R/W 10mm REBAR 16" OC
MIN. 8" COMPACTED FILL
3" SLOPE TO FRONT OR CENTER
RUN FLOOR OVER BUCKS



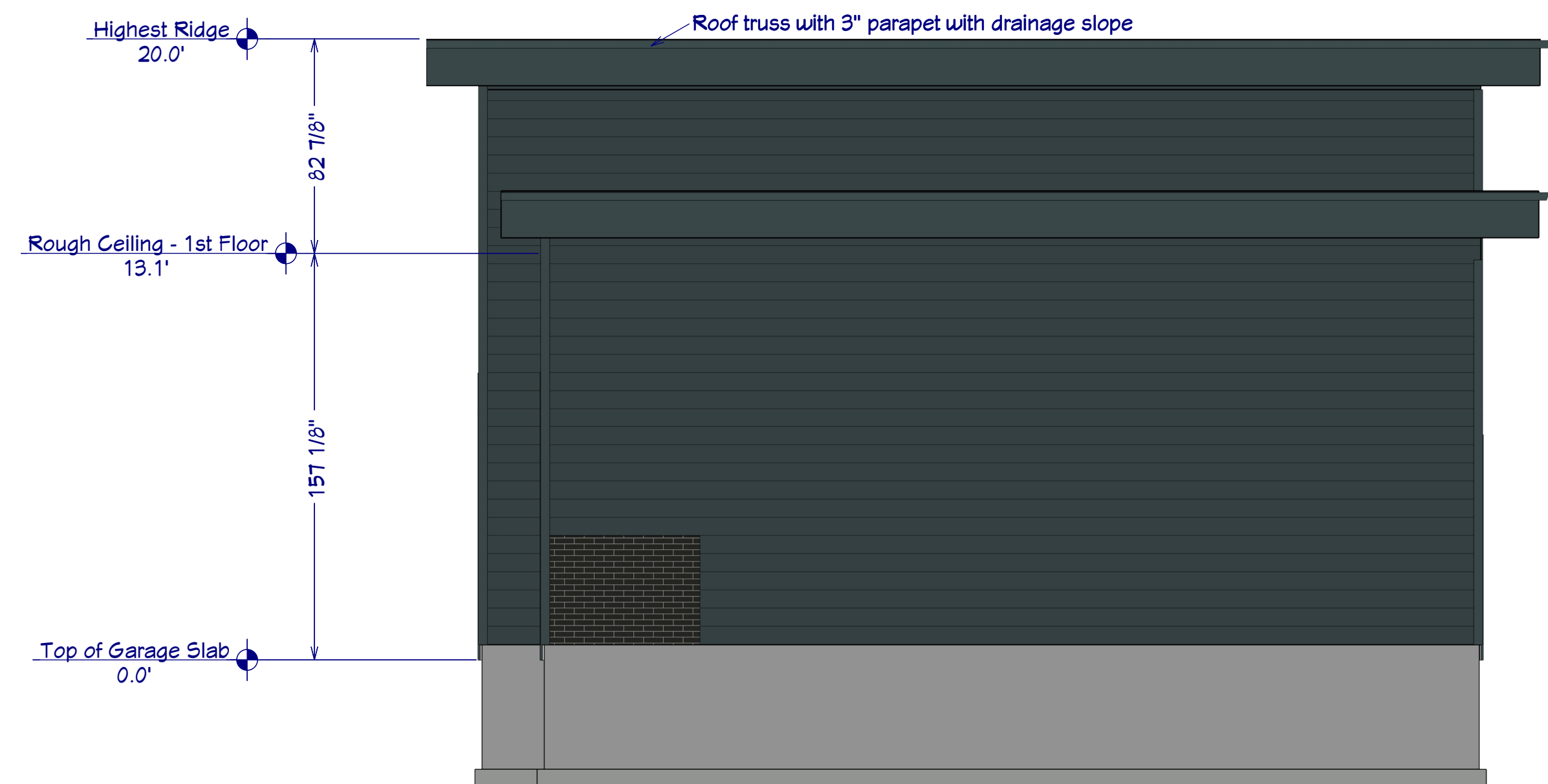
1 Front Elevation
1/4" = 1'-0"



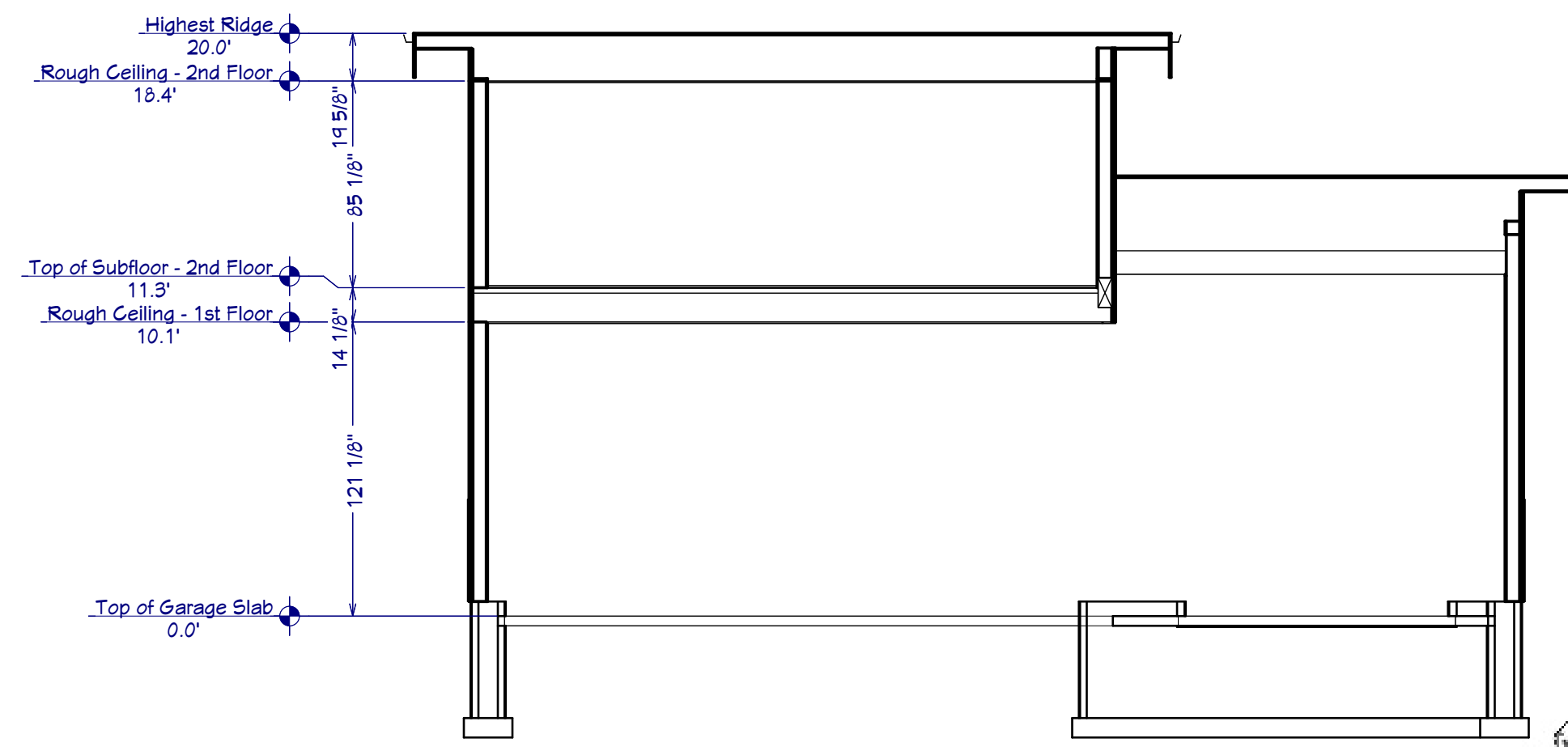
2 Left Elevation
1/4" = 1'-0"



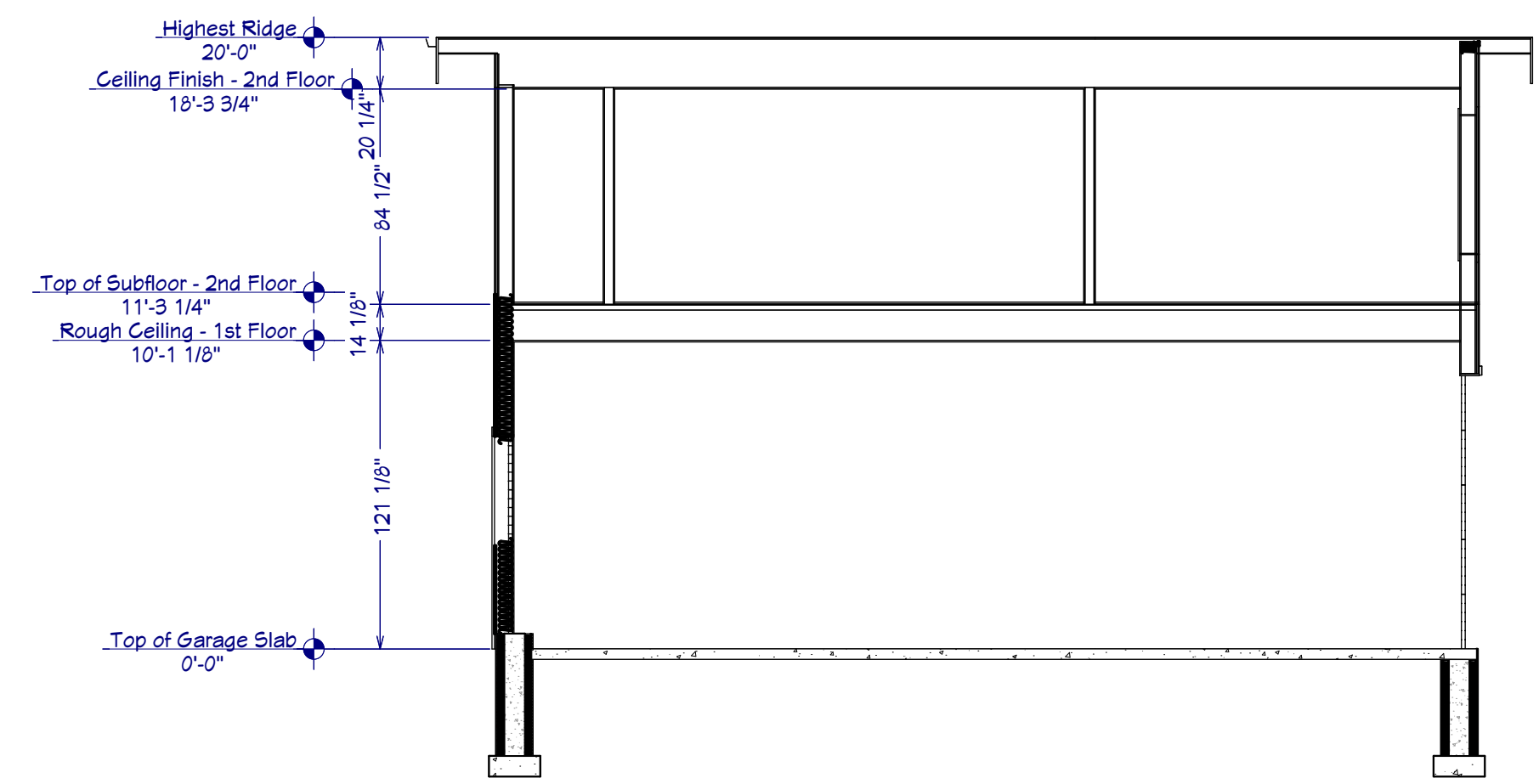
4 Back Cross Section
1/4" = 1'-0"



3 Right Side Cross Section
1/4" = 1'-0"

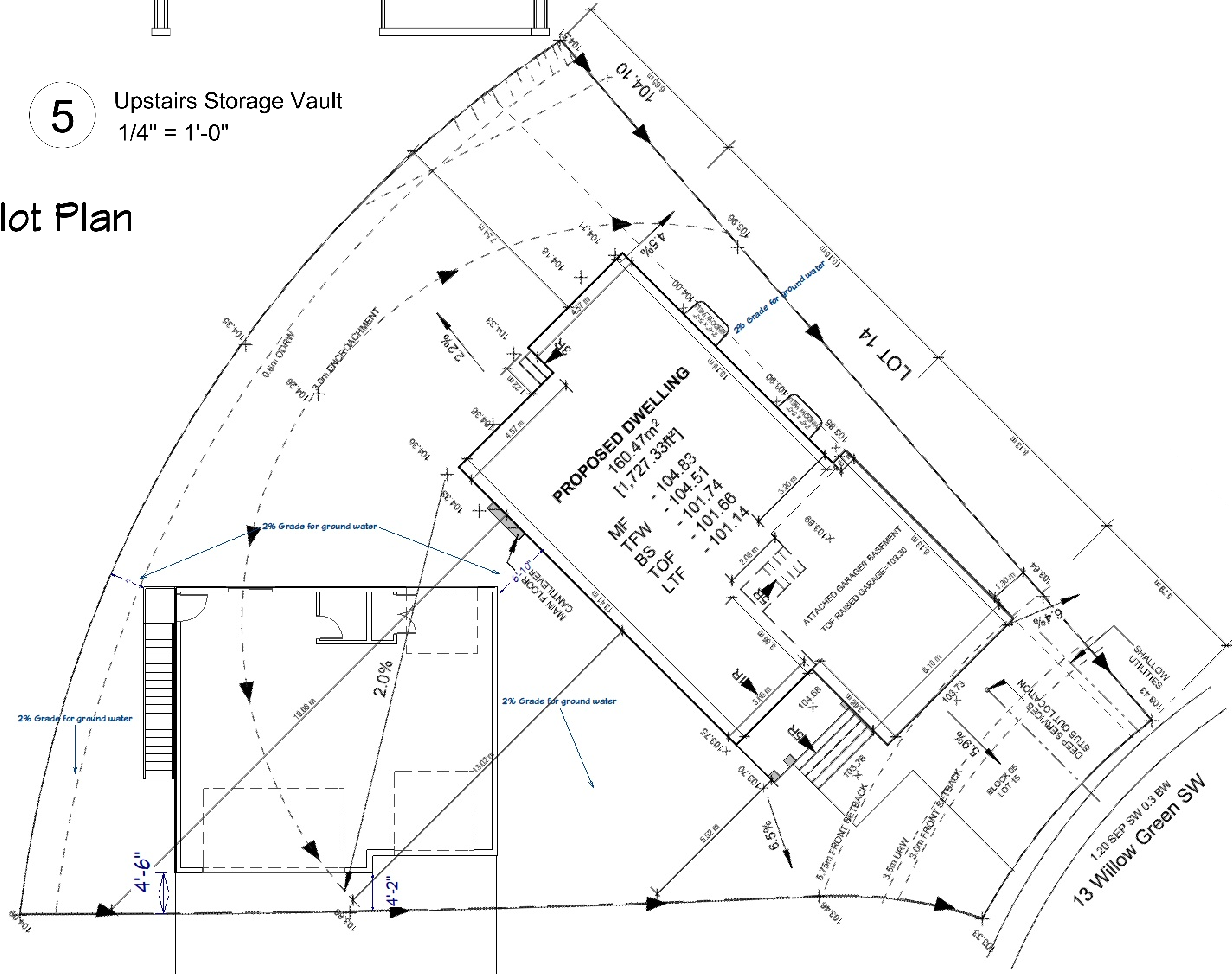


5 Upstairs Storage Vault
1/4" = 1'-0"



7 Lowered Ceiling Section
1/4" = 1'-0"

Plot Plan



SEEL designs

DRAWN BY:

Scheck

SHEET TITLE:

Permit Plan

PROJECT DESCRIPTION:

13 Willow Green SW
Airdrie, AB T4B 5M3

DRAWINGS PROVIDED BY:

SEEL designs

Caleb@seeldesigns.ca

DATE:

5/20/2025

SCALE:

No Scale

SHEET:

A-4