



MULTI-FAMILY TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

ISSUE DATE : 24\_10\_07

REVISION DATE : 25\_06\_09

#202, 4216 10 STREET NE,  
CALGARY, AB.  
T2E 6K3

P:403.203.1970 F:403.203.1990  
info@tricordesigns.com  
www.tricordesigns.com

LIST OF DRAWINGS:

A-001	SITE PLAN / GRADES
A-002	SITE PLAN / DIMENSTIONS
A-003	FIRE ACCESS ROUTE DISTANCE
A-004	FIRE TRUCK MANEUVER
A-005	PROPOSED SILO TRUCK ROUTE/COLLECTION
A-006	LIMITING DISTANCE
A-007	LANDSCAPE
A-008	LIGHTING
A-009	ELEC & GASMETER
A-010	SIGNS
A-011	PHASES
A-012	DETAILS
INFO-001	SNOW STORAGE
INFO-002	AMENITY SPACES
A-013 : A-022	BLDG 1
A-023 : A-032	BLDG 2
A-033 : A-044	BLDG 3
A-045 : A-056	BLDG 4
A-057 : A-068	BLDG 5
A-069 : A-080	BLDG 6
A-081 : A-091	BLDG 7
A-092 : A-098	BLDG 8







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# MULTI-FAMILY TOWNHOMES

## 3010 KEY DRIVE SW

### LOT 1, BLOCK 1, PLAN 2312456

ISSUE DATE :

24\_10\_07

REVISION DATE :

25\_05\_14

#### LEGAL DESCRIPTION:

LOT 1, BLOCK 1, PLAN 2312456

#### MUNICIPAL ADDRESS:

3010 KEY DRIVE, AIRDRIE, AB

#### LAND USE CLASSIFICATION:

LOT AREA: 8104.625 m<sup>2</sup>  
MAXIMUM BUILDING HEIGHT: 13.0m/3 STOREYS

#### GENERAL CALCULATIONS:

PROPOSED BUILDINGS AREA: 3323.715 m<sup>2</sup>  
% COVERAGE: 41.01%

#### GENERAL REQUIREMENTS:

THE CITY OF AIRDRIE LAND USE BYLAW B-01/2016  
THE KEY RANCH NEIGHBOURHOOD STRUCTURE PLAN  
THE WEST HILLS COMMUNITY AREA STRUCTURE PLAN

#### PROJECT SETBACK REQUIREMENTS:

1. MINIMUM 3.00m FRONT SETBACK
2. MINIMUM 1.50m FROM SIDEYARD
3. MINIMUM 4.50 m FROM REAR YARD
4. MAXIMUM BUILDING HEIGHT 13.0m/3 STOREYS

#### NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM 24TH STREET WEST BECAUSE IT IS NON-CONSTRUCTED
- TOWN BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

#### NOTE:

- ALL CONSTRUCTION ACTIVITIES WILL BE WITHIN PROPERTY LIMITS ONLY.

#### PARKING CALCULATION:

NUMBER OF UNITS: 43 UNITS  
REQUIRED PARKING STALLS: 43 x 2=86 PARKING STALLS  
REQUIRED VISITORS PARKING: 0  
TOTAL REQUIRED: 86 PARKING STALLS

PROPOSED INTERNAL GARAGES: 86 GARAGE (WITHIN UNITS)  
PROPOSED BARRIER FREE STALL: 4 PARKING STALLS  
TOTAL PROPOSED + POTENTIAL : 89 PARKING STALLS

#### BICYCLE STALLS:-

NUMBER OF UNITS: 43 UNITS  
REQUIRED BICYCLE STALLS: 43 X 1 = 43 BICYCLE STALLS  
PROPOSED BICYCLE STALLS: (43WITHIN UNITS +4) =47 BICYCLE STALLS

#### DENSITY:-

MINIMUM DENSITY : 37 UNITS / 1 HECTARE  
29.99UNITS / 0.8104625 HECTARE = 30 UNITS  
15UNITS / 1 ACRE  
30UNITS / 2.00 ACRE = 30 UNITS

MAXIMUM DENSITY : 62 UNITS / 1 HECTARE  
50.25UNITS / 0.8104625 HECTARE = 51 UNITS  
25UNITS / 1 ACRE  
50UNITS / 2.00 ACRE = 50 UNITS

PROPOSED DENSITY : 43 UNITS / 0.8104625 HECTARE  
43UNITS / 2.00 ACRE

#### AMENITY AREA:-

REQUIRED AMENITY AREA: 25.0 m<sup>2</sup> PER UNIT  
PROPOSED AMENITY AREA  
(COMMN AREA+BALCONIES) : 825.190 m<sup>2</sup>

#### MAX CONTINUOUS BUILDING FRONTAGE :

REQUIRED : 6 UNITS / 45.0 m  
PROPOSED : 6 UNITS / 36.58 m

#### SUMMARY OF BUILDING HEIGHT OF EACH BUILDING :

BUILDING (1)	BUILDING (2)	BUILDING (3)	BUILDING (4)
11.26M	11.26M	11.23M/11.39M	11.26M/11.42M
BUILDING (5)	BUILDING (6)	BUILDING (7)	BUILDING (8)
11.26M/11.42M	11.23M/11.39M	11.26M/11.42M	11.28M

(3PLEX) BUILDING (8)		UNIT (41)		UNIT (42)		UNIT (43)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	797.00	74.04
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1434.00	133.22
	GROUND FLOOR	144.00	13.38	144.00	13.38	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1577.00	146.51
	FIRST BALCONY	172.00	15.98	172.00	15.98	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00
	GARAGE	420.00	39.02	420.00	39.02	420.00	39.02

SQUARE FOOTAGES	(5PLEX) BUILDING (3-6)	UNIT (17-30)		UNIT (16-31)		UNIT (15-32)		UNIT (14-33)		UNIT (13-34)	
	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	641.00	59.55	641.00	59.55	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	802.00	74.51	802.00	74.51	813.00	75.53
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1443.00	134.06	1443.00	134.06	1450.00	134.71
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	145.00	13.47	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1587.00	147.44	1588.00	147.53	1593.00	147.99
	FIRST BALCONY	172.00	15.98	172.00	15.98	173.00	16.07	173.00	16.07	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	GARAGE	420.00	39.02	420.00	39.02	423.00	39.30	423.00	39.30	420.00	39.02

(6PLEX) BUILDING (1-2)		UNIT (6-12)		UNIT (5-11)		UNIT (4-10)		UNIT (3-9)		UNIT (2-8)		UNIT (1-7)	
SQUARE FOOTAGES	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18	637.00	59.18
	SECOND FLOOR	797.00	74.04	797.00	74.04	797.00	74.04	797.00	74.04	797.00	74.04	813.00	75.53
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1434.00	133.22	1434.00	133.22	1434.00	133.22	1450.00	134.71
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	144.00	13.38	144.00	13.38	143.00	13.29
	TOTAL	1578.00	146.60	1578.00	146.60	1578.00	146.60	1578.00	146.60	1578.00	146.60	1593.00	147.99
	FIRST BALCONY	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98	172.00	15.98
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	GARAGE	420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02	420.00	39.02

SQUARE FOOTAGES	(6PLEX) BUILDING (4-5-7)		UNIT (18-29-40)		UNIT (19-28-39)		UNIT (20-27-38)		UNIT (21-26-37)		UNIT (22-25-36)		UNIT (23-24-35)	
	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	
	FIRST FLOOR	637.00	59.18	637.00	59.18	641.00	59.55	641.00	59.55	637.00	59.18	637.00	59.18	
	SECOND FLOOR	797.00	74.04	797.00	74.04	802.00	74.51	802.00	74.51	797.00	74.04	813.00	75.53	
	SUB TOTAL	1434.00	133.22	1434.00	133.22	1443.00	134.06	1443.00	134.06	1434.00	133.22	1450.00	134.71	
	GROUND FLOOR	144.00	13.38	144.00	13.38	144.00	13.38	145.00	13.47	144.00	13.38	143.00	13.29	
	TOTAL	1578.00	146.60	1578.00	146.60	1587.00	147.44	1588.00	147.53	1578.00	146.60	1593.00	147.99	
	FIRST BALCONY	172.00	15.98	172.00	15.98	173.00	16.07	173.00	16.07	172.00	15.98	172.00	15.98	
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	
	GARAGE	420.00	39.02	420.00	39.02	423.00	39.30	423.00	39.30	420.00	39.02	420.00	39.02	

BUILDING		BUILDING (1)		BUILDING (2)		BUILDING (3)		BUILDING (4)		BUILDING (5)		BUILDING (6)		BUILDING (7)		BUILDING (8)	
AREA	DESCRIPTION	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.	SQ. FT.	SQ. M.
	FIRST FLOOR	3822.00	355.08	3822.00	355.08	3193.00	296.64	3830.00	355.82	3830.00	355.82	3193.00	296.64	3830.00	355.82	1911.00	177.54
	SECOND FLOOR	4798.00	445.75	4798.00	445.75	4011.00	372.63	4808.00	446.68	4808.00	446.68	4011.00	372.63	4808.00	446.68	2391.00	222.13
	SUB TOTAL	8620.00	800.82	8620.00	800.82	7204.00	669.27	8638.00	802.50	8638.00	802.50	7204.00	669.27	8638.00	802.50	4302.00	399.67
	GROUND FLOOR	863.00	80.18	863.00	80.18	720.00	66.89	864.00	80.27	864.00	80.27	720.00	66.89	864.00	80.27	431.00	40.04
	TOTAL	9483.00	881.00	9483.00	881.00	7924.00	736.16	9502.00	882.76	9502.00	882.76	7924.00	736.16	9502.00	882.76	4733.00	439.71
	FIRST BALCONY	1032.00	95.88	1032.00	95.88	862.00	80.08	1034.00	96.06	1034.00	96.06	862.00	80.08	1034.00	96.06	516.00	47.94
	SECOND BALCONY	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
	GARAGE	2520.00	234.12	2520.00	234.12	2106.00	195.65	2526.00	234.67	2526.00	234.67	2106.00	195.65	2526.00	234.67	1260.00	117.06
	GRAND TOTAL	13035.00	1210.99	13035.00	1210.99	10892.00	1011.90	13062.00	1213.50	13062.00	1213.50	10892.00	1011.90	13062.00	1213.50	6509.00	604.71
															TOTAL	93549.00	8690.99

#### AMENITY SPACE CALCULATION:

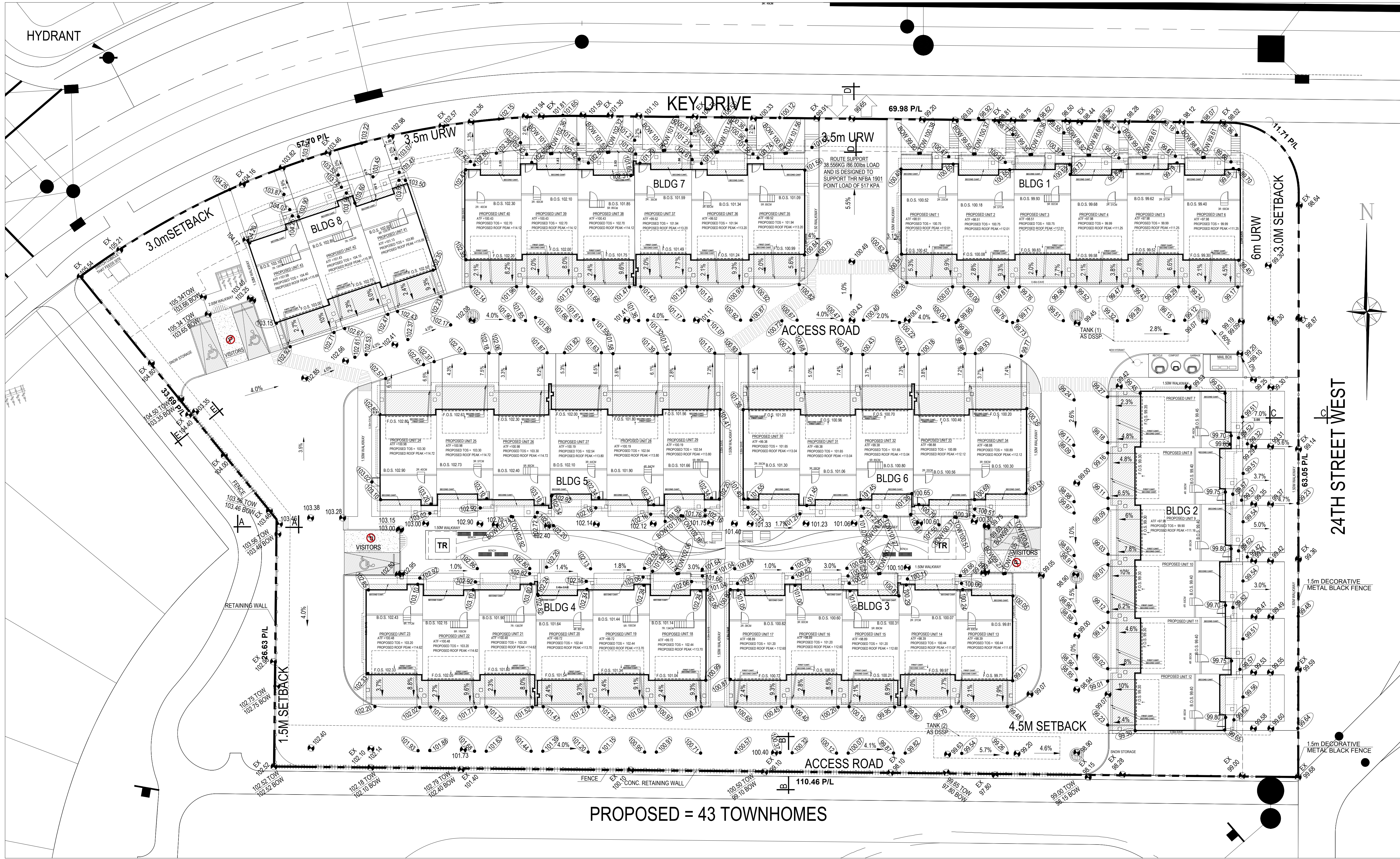
REQUIRED AMENITY SPACE = 25.0 Sq m. for each unit.  
TOTAL AMENITY SPACE REQUIRED = 25 X 43 = 1075 Sq m.

PROVIDED AMENITY SPACE = BALCONIES + COMMON AREA  
= 824.940 Sq m.

AMENITY SPACE PROVIDED FOR EACH UNIT= 19.18 Sq m.

AREA NEED TO BE RELAXED FOR AMENITY = 5.8 Sq m. (25 Sq m. required)  
RELAXATION REQUIRED FOR 23.2% OF AMENITY SPACE FOR ENTIRE SITE.





KEY PLAN

NOTES  
- DRAWINGS ARE NOT TO BE SCALED.  
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.  
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.  
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REVISIONS:				
No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S.	E.Z.H.A.
02	2025/03/24	DTR	N.S./A.M.	E.Z.H.A.
03	2025/05/14	DTR2	A.M.	E.Z.

ISSUES:				
No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S./A.M.	E.Z.H.A.

THE CLIENT :  
**LUXURIA HOMES**  
**AIRDRIE, AB**

PROJECT NAME AND ADDRESS :  
**MULTI-FAMILY TOWNHOMES**  
**3010 KEY DRIVE, AIRDRIE, AB**  
**LOT 1, BLOCK 1, PLAN 2312456**

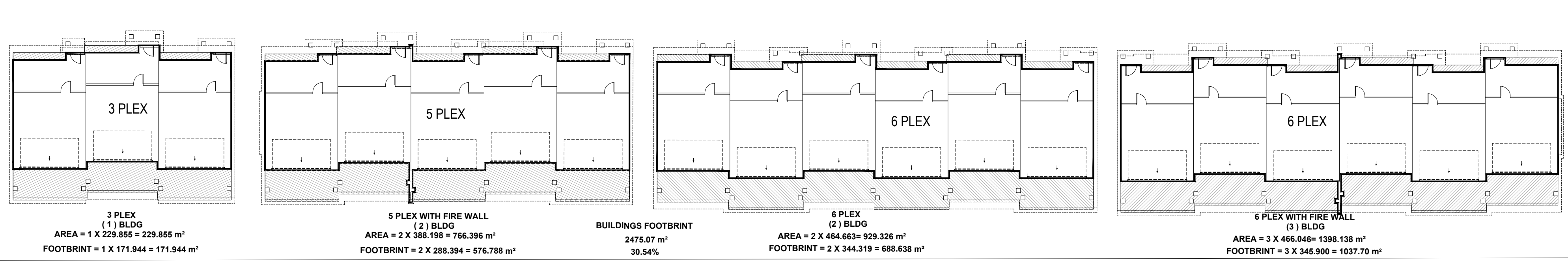
DRAWING SET :  
**DEVELOPMENT PERMIT SET**

DRAWING TITLE :  
**SITE PLAN / GRADES**

DRAWING NO.  
**A-001**

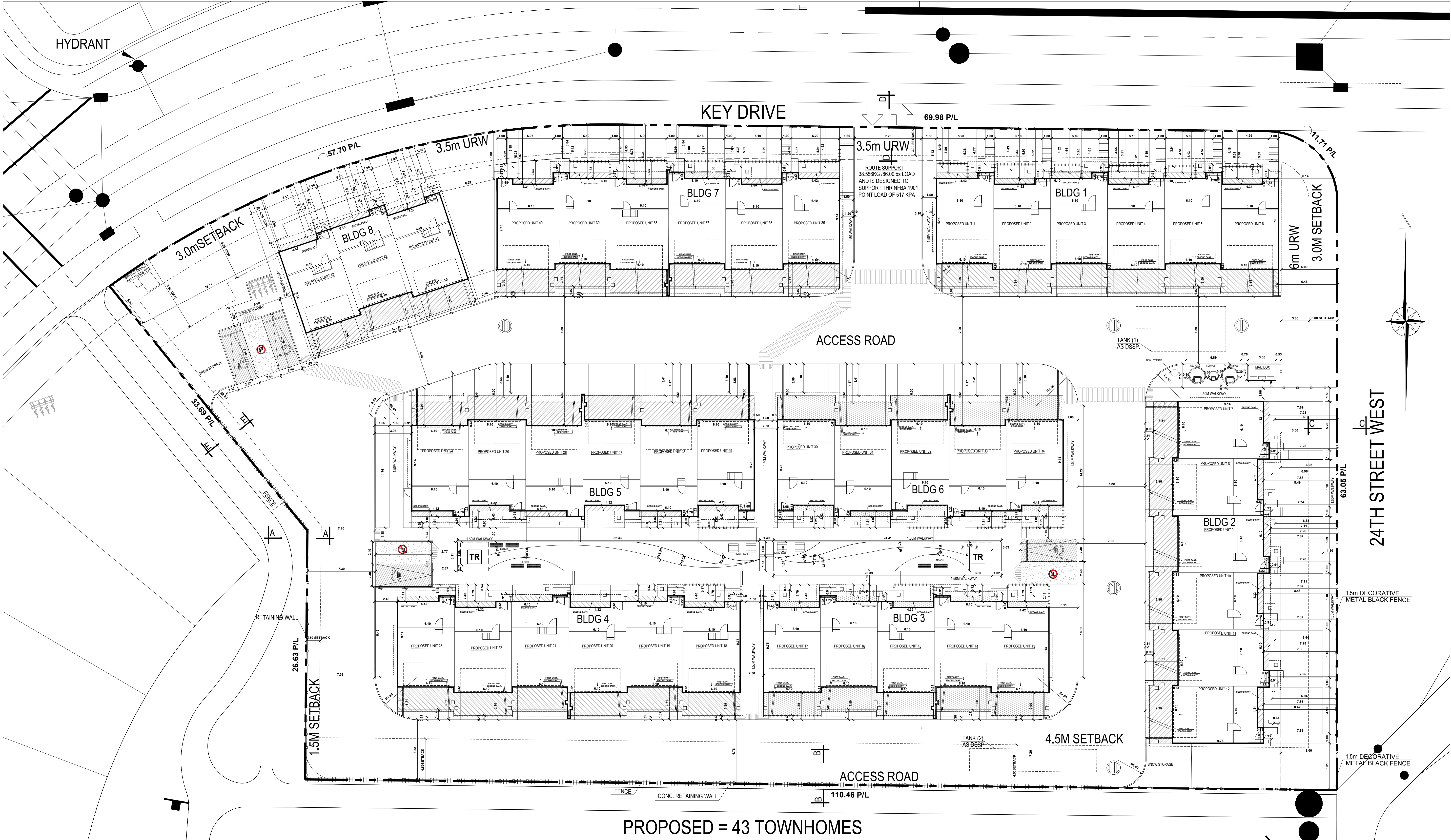
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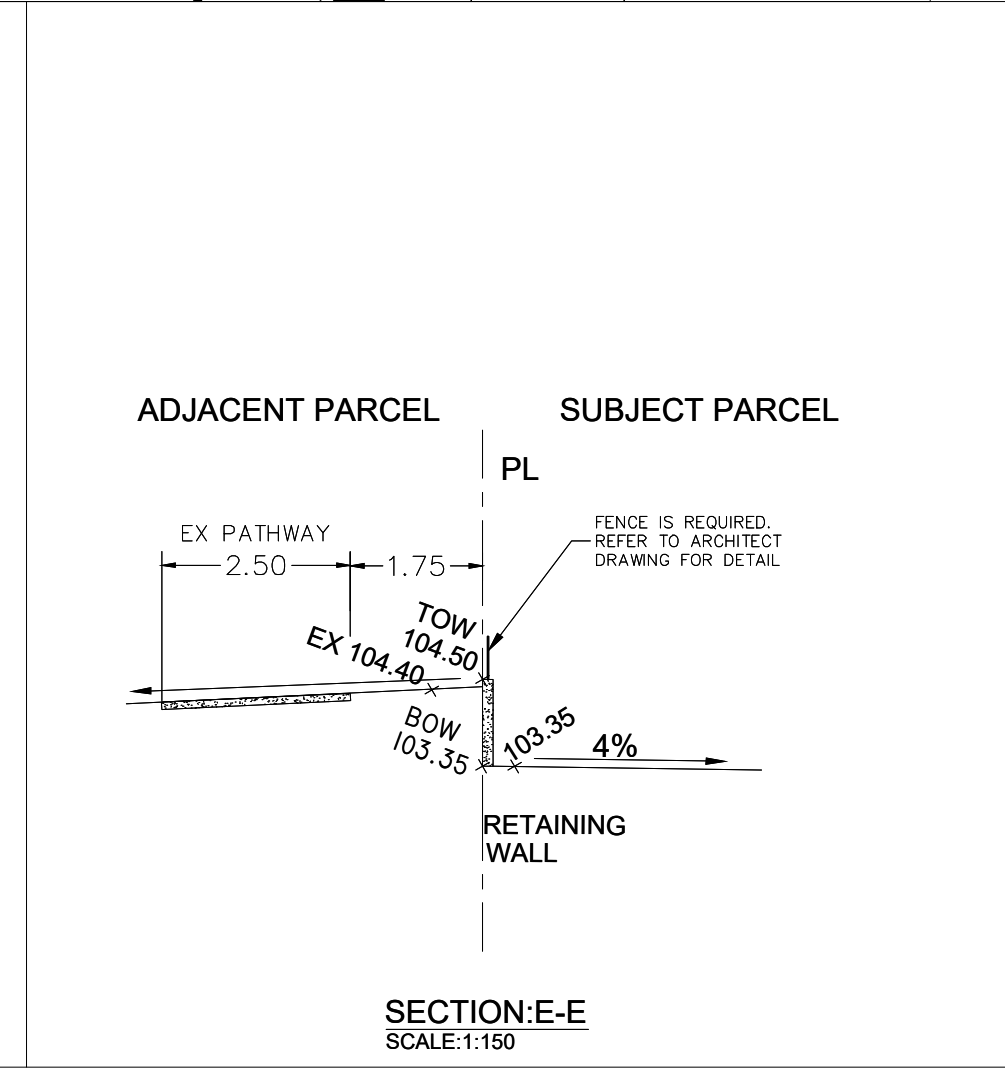
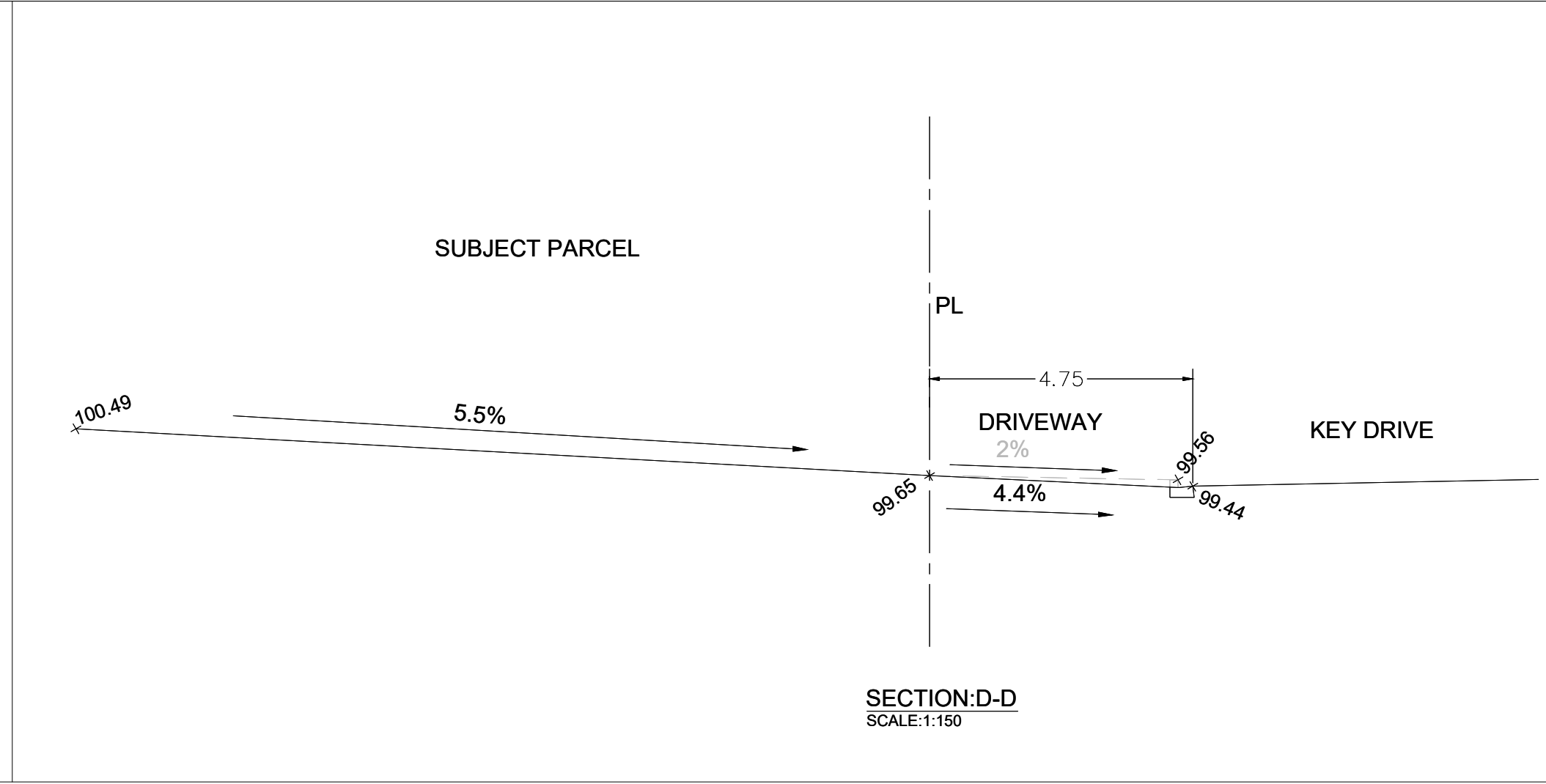
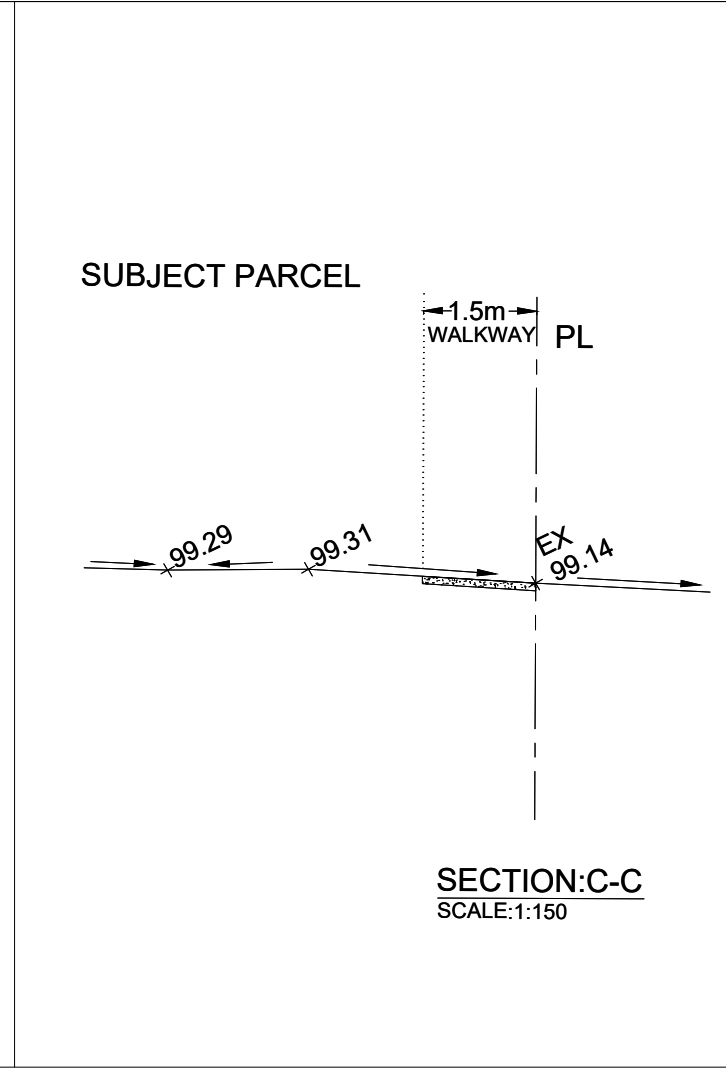
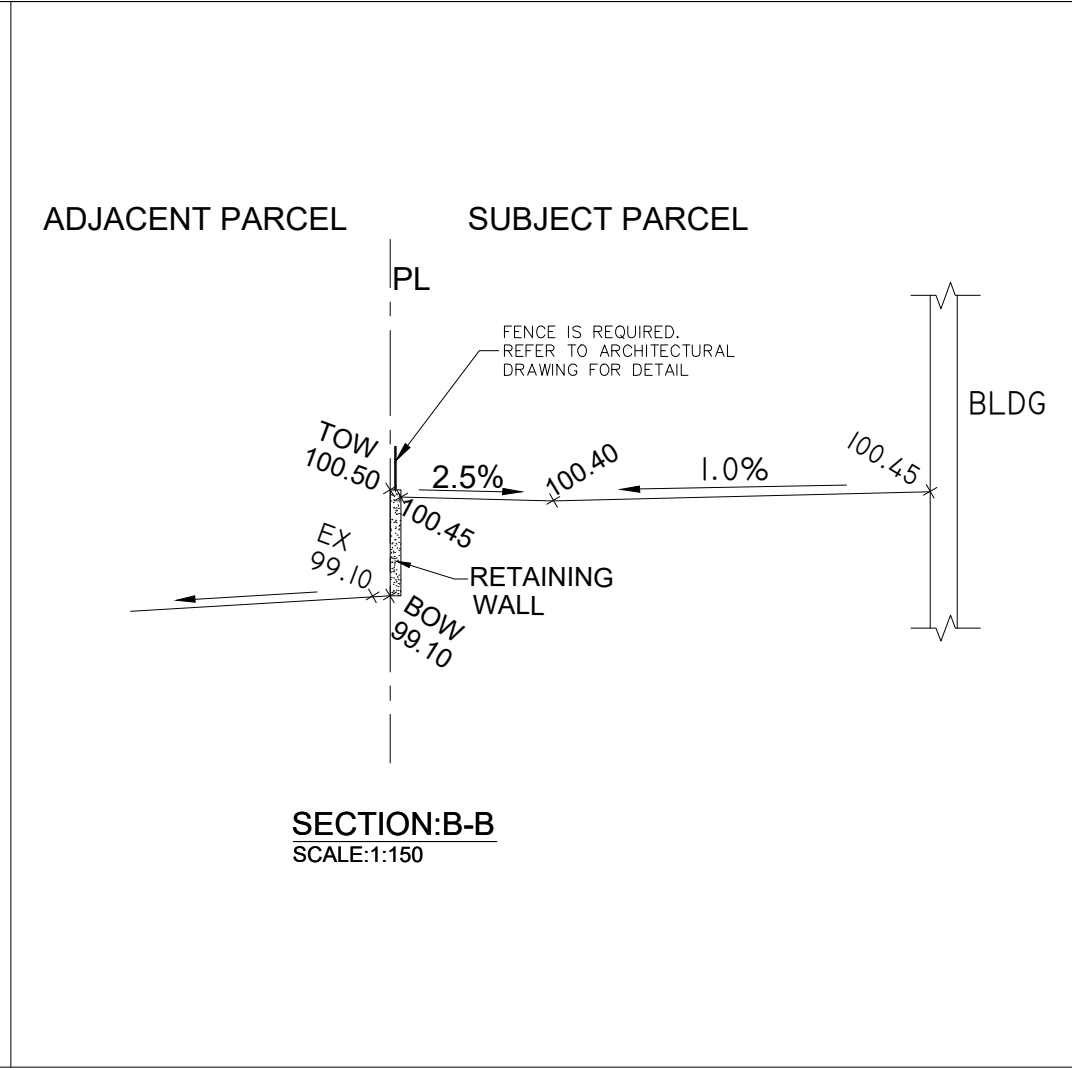
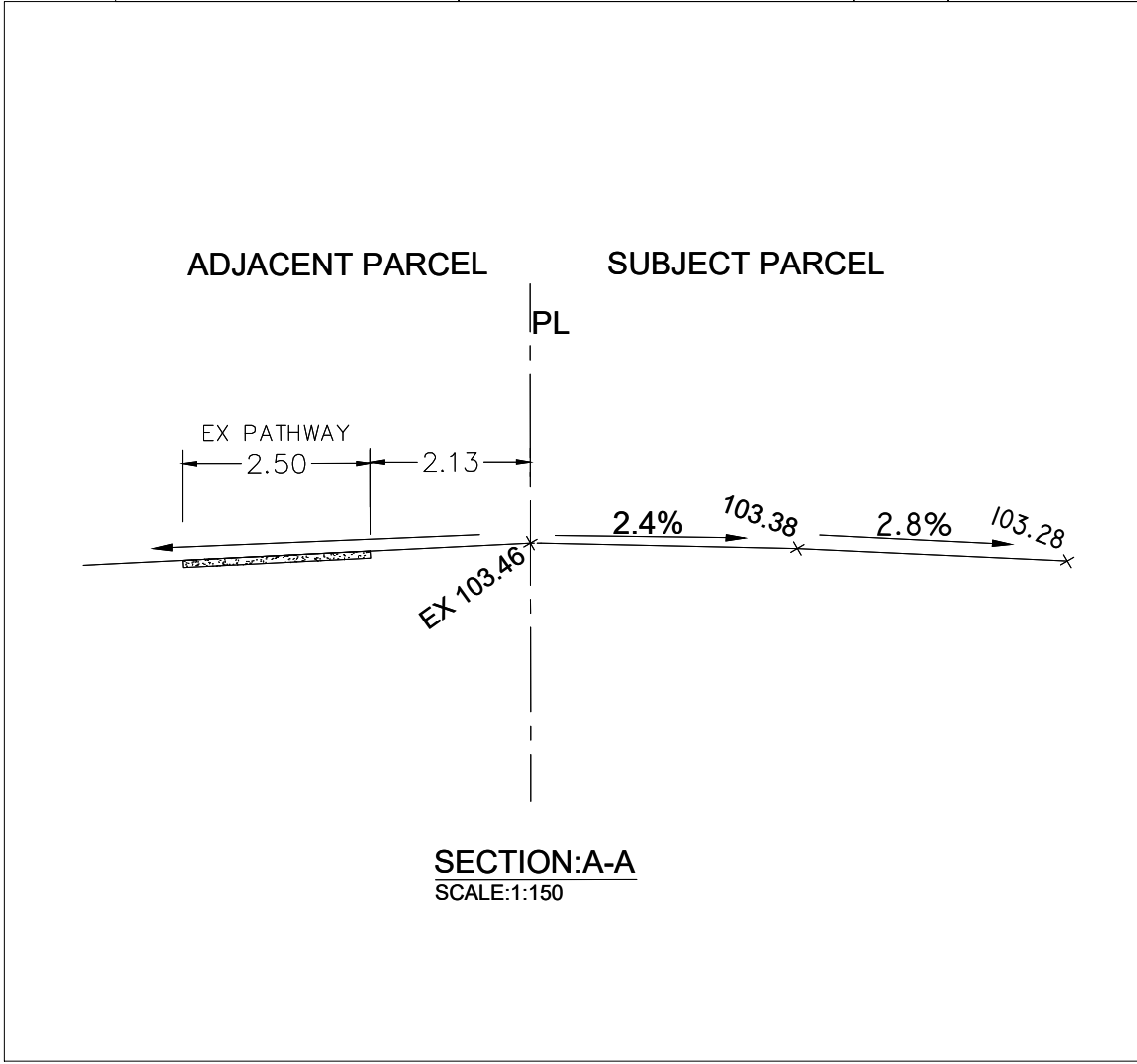


LEGEND	DESCRIPTION
	HYDRANT
	TRANFORMER
	RETAINING WALL
	FENCE
	CANTILVER





PROPOSED = 43 TOWNHOMES



DESIGNED BY:

TRICOR  
DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202-4216-108 STREET NE  
CALGARY, AB  
T2E6K3

PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN

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03	2025/05/14	DTR2	A.M	E.Z

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AIRDRIE, AB

PROJECT NAME AND ADDRESS:

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SITE PLAN / DIMENSIONS

DRAWING NO.

A-002

DRAWN BY:

N.S / A.M

CHECKED BY:

E.Z / H.A

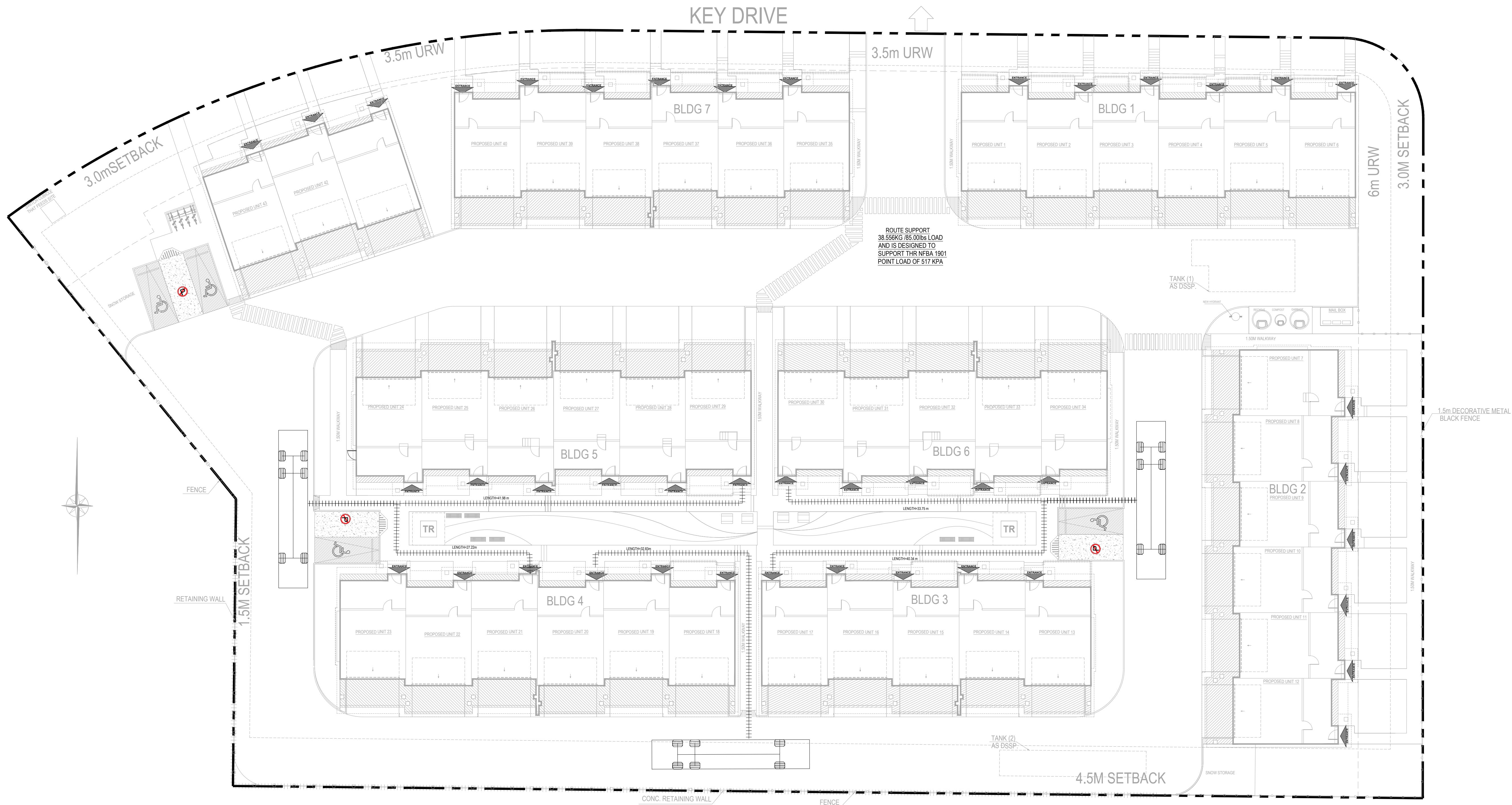
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2025\_05\_14

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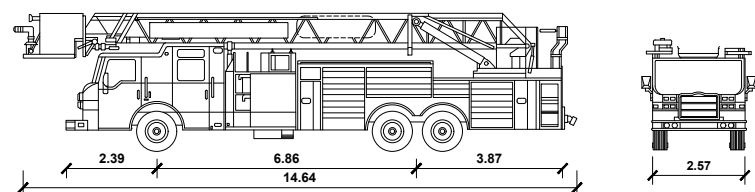
ROUTE SUPPORT  
38,556KG 85,000lbs LOAD  
AND IS DESIGNED TO  
SUPPORT THX NFBA 1901  
POINT LOAD OF 517 KPA

TANK (1)  
AS DSSP

1.5m DECORATIVE METAL  
BLACK FENCE

TANK (2)  
AS DSSP

4.5M SETBACK



Bronto fire truck  
Overall Length 14.643m  
Overall Width 2.438m  
Overall Body Height 3.703m  
Min Body Ground Clearance 0.286m  
Track Width 2.570m  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 10.180m

#### SYMBOL LEGEND

THE DISTANCE BETWEEN THE  
FIRE TRUCK AND THE FURTHEST  
UNIT ENTRANCE  
ENTRANCES TO EACH UNITS FOR  
BUILDINGS

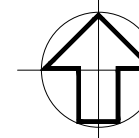
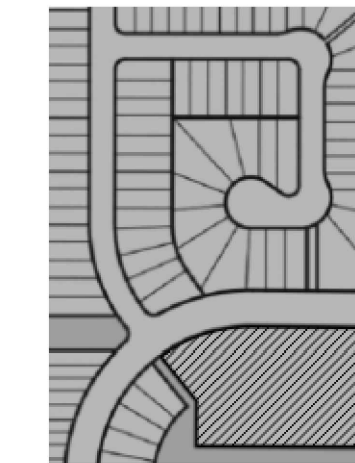
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202.4216 108 STREET NE  
CALGARY, AB  
T2E6K3  
PHONE: (403)203-1970  
FAX: (403)203-1990  
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KEY PLAN



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LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRE ACCESS ROUTE DISTANCE

DRAWING NO.

A-003

DRAWN BY:

CHECKED BY:

DATE:

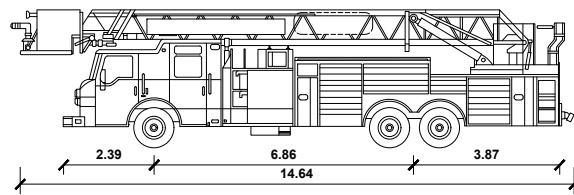
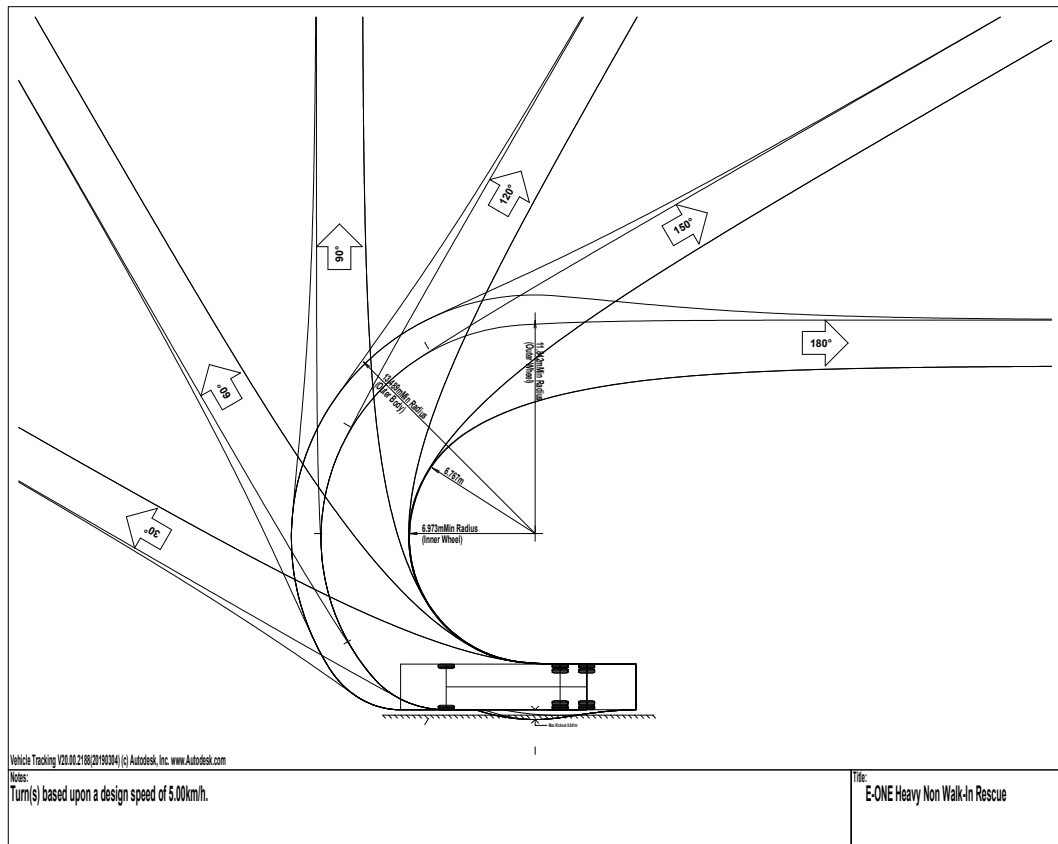
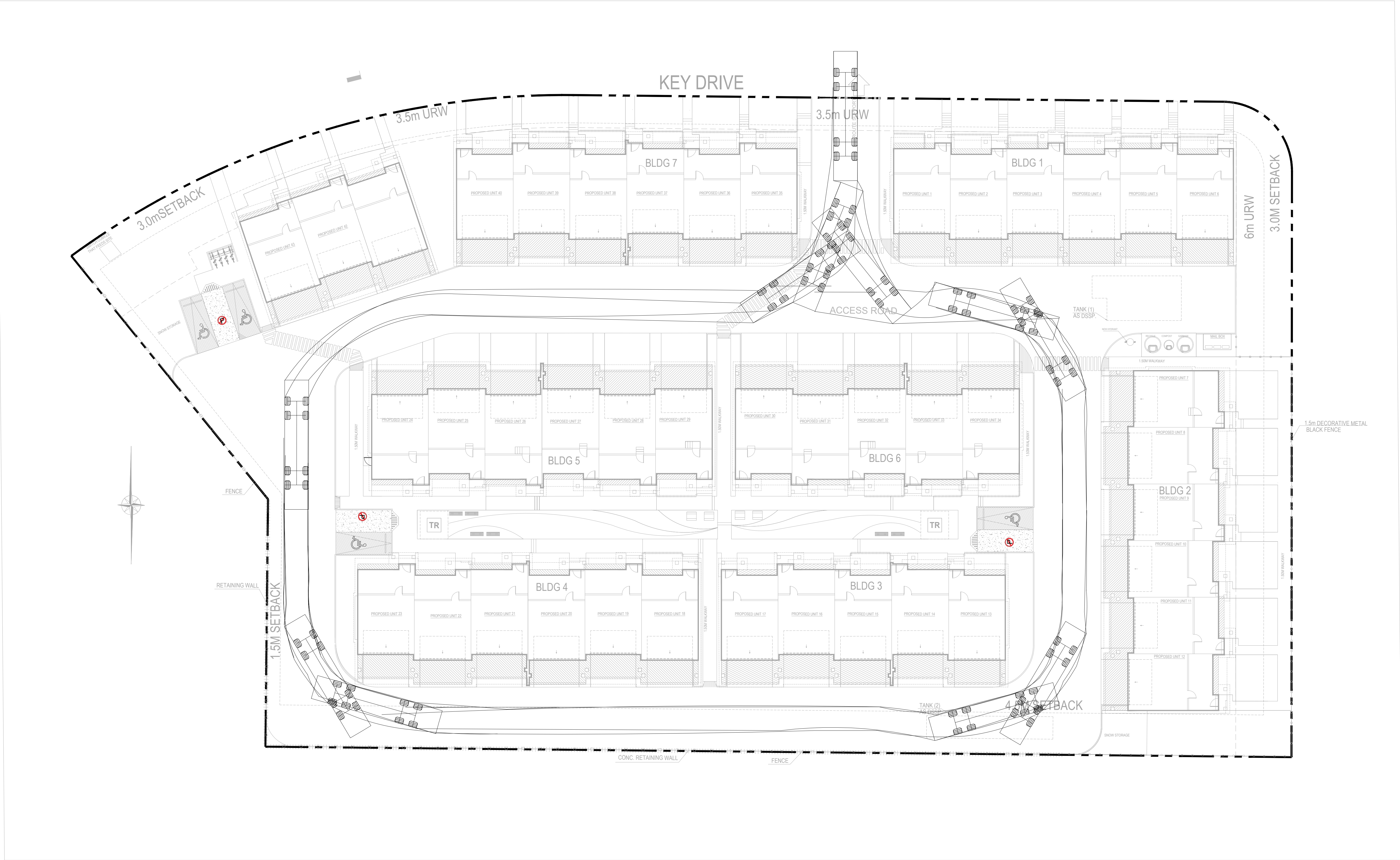
N.S / A.M

E.Z / H.A

2025\_05\_14

SCALE: 1: 200





Bronto fire truck  
Overall Length 14.643m  
Overall Width 2.438m  
Overall Body Height 3.708m  
Min Body Ground Clearance 0.286m  
Track Width 2.570m  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 10.180m

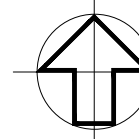
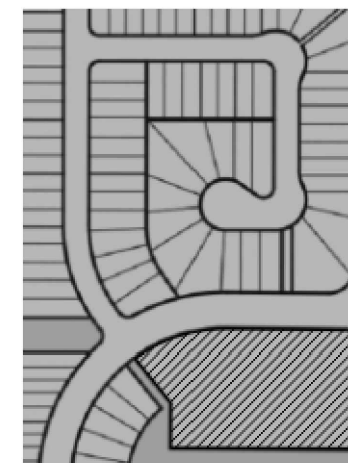
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL  
tricordesigns.com

#202.4216 108 STREET NE  
CALGARY, AB, T2E8K3  
PHONE: (403) 203-1970  
FAX: (403) 203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S.	E.Z./H.A.
02	2025/03/24	DTR	N.S./A.M.	E.Z./H.A.
03	2025/05/14	DTR2	A.M.	E.Z.

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S./A.M.	E.Z./H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

**MULTI-FAMILY  
TOWNHOMES**  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**FIRE TRUCK MANEUVER**

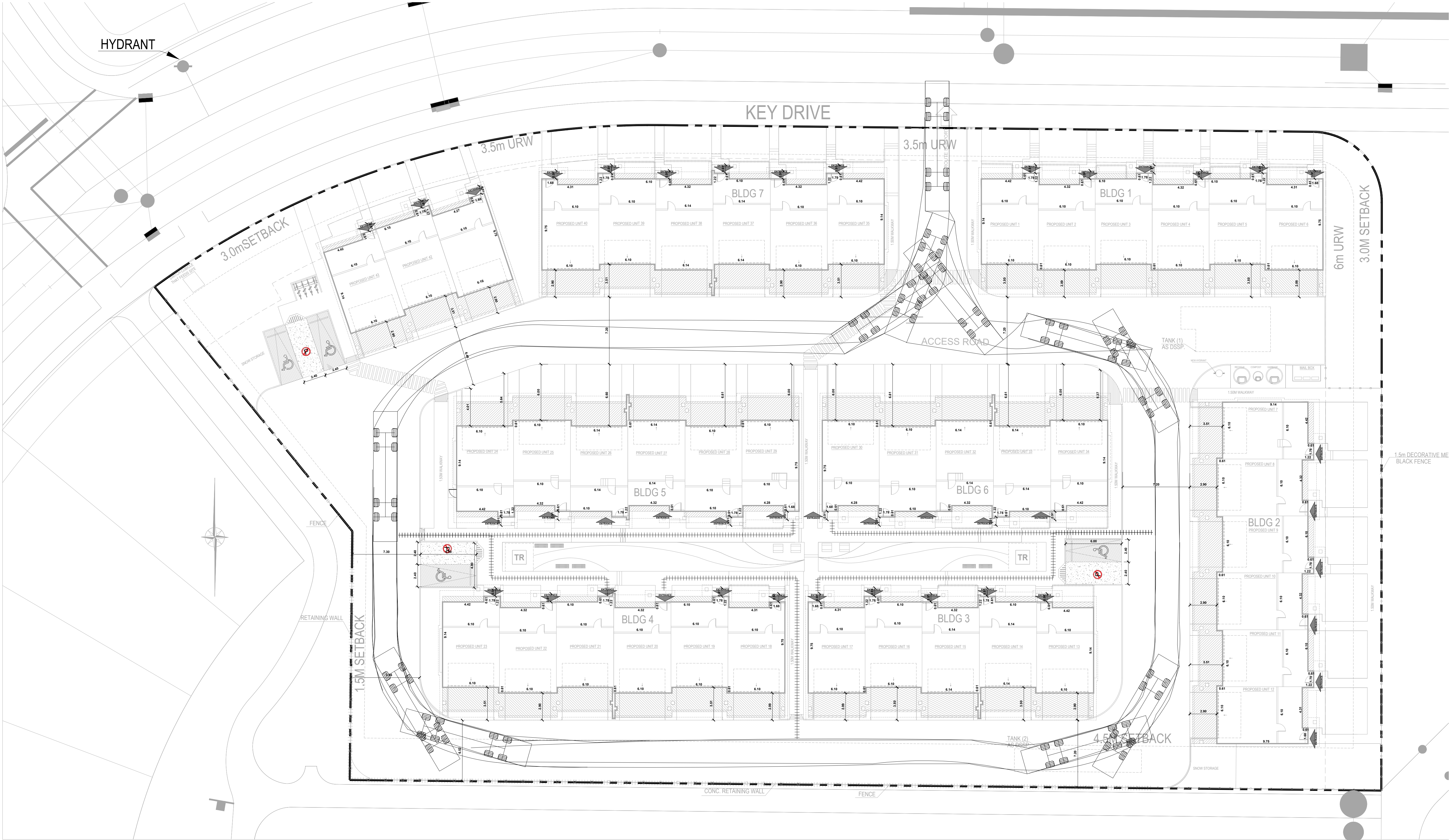
DRAWING NO.

**A-004**

DRAWN BY: N.S./A.M. CHECKED BY: E.Z./H.A. DATE: 2025\_05\_14

SCALE: 1: 200





DESIGNED BY:

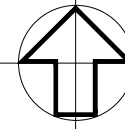
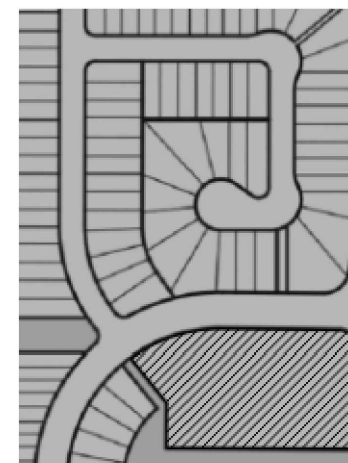


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tricordesigns.com

#202.4216.1010 STREET NE  
CALGARY, AB  
T2E6K3

PHONE: (403) 203-1970  
FAX: (403) 203-1990  
EMAIL: info@tricordesigns.com

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03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

**MULTI-FAMILY  
TOWNHOMES**  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**FIRE ACCESS PLAN**

DRAWING NO.

**A-004A**

DRAWN BY:

CHECKED BY:

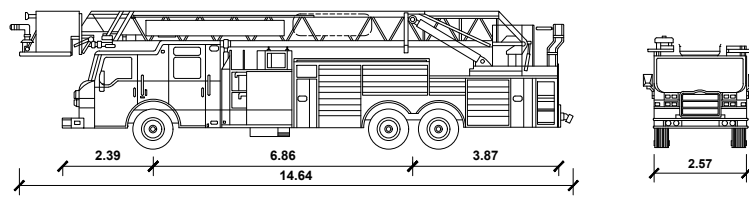
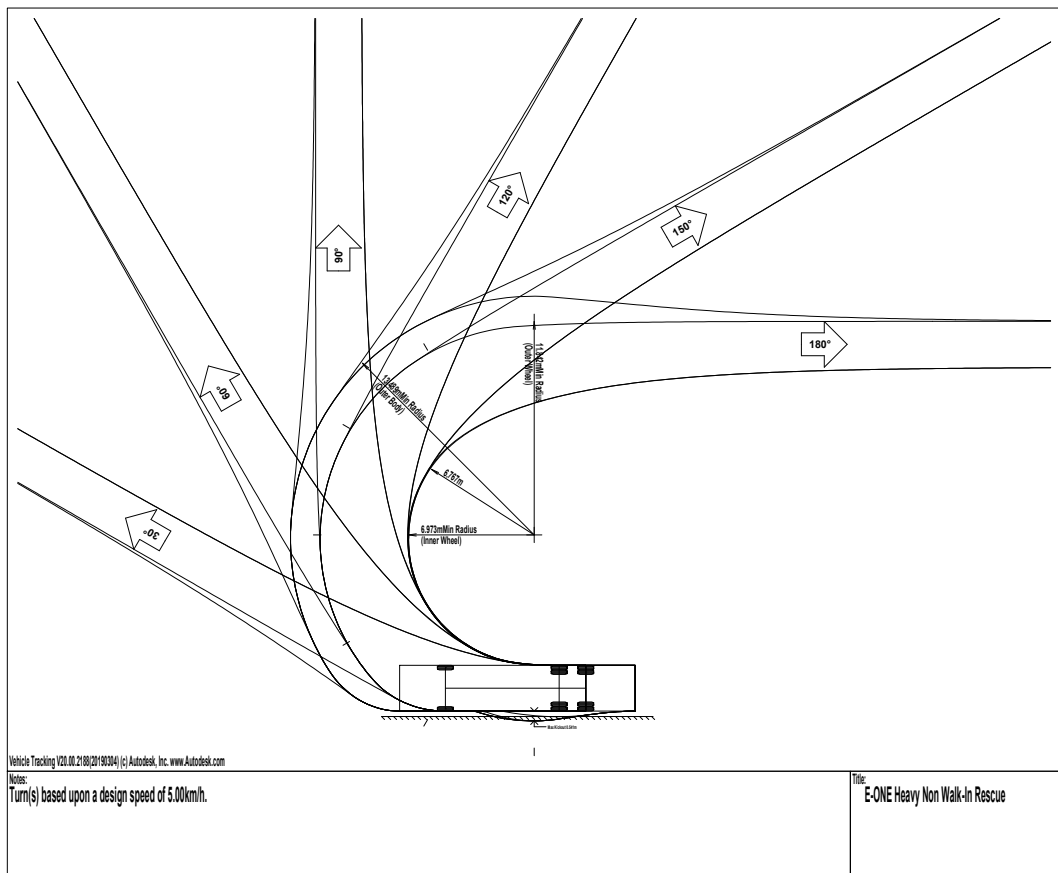
DATE:

N.S / A.M

E.Z / H.A

2025\_05\_14

SCALE: 1: 200



Bronto fire truck  
Overall Length 14.643m  
Overall Width 2.438m  
Overall Body Height 3.708m  
Min Body Ground Clearance 0.288m  
Track Width 2.570m  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 10.180m







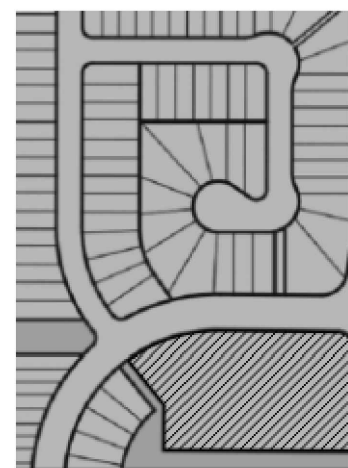


DESIGNED BY:



#202 4216 105 STREET NE  
CALGARY, AB, T2E6K3  
PHONE: (403) 203-1970  
FAX: (403) 203-1990  
EMAIL: info@tricordesigns.com

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03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

**MULTI-FAMILY  
TOWNHOMES**  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

**LIMITING DISTANCE**

DRAWING NO.

**A-006**

DRAWN BY:  
N.S / A.M  
CHECKED BY:  
E.Z / H.A  
DATE:  
2025\_05\_14  
SCALE: 1:200





◆ PATHWAY LIGHTS

GENERAL NOTES:

1. MAINTAIN 3.0m OF CLEARANCE FROM ENMAX EQUIPMENT AND METALLIC OBJECTS.
2. NO CURBS ALLOWED WITHIN TRANSFORMER CLEARANCE BOX.
3. MAINTAIN 2.0m OF CLEARANCE FORM PARKING SPOT TO TRANSFORMER. CANNOT GRADE WITHIN 3.0m OF OVERHEAD POLES.
4. SLOPE MUST BE AT 6:1 MAXIMUM WITHIN THE TRANSFORMER OPERATING AREA.

NOTES

- ① ALL SITE LIGHTINGS TO BE CONTROLLED VIA EXTERIOR LIGHTING CONTROL.

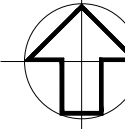
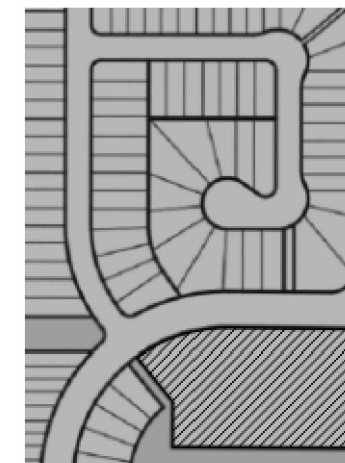
DESIGNED BY:



#202.4216 108 STREET NE  
CALGARY, AB. T2E6K5

PHONE: (403) 203-1970  
FAX: (403) 203-1990  
EMAIL: info@tricordesigns.com

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03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN Z312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / LIGHTING

DRAWING NO.

A-007

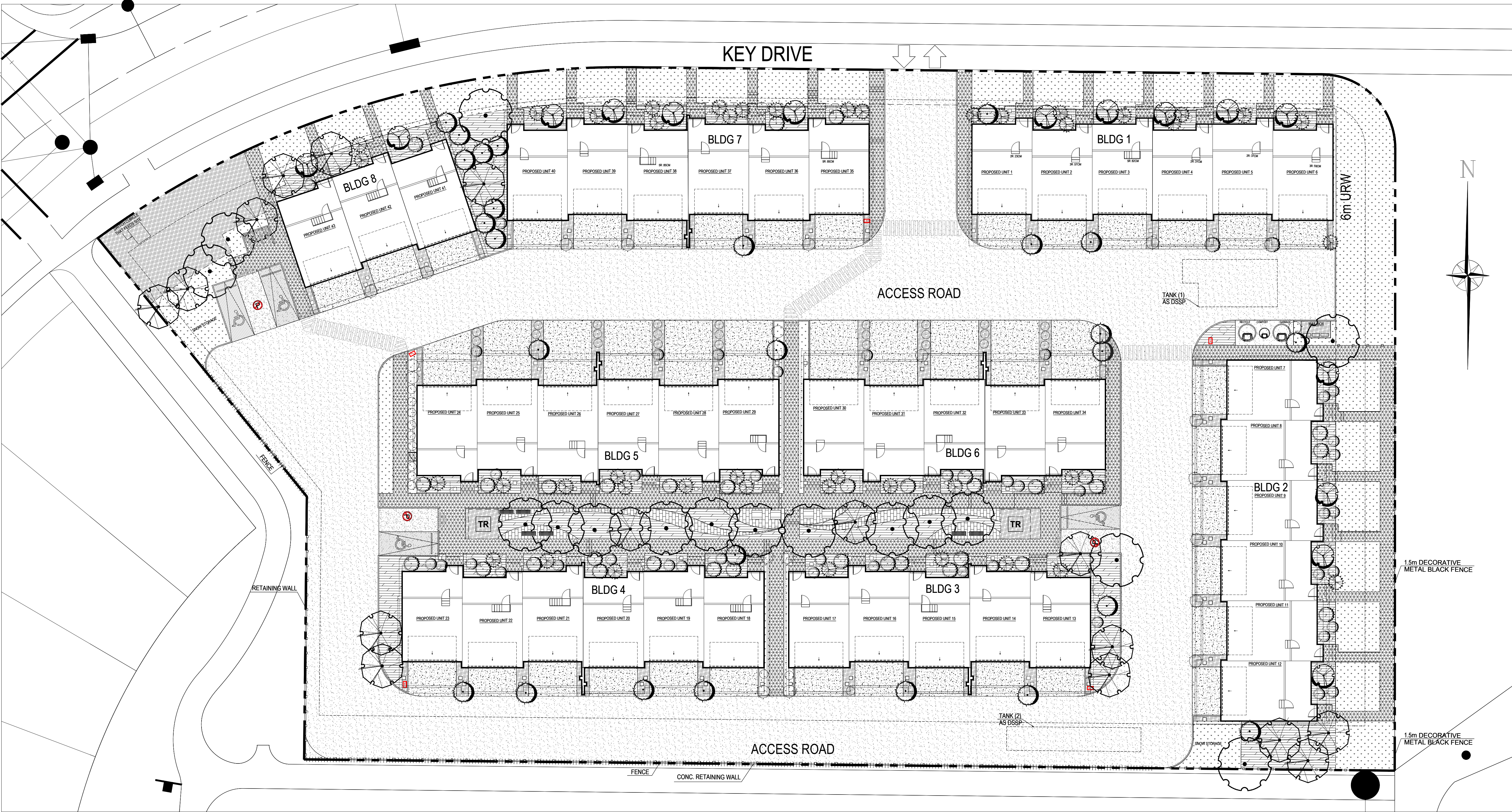
DRAWN BY: N.S/A.M

CHECKED BY: E.Z/H.A

DATE: 2025\_05\_14

SCALE: 1: 200

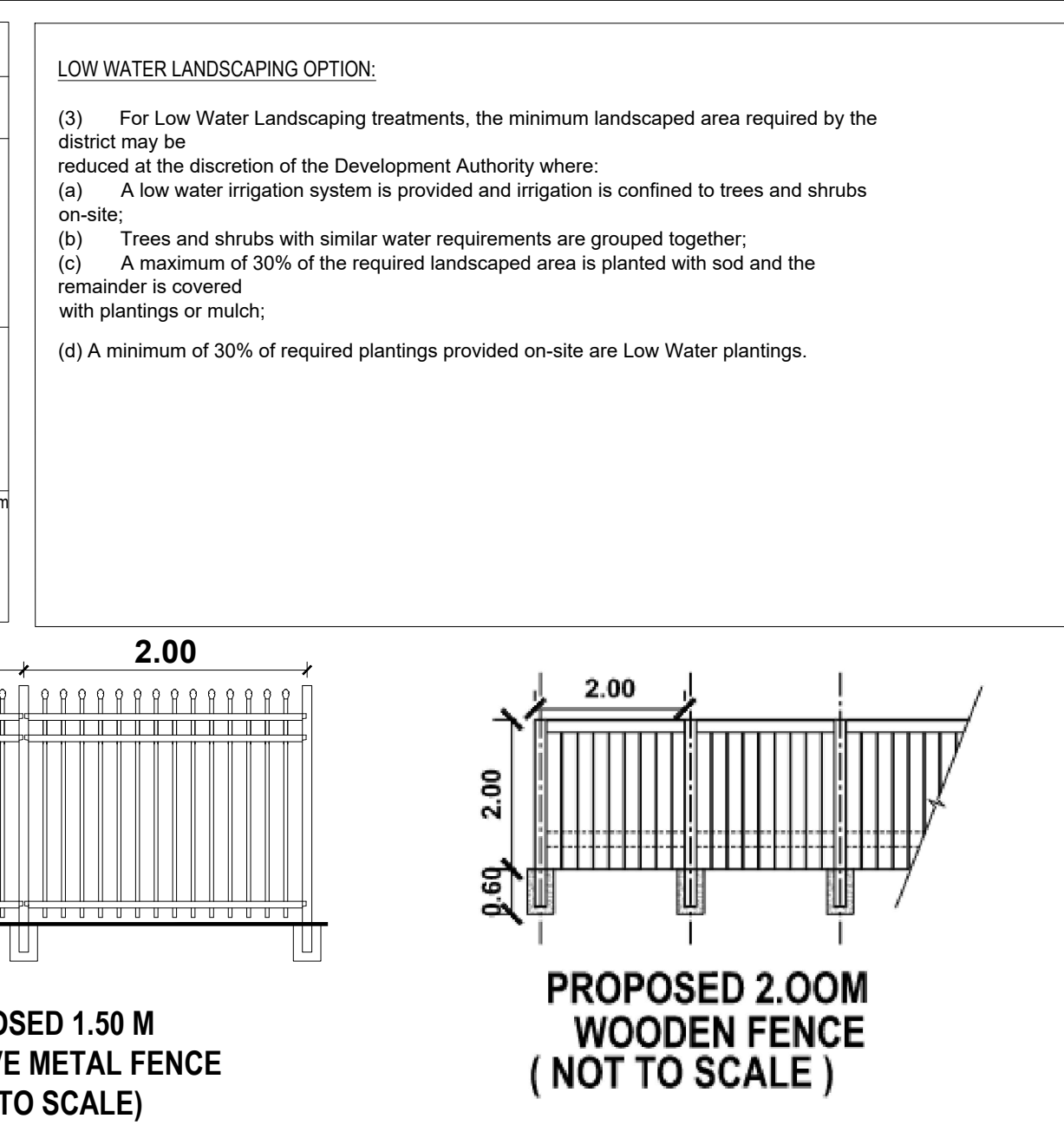




LEGEND FOR LANDSCAPE			
	PROPOSED BUILDINGS	= 2475.07m² or 30.54%	
	ASPHALT LANE	= 2243.46 m² = 27.68%	
	CONCRETE APRON	= 822.935 m² = 10.15%	
	SOD	= 790.73 m² = 9.75%	
	PLANTING BEDS	= 665.961m² = 8.22%	
	CONCRETE SIDEWALK	= 684.673 m² = 8.45%	
	CURB	= 26.356 m² = 0.33%	
	BARKCHIP / MULCH	= 326.658 m² = 4.03%	
	EXPOSED PAVING	= 68.807 m² = 0.85%	
TOTAL = 8104.625 m²			
AREA CALCULATION:			
TOTAL LOT AREA	= 8104.625 m²	= 100.00%	
1. BUILDING AREA	= 2473.805 m²	= 30.52%	
2. NON-LANDSCAPE AREA	= 3078.338 m²	= 37.98%	
3. LANDSCAPE	= 2551.217m²	= 31.48%	

AREA BREAKDOWN:			
2. NON-LANDSCAPE AREA	= 3092.74 m²	= 38.16%	
ASPHALT LANE	= 2243.46 m²	= 72.53%	
CONCRETE APRON	= 822.935 m²	= 26.60%	
CURB	= 26.356m²	= 0.85%	
3. LANDSCAPE	= 2536.82 m²	= 31.30%	
A. HARDSCAPE:			
CONCRETE SIDEWALK	= 684.673m²	= 26.98%	
EXPOSED PAVING	= 68.807 m²	= 2.71%	
B. SOFTSCAPE:			
SOD	= 790.73 m²	= 31.17%	
PLANTING BEDS	= 665.961 m²	= 26.25%	
BARK CHIP / MULSH	= 326.658 m²	= 12.87%	
LANDSCAPE CALCULATION:			
LANDSCAPE REQUIRED	= 1620.925 m²	= 20.00%	
LANDSCAPE PROVIDED	= 2551.217 m²	= 31.30%	
SYMBOL	DESCRIPTION		
	WAY FINDING SIGN		

ENHANCED LANDSCAPE CALCULATIONS: R-3			
BYLAW		REQUIRED	PROVIDED
3.8. 2. (a)	1.0 trees and 2.0 shrubs are planted for every 30m² of landscaped area provided	Total landscape area provided = 2551.217 sq.m. No. of trees required 2551.217/30 = 85 Trees No. of shrubs required 86 x 2 = 172 Shrubs	- No. of trees provided=85 Trees - No. of shrubs provided= 170 Shrubs
3.8. 2. (b)	All deciduous trees have a minimum caliper of 70mm at the time of planting		Total proposed deciduous trees have a minimum caliper of 70mm= 32
3.8. 2. (c)	Coniferous trees have a minimum height of 3.0 metres at the time of planting.		Total proposed Coniferous trees have a minimum height of 3.0 metres=54



LOW WATER DECIDUOUS TREES:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT AT	DESCRIPTION
NEW		16	Acer ginnala	Amur Maple	B&B	min 70mm caliper	All deciduous trees have a minimum caliper of 70mm at the time of planting
NEW		16	Prunus padus commutata	Mayday	B&B	min 70mm caliper	
LOW WATER CONIFEROUS TREES:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT. X SPR.)	DESCRIPTION
NEW		26	Picea pungens	Blue Spruce	B&B	3m height at planting	Coniferous trees have a minimum height of 3.0 metres at the time of planting.
NEW		28	Pinus contorta var. latifolia	Lodgepole pine	B&B	3m height at planting	
LOW WATER SHRUBS:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE (HT. X SPR.)	
NEW		15	Elaeagnus commutata	Wolf willow	POTTED	0.60m height and 0.60m caliper at planting	
NEW		35	Ribes alpinum	Alpine currant	POTTED	0.60m height and 0.60m caliper at planting	
NEW		37	Amelanchier alnifolia	Saskatoon berry		0.60m height and 0.60m caliper at planting	
CONIFEROUS SHRUBS; TOTAL 2:							
NEW / EXISTING	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	CONTAINER	MATURE SIZE (HT. X SPR.)	
NEW		43	Calgary Carpet Juniper	Juniperus sabina 'calgary carpet'	POTTED	0.80m height and 0.60m caliper at planting	
NEW		42	Dwarf Mugo Pine	pinus mugo 'var. pumilio'	POTTED	0.60m height and 0.60m caliper at planting	

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RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#02,4216,16STREET NE  
CALGARY, AB  
T2E8K3

PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN

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03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

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THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / LANDSCAPE

DRAWING NO.

A-008

DRAWN BY:  
N.S / A.M

CHECKED BY:  
E.Z / H.A

DATE:  
2025\_05\_14

SCALE: 1: 200





SYMBOL LEGEND	
SYMBOL	DESCRIPTION
	ELECTRIC METER
	GAS METER

DESIGNED BY:

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DESIGN GROUP

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#202.4218 108 STREET NE  
CALGARY, AB  
T2E6K3

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN /  
ELEC.&GAS METER

DRAWING NO.

A-009

DRAWN BY:  
N.S / A.M

CHECKED BY:  
E.Z / H.A

DATE:  
2025\_05\_14

SCALE: 1: 200



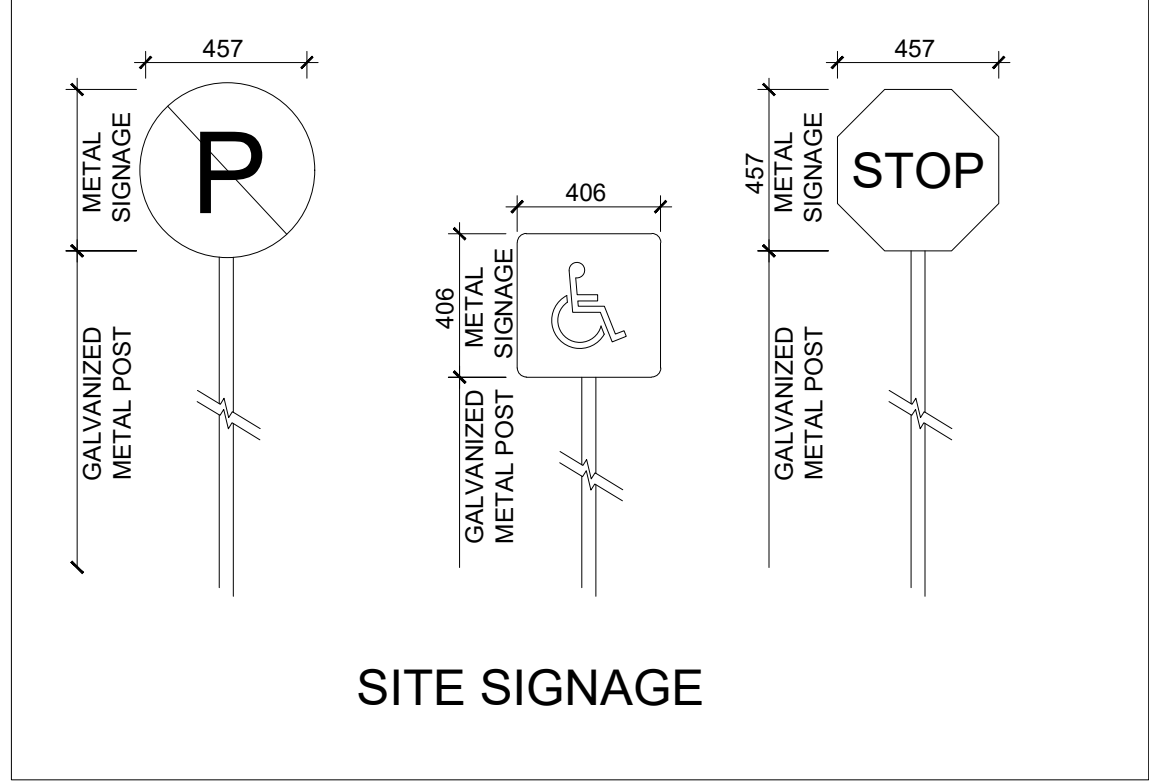


SYMBOL	DESCRIPTION
	NO PARKING SIGN
	STOP SIGN
	HANDICAP SIGN
	WAY FINDING SIGN

NOTE :

- NO PARKING SIGNS ON BOTH SIDES OF THE FIRE ACCESS ROUTE WHERE THE ROAD WIDTH IS LESS THAN 7.49M

-NO PARKING SIGNS ON ONE SIDE OF THE ROUE WHERE THE WIDTH IS BETWEEN 7.5 M ,8.99 M .



DESIGNED BY:

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202,4216 10STREET NE  
CALGARY, AB  
T2E6K3

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AIRDRIE, AB

PROJECT NAME AND ADDRESS :

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TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / SIGNS

DRAWING NO.

A-010

DRAWN BY:

N.S / A.M

CHECKED BY:

E.Z / H.A

DATE:

2025\_05\_14

SCALE: 1: 200



TRICOR

DESIGN GROUP

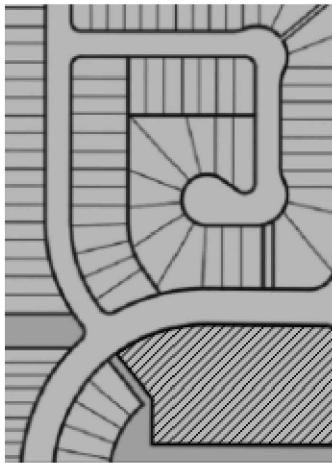
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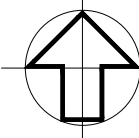
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#202,4216 105TREET NE  
CALGARY, AB  
T2E6K3

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03	2025/05/14	DTR2	A.M	E.Z

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PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

AMENITY SPACES

DRAWING NO.

INFO-002

DRAWN BY:

N.S / A.M

CHECKED BY:

E.Z / H.A

DATE:

2025\_05\_14

SCALE: 1: 200

AMENITY SPACE CALCULATION:

REQUIRED AMENITY SPACE = 25.0 Sq m. for each unit.  
TOTAL AMENITY SPACE REQUIRED = 25 X 43 = 1075 Sq m.

PROVIDED AMENITY SPACE = BALCONIES + COMMON AREA  
= 824.940 Sq m.

AMENITY SPACE PROVIDED FOR EACH UNIT= 19.18 Sq m.

AREA NEED TO BE RELAXED FOR AMENITY = 5.8 Sq m. (25 Sq m. required)  
RELAXATION REQUIRED FOR 23.2% OF AMENITY SPACE FOR ENTIRE SITE.

COMMN AREA =176.45 M<sup>2</sup>  
AMENITY SPACES OF BALCONIES=648.74 M<sup>2</sup>  
TOTAL AMENITY SPACES AREA=825.190 M<sup>2</sup>



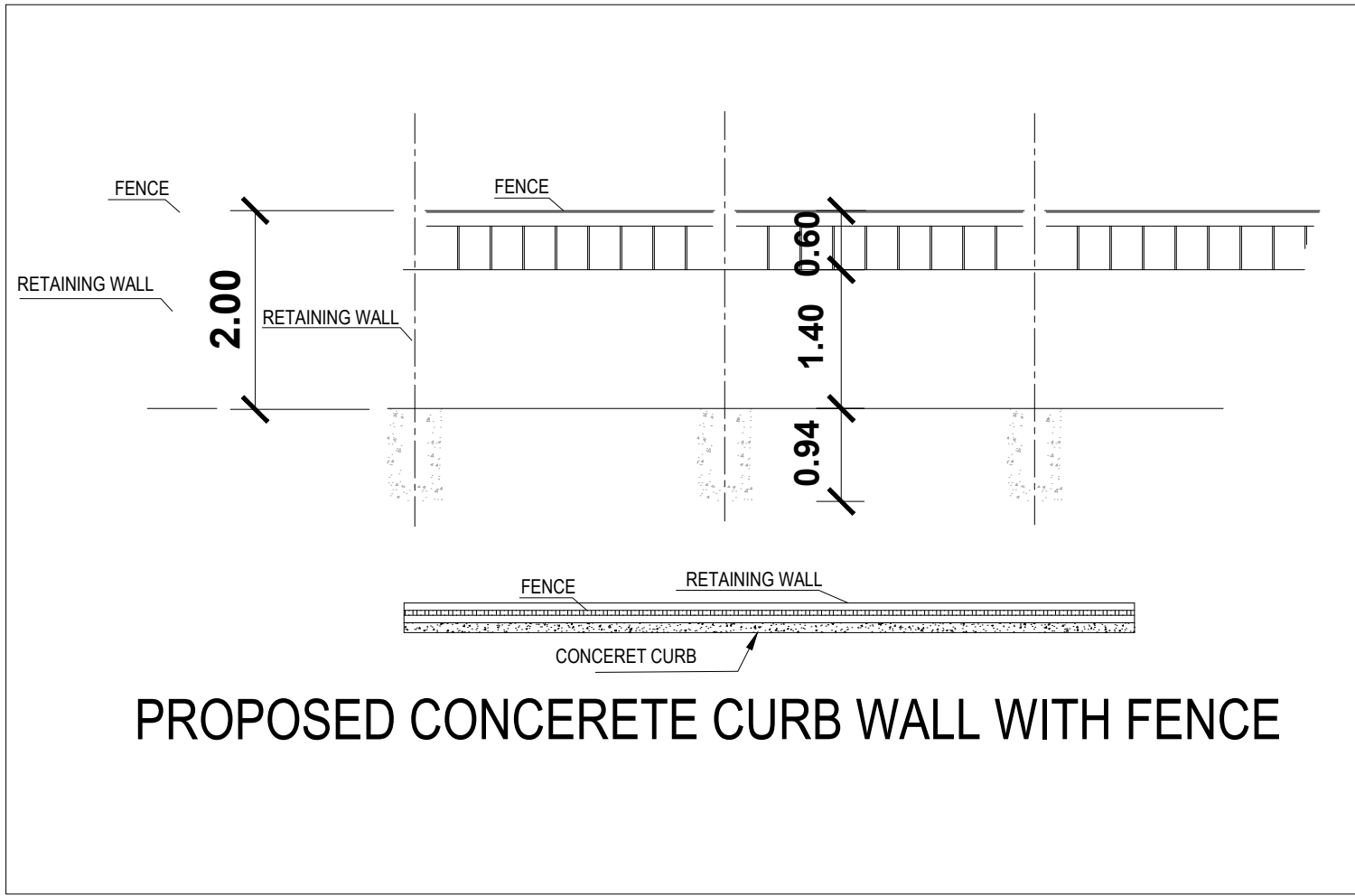
- REQUIREMENTS FOR CONTROL OF RADON SEEPAGE FROM SUBGRADE:**
- CLEAN GRAVEL GROUND COVER TO ALLOW SEEPAGE.
  - CONTINUOUS SEALED POLY BELOW SLAB.
  - POLY SEALED AT SEAMS & AT PERIMETER OF FOUNDATION.
  - ELASTOMERIC POLYURETHANE SEALANT.
    - USE 1/2" TUBE FOR APPROXIMATE 2' MIN LENGTH OF DEAD.
    - SMOOTH CAULKING INTO PLACE TO FORCE CAULK INTO PLACE.
  - RADON PIPE INSTALLED BELOW SLAB TO COLLECT & ROUTE RADON GAS, AS PER MESH, DWGS.
  - PIPE OUTLET SEALED AT PENETRATION OF SLAB.
  - RADON OUTLET CAPPED & LABELLED FOR RADON EXTRACTION ONLY.
  - SEE MECHANICAL DRAWINGS FOR UNDER-SLAB COLLECTION POINTS & RELEASE LINES.



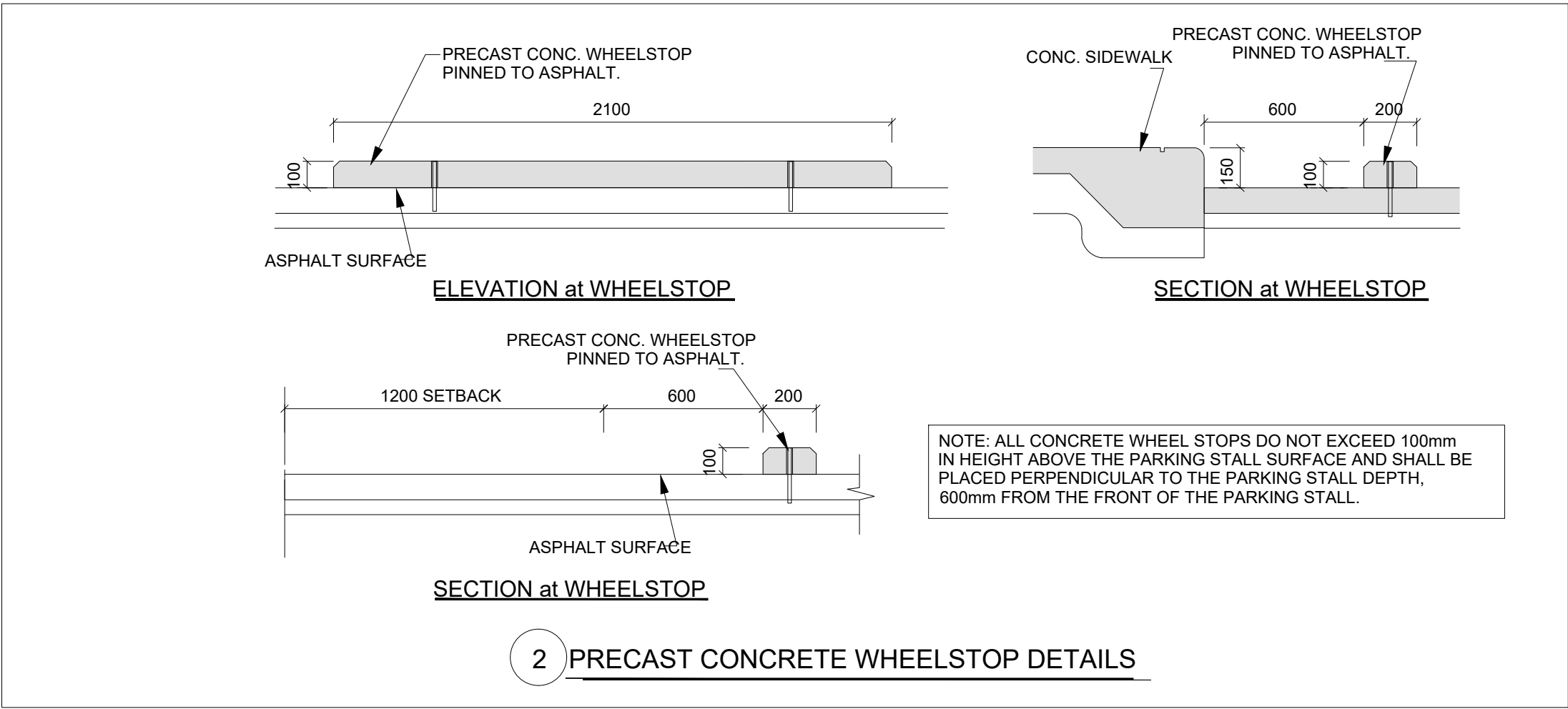
EXAMPLE OF CAP LABEL  
PIPE NOT TO BE USED FOR ANY OTHER PURPOSE.



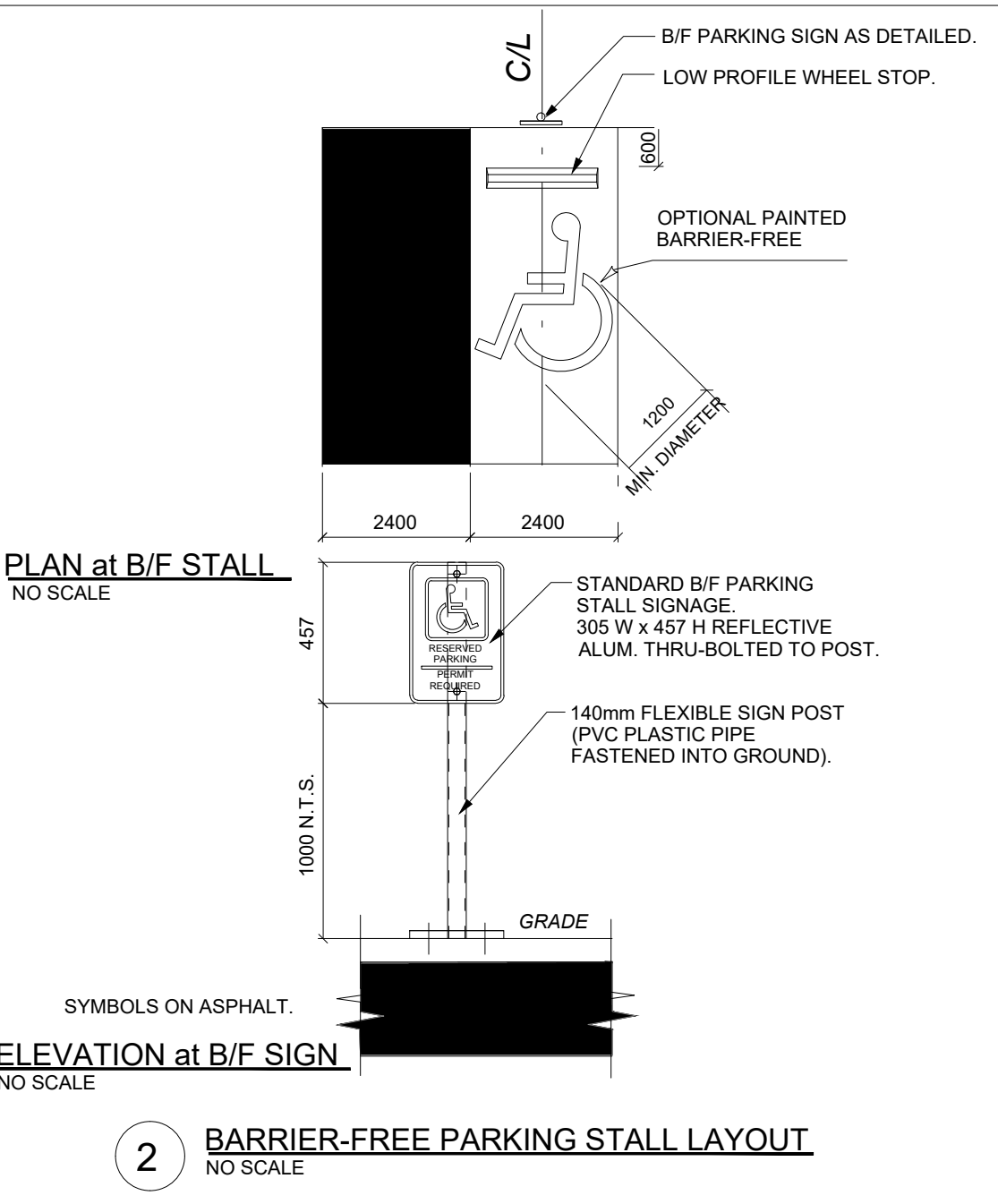
EXAMPLE OF SEALED PENETRATIONS  
POLY SEALED AROUND PIPES, PIPES SEALED AT SLAB SURFACE.



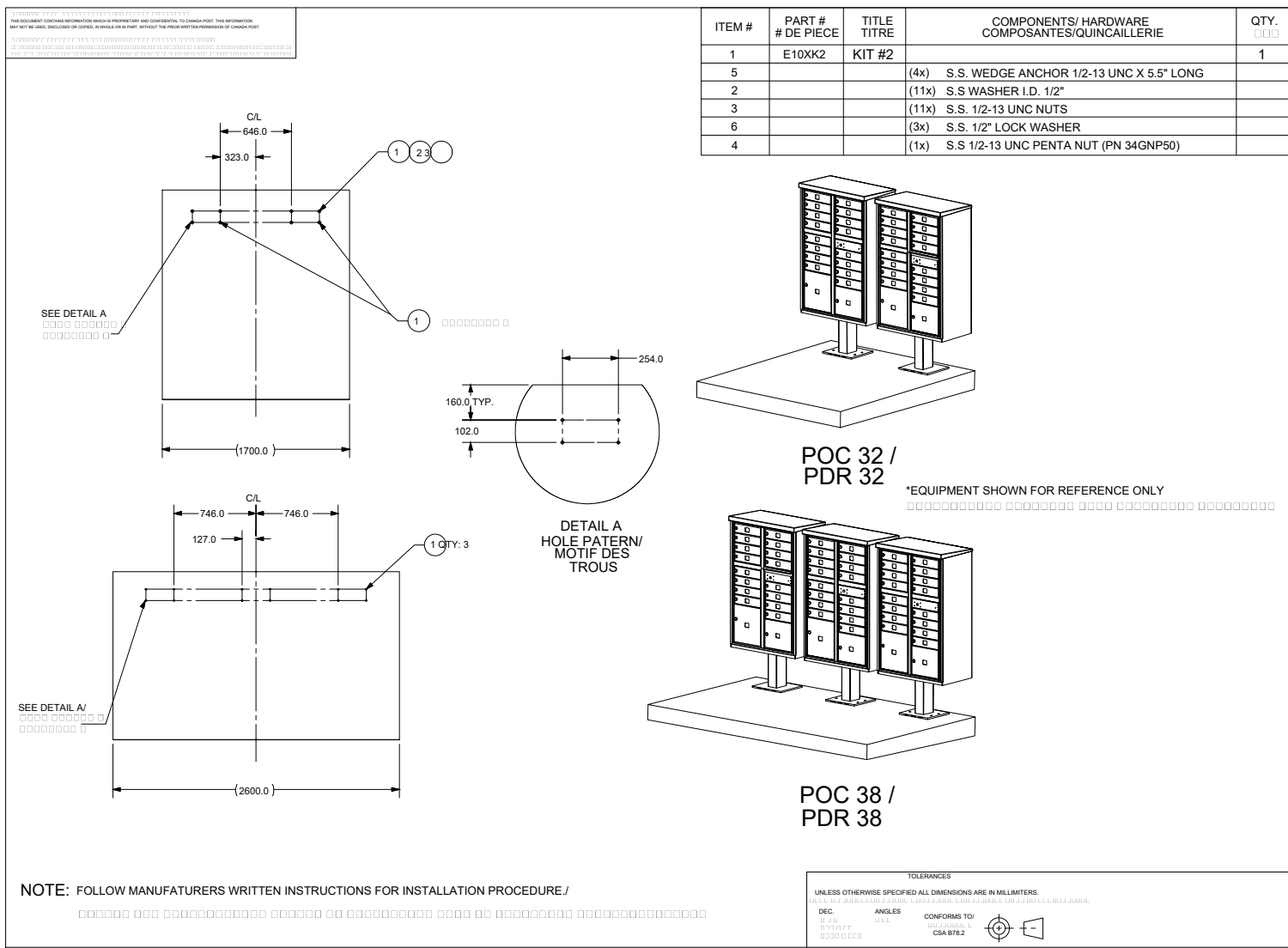
PROPOSED CONCRETE CURB WALL WITH FENCE



2 PRECAST CONCRETE WHEELSTOP DETAILS

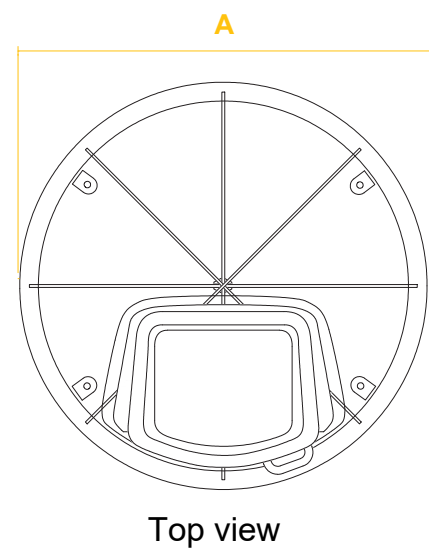


2 BARRIER-FREE PARKING STALL LAYOUT  
NO SCALE

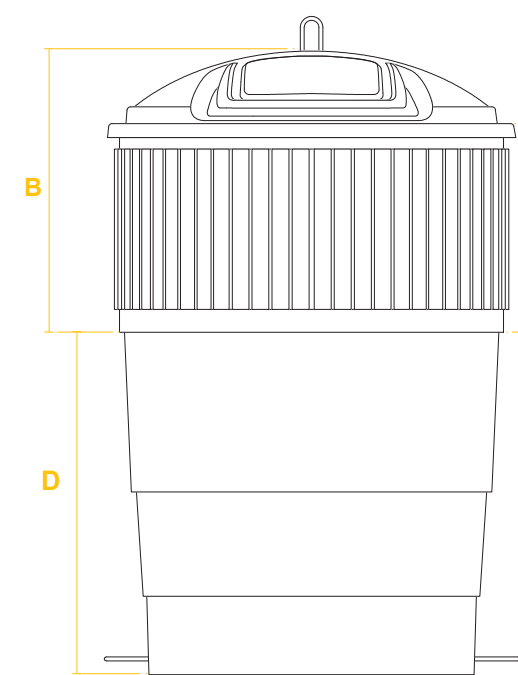


## EarthBin® il™ EB500T

### Specification for In-Ground Crane Lift Waste & Recycling Containers



Top view



Front view

<b>Model:</b>	EB500T
<b>Capacity/Volume:</b>	5000 litre (6.5 cubic yard)
<b>Capacity/Weight:</b>	1250 kg (2750 lbs)
<b>Diameter (A):</b>	1.8 m (70.8 in)
<b>Height (B):</b>	1.2 m (48.5 in)
<b>Feed Height (C):</b>	1.0 m (39.4 in)
<b>Depth In-Ground (D):</b>	1.5 m (60 in)
<b>Standard Feed Opening:</b>	52 cm x 58 cm (20.5 in x 23 in)
<b>Configuration:</b>	Round semi-buried in-ground waste & recycling with vertical lift system (Crane lift)
<b>Feed Door:</b>	Optional colours - Black, Blue; lockable and door stay
<b>Lift frame:</b>	Quick lift system meets "Design of Below-the-Hook Lifting Devices" ASME BTH-1
<b>Bag:</b>	Soft bag; soft bag with liquid retention tank
<b>Framing:</b>	Available in Black, Dark Brown or Dark Grey
<b>Liner:</b>	Ground sleeve features a Patented Anchor system
<b>Signage:</b>	Standard text to indicate different types of materials: Garbage, cardboard, recycling
<b>Materials:</b>	<ul style="list-style-type: none"><li>• Ground sleeve liner: Rigid rotomolded premium virgin Polyethylene 100% recyclable, UV stabilized, continuous sealed part, liquid tight</li><li>• Hardware: galvanized steel, stainless steel or aluminum to ensure long life</li><li>• Lid: 100% recycled black Polyethylene thermoformed textured surface</li><li>• Door: 100% recycled black Polyethylene or coloured Polyethylene thermoformed textured surface</li><li>• Framing: 100% recycled plastic</li><li>• Signage: Premium outdoor aluminum</li><li>• Lift frame: Galvanized steel</li><li>• Bag: Polypropylene woven bag with inner liner; polypropylene woven bag with Polyethylene liquid retention tank;</li></ul>
Designed in Canada Made in Canada	

OPTIONAL EQUIPMENT SHOWN

\*SPECIFICATIONS MAY CHANGE WITHOUT NOTICE

Explore further at [www.earthbin.com](http://www.earthbin.com) . Contact us or book a site visit:

1-844-213-BINS (2467)

21-11

DESIGNED BY:



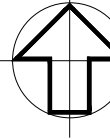
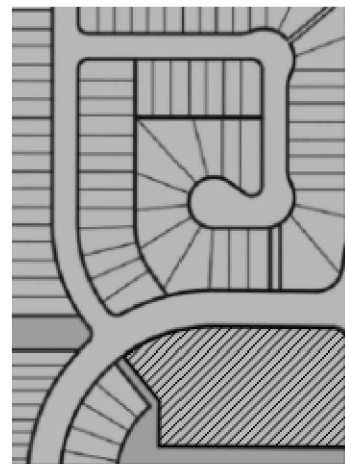
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tricordesigns.com

#202.4216 10STREET NE  
CALGARY, AB  
T2E6K3

PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z.H.A
02	2025/03/24	DTR	N.S/A.M	E.Z.H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS

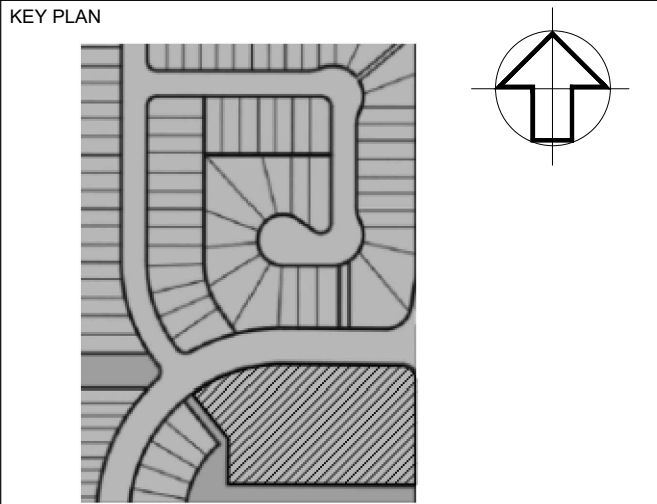
DRAWING NO.

A-012

DRAWN BY: N.S / A.M	CHECKED BY: E.Z / H.A	DATE: 2025_05_14
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SCALE: 1: 200





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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S.	E.Z.H.A.
02	2025/03/24	DTR	N.S./A.M.	E.Z.H.A.
03	2025/05/14	DTR2	A.M.	E.Z.

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S./A.M.	E.Z.H.A.

THE CLIENT:

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS:

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SNOW STORAGE

DRAWING NO.

INFO-001

DRAWN BY:	CHECKED BY:	DATE:
N.S./A.M.	E.Z./H.A.	2025_05_14
SCALE: 1: 200		



DESIGNED BY:

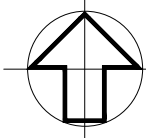
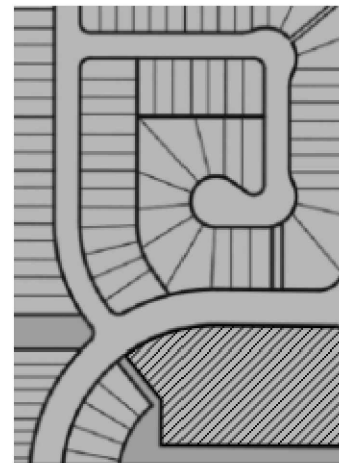


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#202-4218 108 STREET NE  
CALGARY, AB  
T2E6K3

PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2025/01/12	TRAFFIC REVIEW SCOPE	N.S	E.Z/H.A
02	2025/03/24	DTR	N.S/A.M	E.Z/H.A
03	2025/05/14	DTR2	A.M	E.Z

ISSUES:

No.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2024/10/07	DEVELOPMENT PERMIT	N.S/A.M	E.Z/H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME AND ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE, AIRDRIE, AB  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SITE PLAN / PHASES

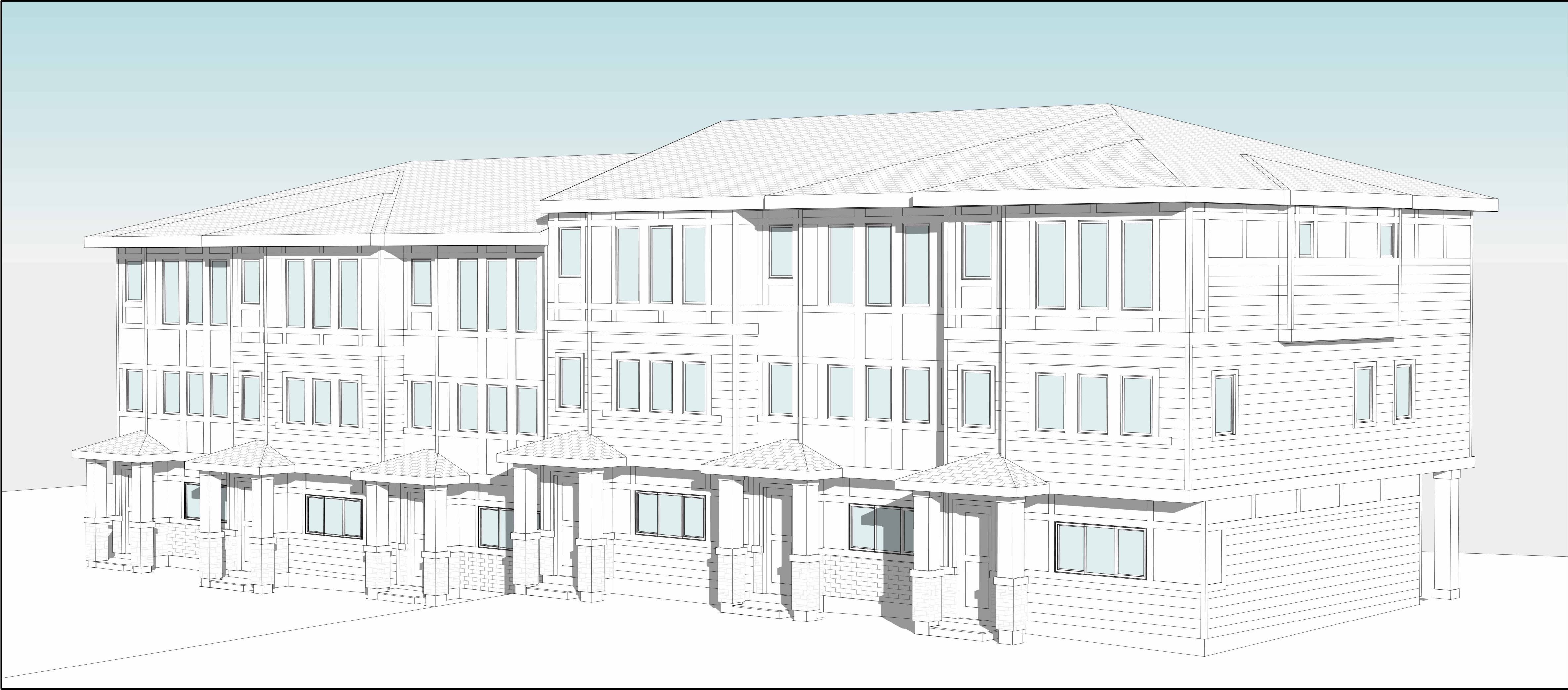
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A-011

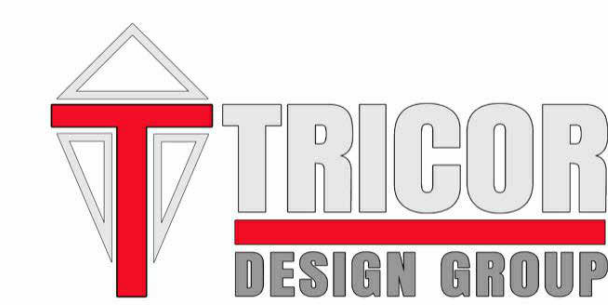
DRAWN BY: N.S / A.M	CHECKED BY: E.Z / H.A	DATE: 2025_05_14
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SCALE: 1: 200





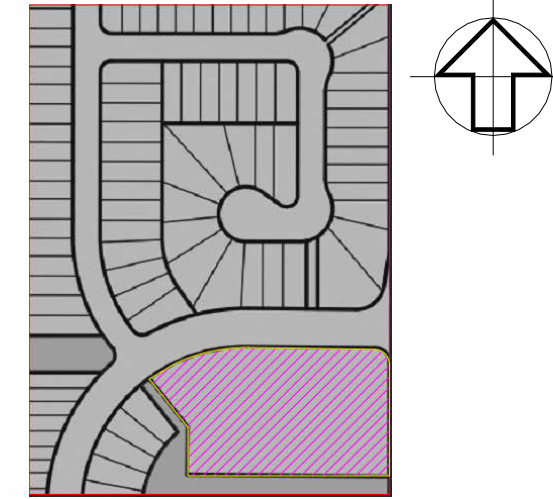
DESIGNED BY:



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CALGARY, AB, T2E 6K3 FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING (1)

DRAWING NO.

A-013

DRAWN BY: H.H.N.S.H.M / K.H.A.A / Z.R.M.M

CHECKED BY: E.Z.H.A/A.M

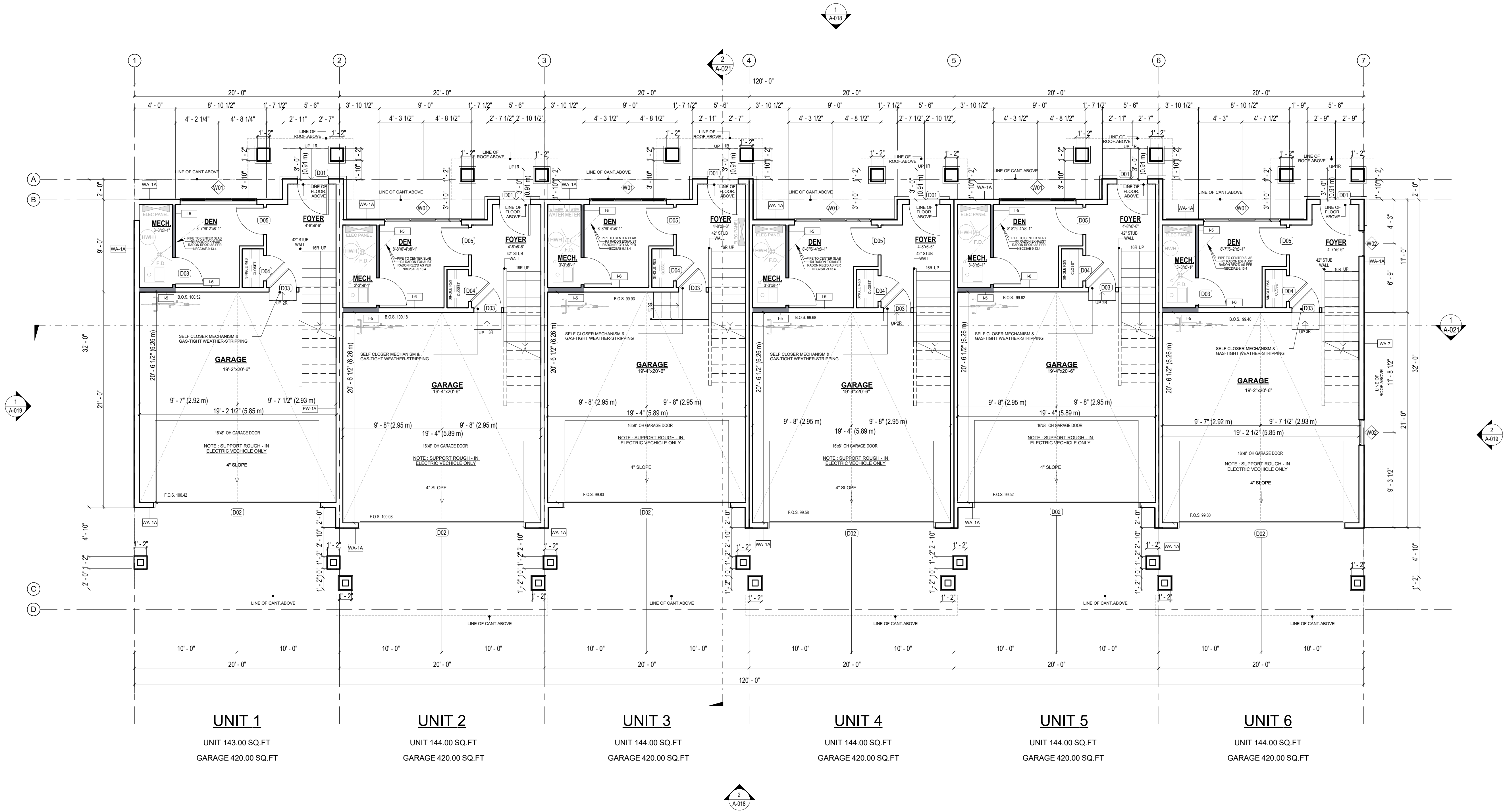
DATE: 25\_06\_12

SCALE:



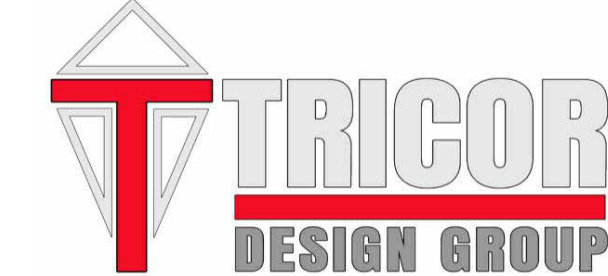
W08 :WILL BE (W0CD).

GROUND FLOOR NOTE : (W0CD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") .THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

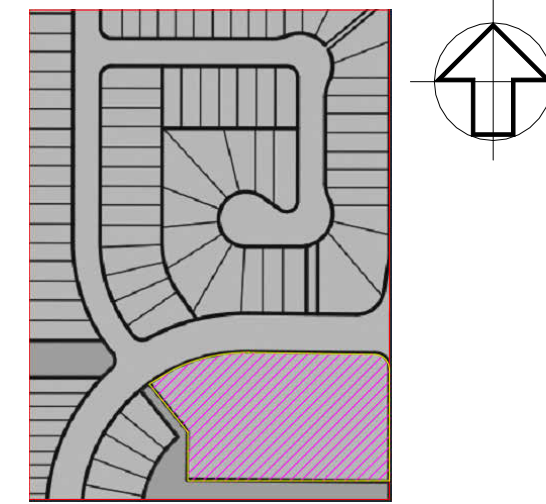
DESIGNED BY:



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PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING (1)

DRAWING NO.

A-014

DRAWN BY: H.H.N.S.H.M./K.H.A.A.Z.Z.O.M.M.

CHECKED BY: E.Z.H.A./A.M.

DATE: 25\_06\_12

SCALE: 3/16" = 1'-0"



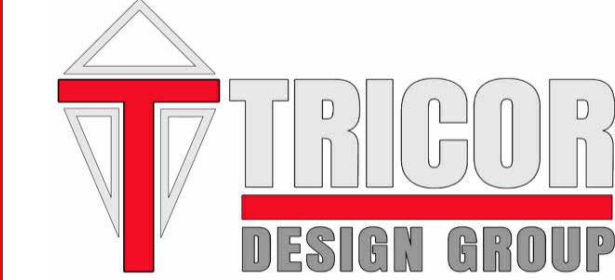
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

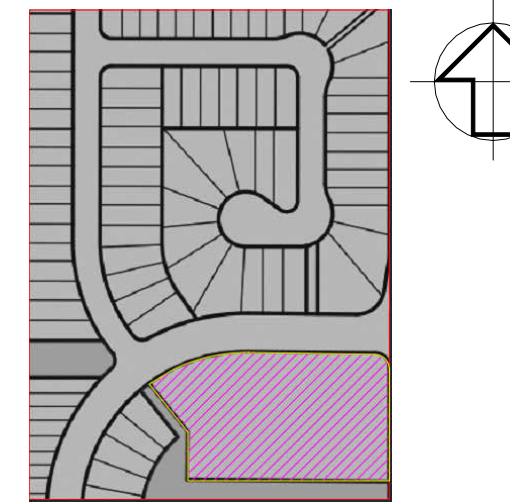
DESIGNED BY:



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tricordesigns.com

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CALGARY, AB, FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING (1)

DRAWING NO.

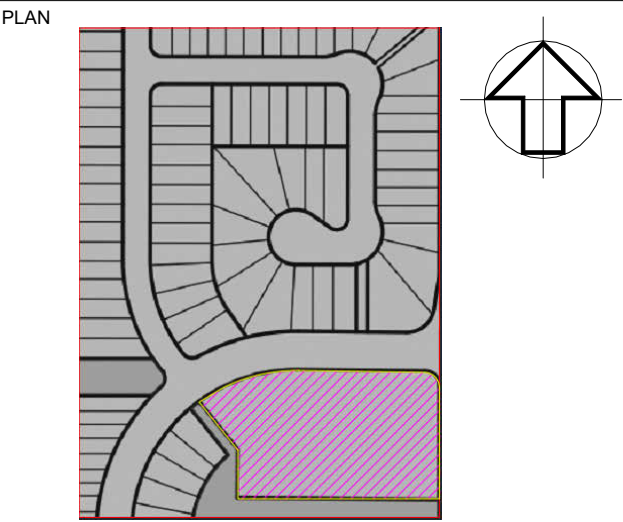
A-015

DRAWN BY: H.H.N.S.H.M./K.H.A.A./Z.Z.O.M.M. CHECKED BY: E.Z.H.A./A.M. DATE: 25\_06\_12

SCALE: 3/16" = 1'-0"



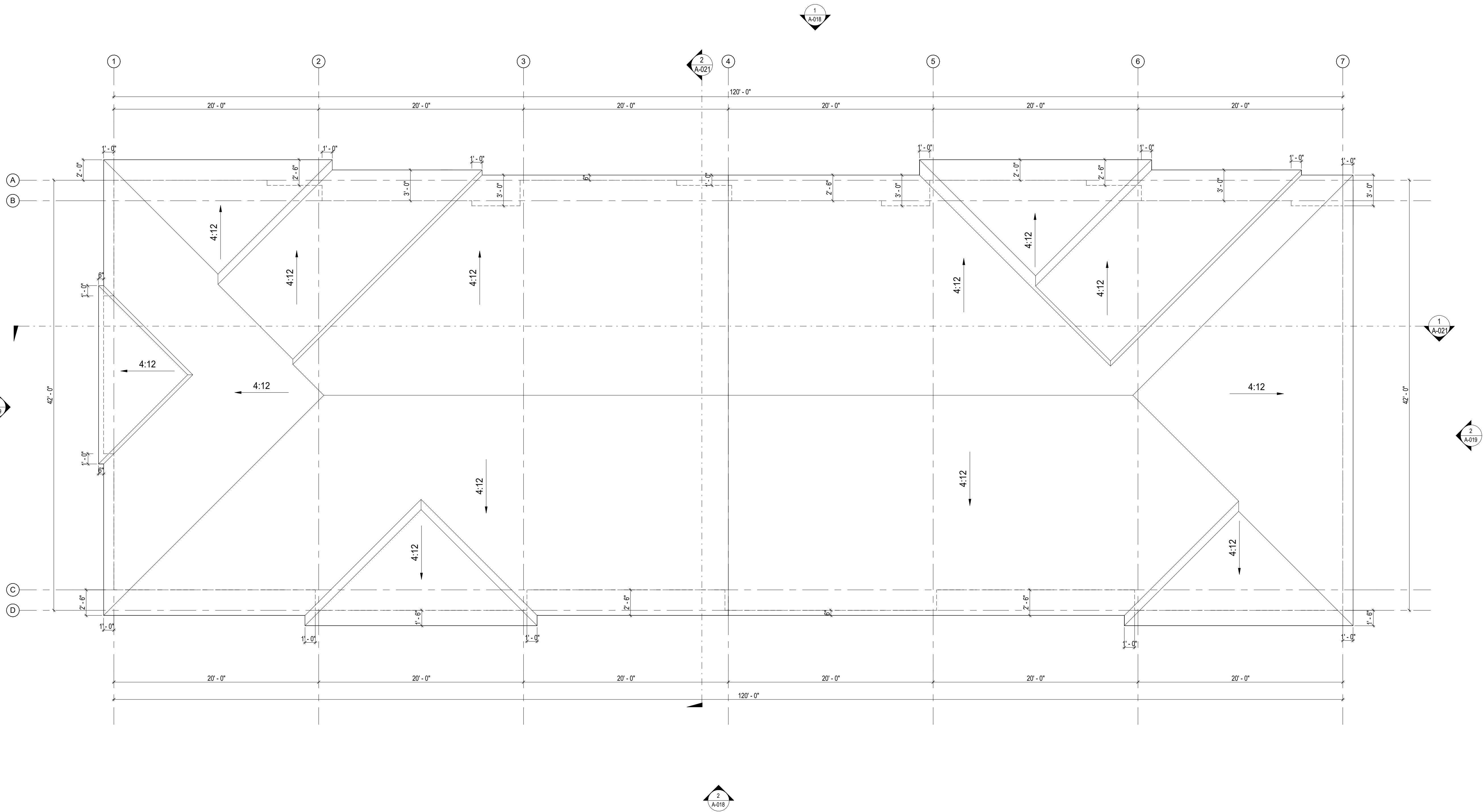
SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36"), THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



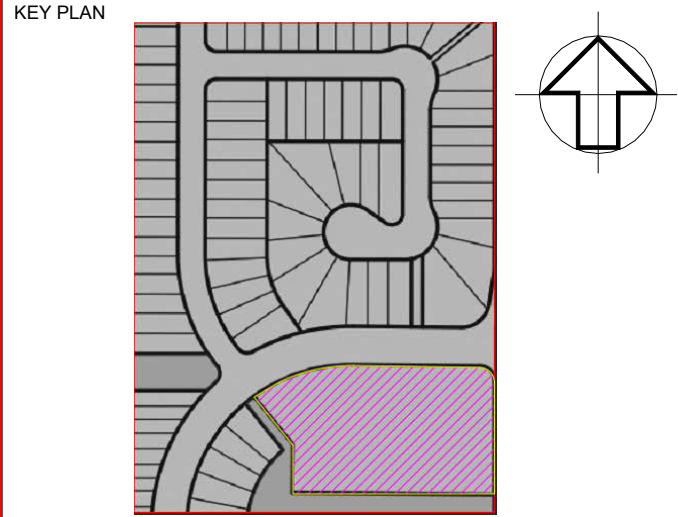
CTIONS:				
	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
	25_01_12	TRAFFIC REVIEW SCOPE	N S/H M K H/A A	E Z/H A
	25_03_24	DTR	H H/Z R/E M	E Z/H A/A M
	25_05_12	DTR 2	M M	E Z/H A/A M

LUXURIA HOMES AIRDRIE, AB		
JECT NAME & ADDRESS :		
MULTI-FAMILY TOWNHOMES 3010 KEY DRIVE SW LOT 1, BLOCK 1, PLAN 2312456		
WING SET :		
DEVELOPMENT PERMIT SET		
WING TITLE :		
SECOND FLOOR PLAN BUILDING (1)		
WING NO.		
A-016		
PN BY:	CHECKED BY:	DATE:
H HIN/S/H M/ H/A/AZ/R/M	E.Z.H/A/M	25_05_12
E. 3/16" = 1'-0"		





1 ROOF FLOOR PLAN  
3/16" = 1'-0"



NOTES

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

**LUXURIA HOMES  
AIRDRIE, AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

**DEVELOPMENT PERMIT SET**

DRAWING TITLE :

**ROOF FLOOR PLAN  
BUILDING (1)**

DRAWING NO.

**A-017**

DRAWN BY: H.H.N.S.H.M. K.H.A.A./Z.Z.M.M.	CHECKED BY: E.Z.H.A./A.M.	DATE: 25_06_12
--	------------------------------	-------------------

SCALE: 3/16" = 1'-0"



MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL  
W/FULL GLAZING AND  
VERTICALSTACKGLAZING

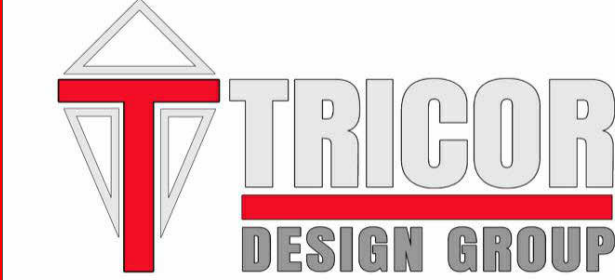


1 FRONT(NORTH) ELEVATION  
3/16" = 1'-0"



2 REAR (SOUTH)ELEVATION  
3/16" = 1'-0"

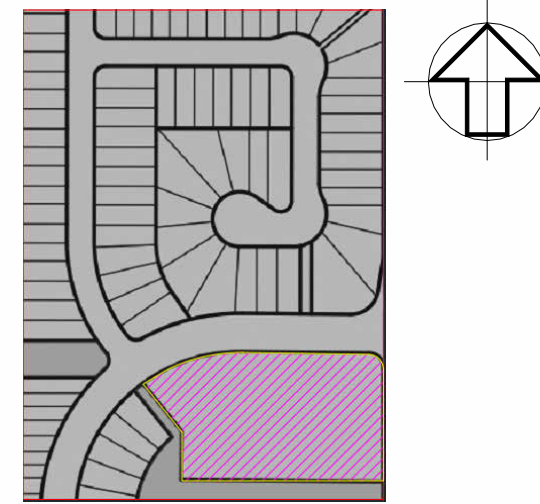
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202.4216 10 STREET NE, CALGARY, AB, T2E 6K3  
PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.Z.R.E.M.	E.Z.H.A./A.M.
03	25_05_12	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING (1)

DRAWING NO.

A-018

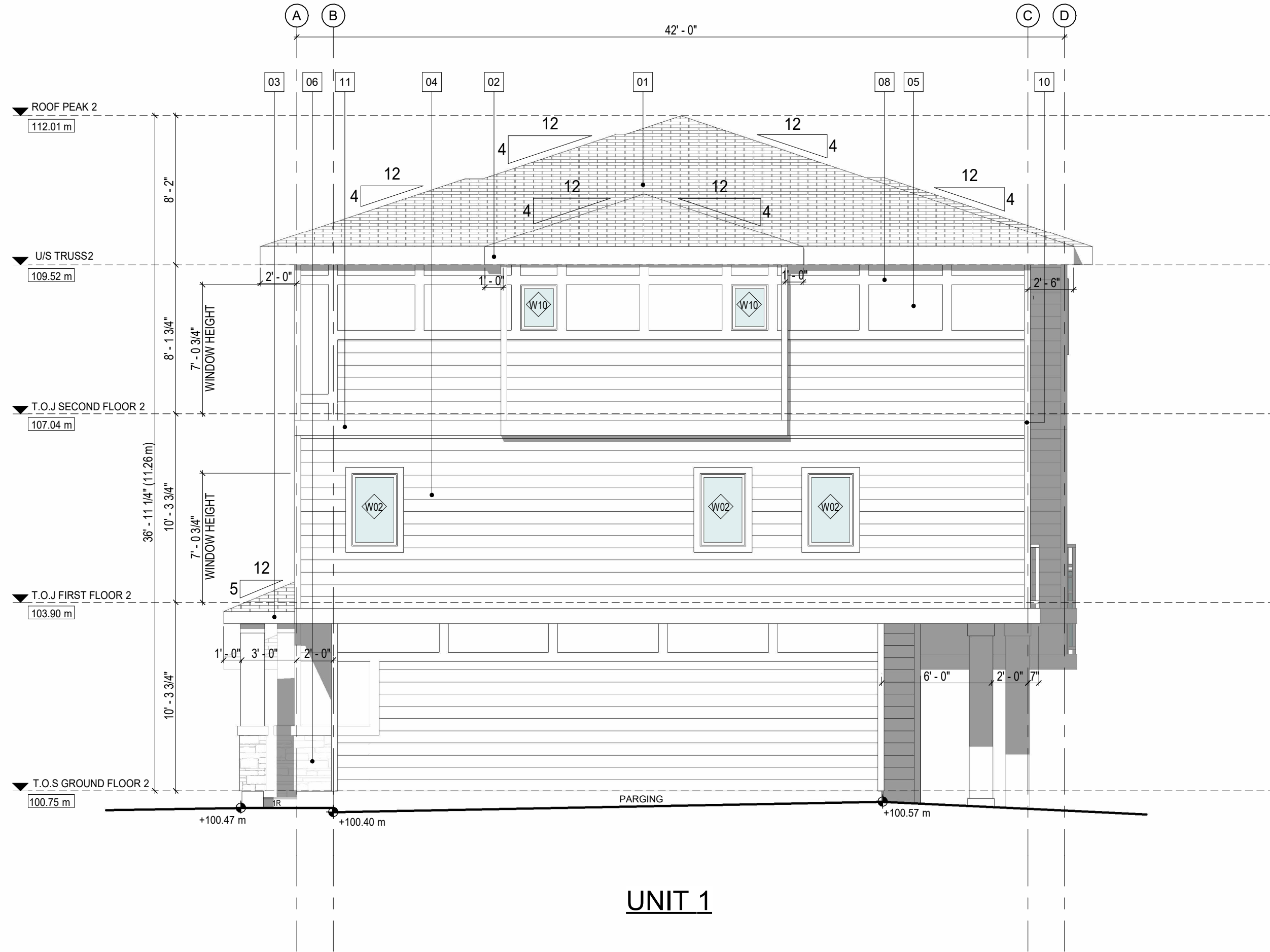
DRAWN BY: H.H.N.S.H.M./ K.H.A.A.Z.R.E.M.	CHECKED BY: E.Z.H.A./A.M.	DATE: 25_06_12
--	------------------------------	-------------------

SCALE: 3/16" = 1'-0"

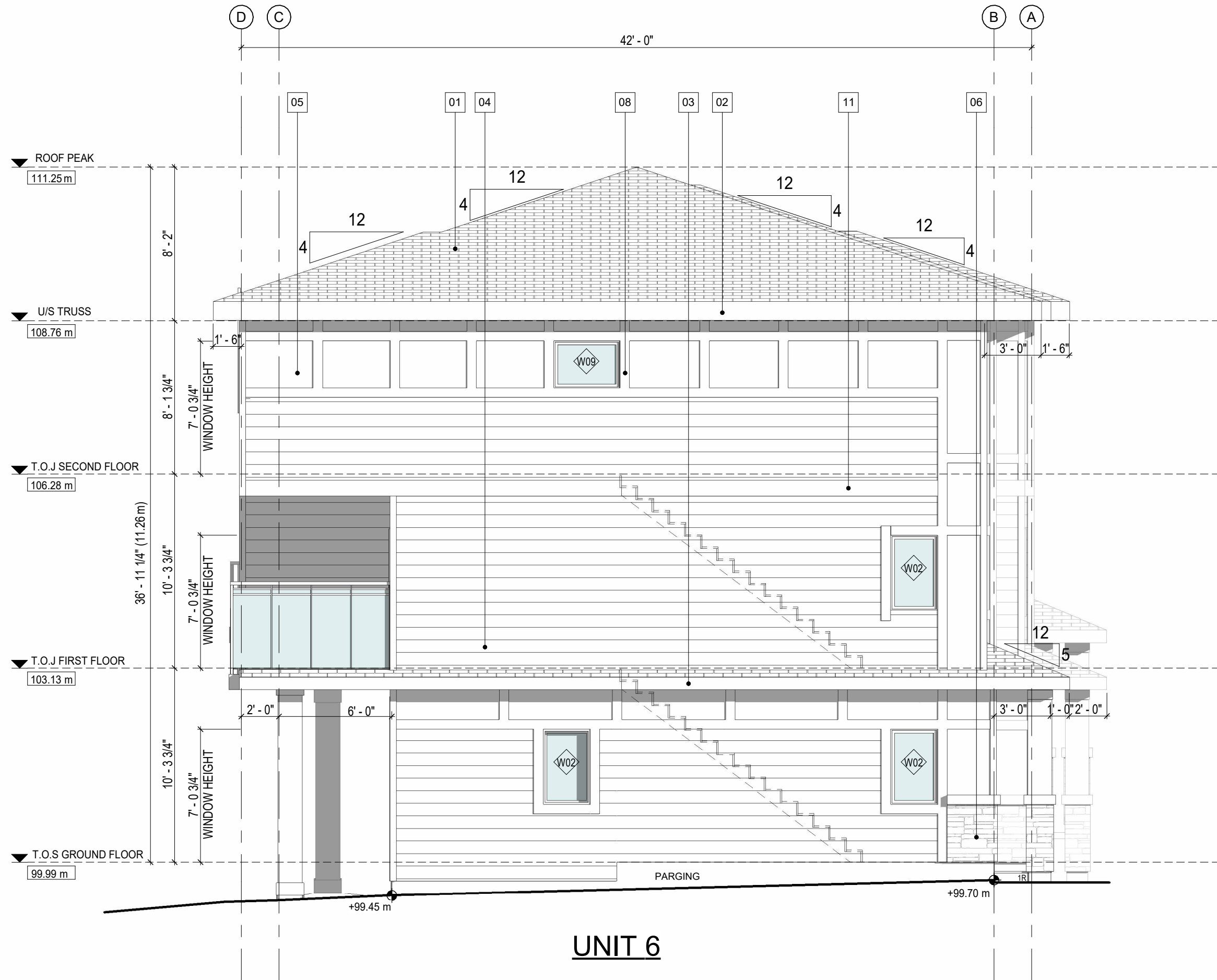


MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

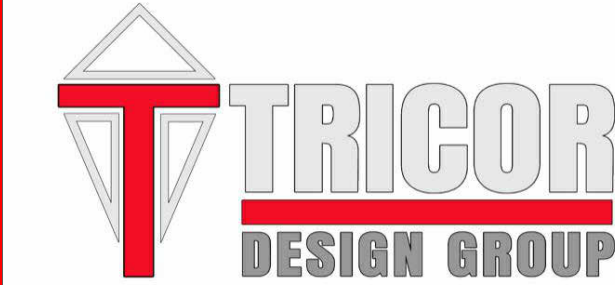


1 RIGHT (WEST) ELEVATION  
3/16" = 1'-0"



2 LEFT (EAST)ELEVATION  
3/16" = 1'-0"

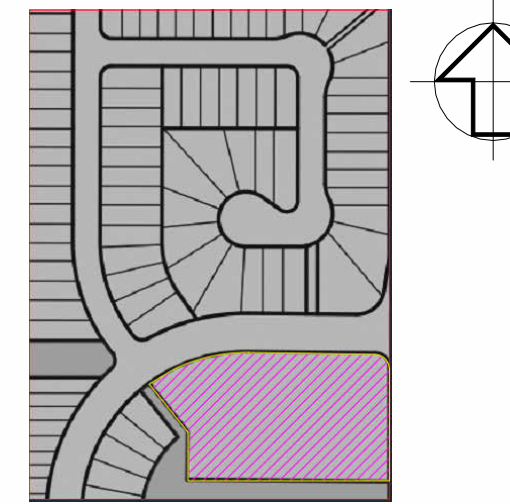
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02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING (1)

DRAWING NO.

A-019

DRAWN BY: H.H.N.S.H.M/  
K.H.A.A/Z.Z.M.M

CHECKED BY: E.Z.H.A/A.M

DATE: 25\_06\_12

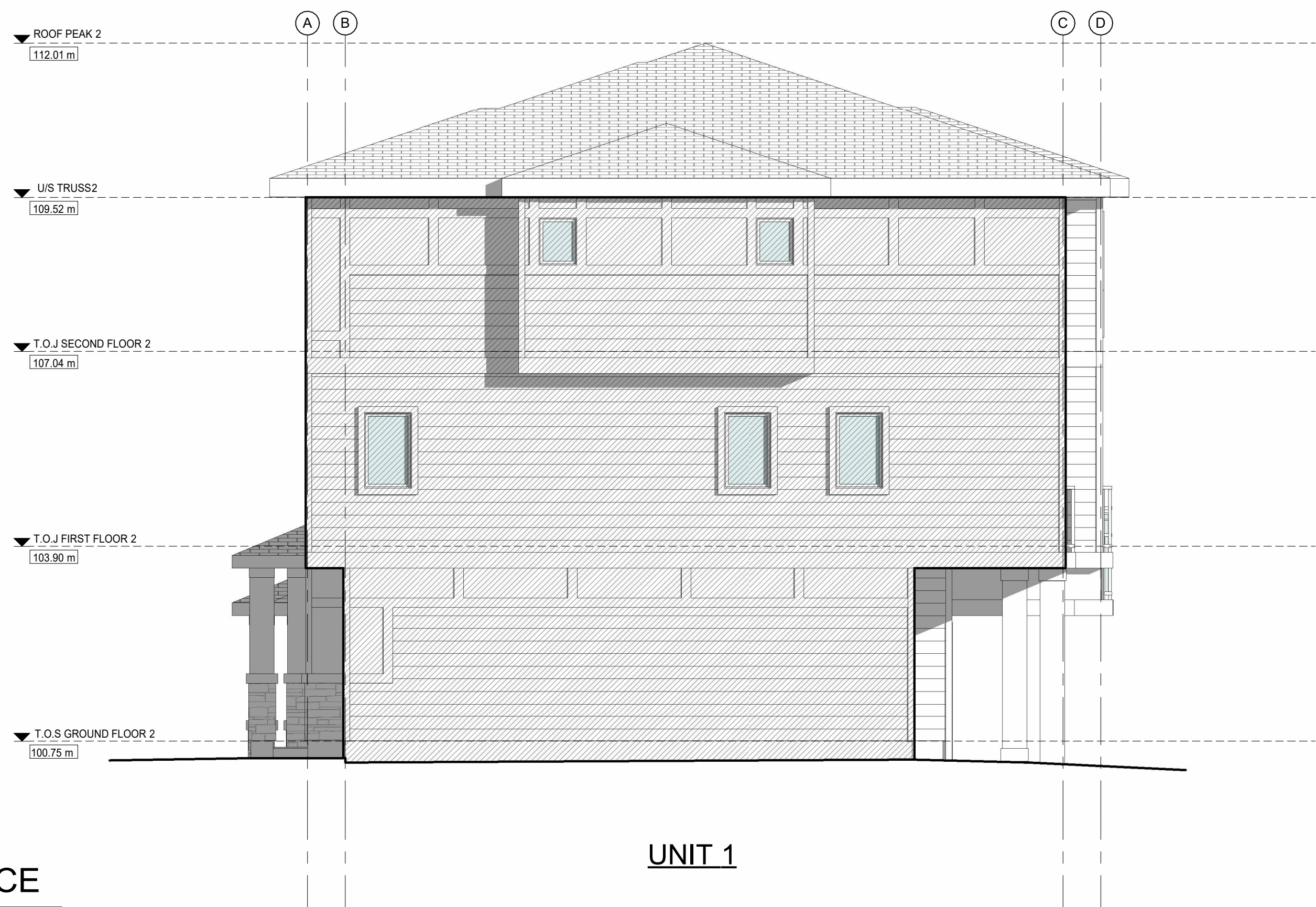
SCALE: 3/16" = 1'-0"





UNPROTECTED OPENINGS	UNIT 1		UNIT 2		UNIT 3		UNIT 4		UNIT 5		UNIT 6	
CODE CHECK EXPOSED BUILDING FACE	591 SQ.FT	54.93 SQ.M	638 SQ.FT	59.31 SQ.M	617 SQ.FT	57.31 SQ.M	619 SQ.FT	57.54 SQ.M	587 SQ.FT	54.58 SQ.M	633 SQ.FT	58.85 SQ.M
SETBACK	18" - 10"	5.74 m	17" - 10"	5.43 m	18" - 10"	5.74 m	18" - 11"	5.77 m	19" - 5"	5.92 m	18" - 5"	5.62 m
PERCENTAGE OF ALLOWED OPENINGS	51.13%		45.14%		50.11%		50.42%		53.78%		47.86%	
SQ.FT OF ALLOWED OPENING	302.29 SQ.FT	28.08 SQ.M	288.18 SQ.FT	26.77 SQ.M	309.10 SQ.FT	28.72 SQ.M	312.25 SQ.FT	29.01 SQ.M	315.93 SQ.FT	29.35 SQ.M	303.17 SQ.FT	28.16 SQ.M
ACTUAL SQ.FT OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	151.14 SQ.FT	14.04 SQ.M	144.09 SQ.FT	13.39 SQ.M	154.55 SQ.FT	14.36 SQ.M	156.13 SQ.FT	14.50 SQ.M	157.97 SQ.FT	14.68 SQ.M	151.58 SQ.FT	14.08 SQ.M

1 REAR (SOUTH)ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 1	
CODE CHECK EXPOSED BUILDING FACE	1098 SQ.FT	102.04 SQ.M
SETBACK	16" - 1"	4.90 m
PERCENTAGE OF ALLOWED OPENINGS	15.15%	
SQ.FT OF ALLOWED OPENING	166.40 SQ.FT	15.46 SQ.M
ACTUAL SQ.FT OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	83.20 SQ.FT	7.73 SQ.M

2 RIGHT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

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KEY PLAN

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REVISIONS:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / K.H.A.A	E.Z.H.A
02	25_03_24	DTR	H.H.Z.R.E.M	E.Z.H.A/A.M
03	25_05_12	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.A.A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	M.M	E.Z.H.A

THE CLIENT :  
LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :  
MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :  
DEVELOPMENT PERMIT SET

DRAWING TITLE :  
UNPROTECTED OPENINGS  
BUILDING (1)

DRAWING NO.  
A-020

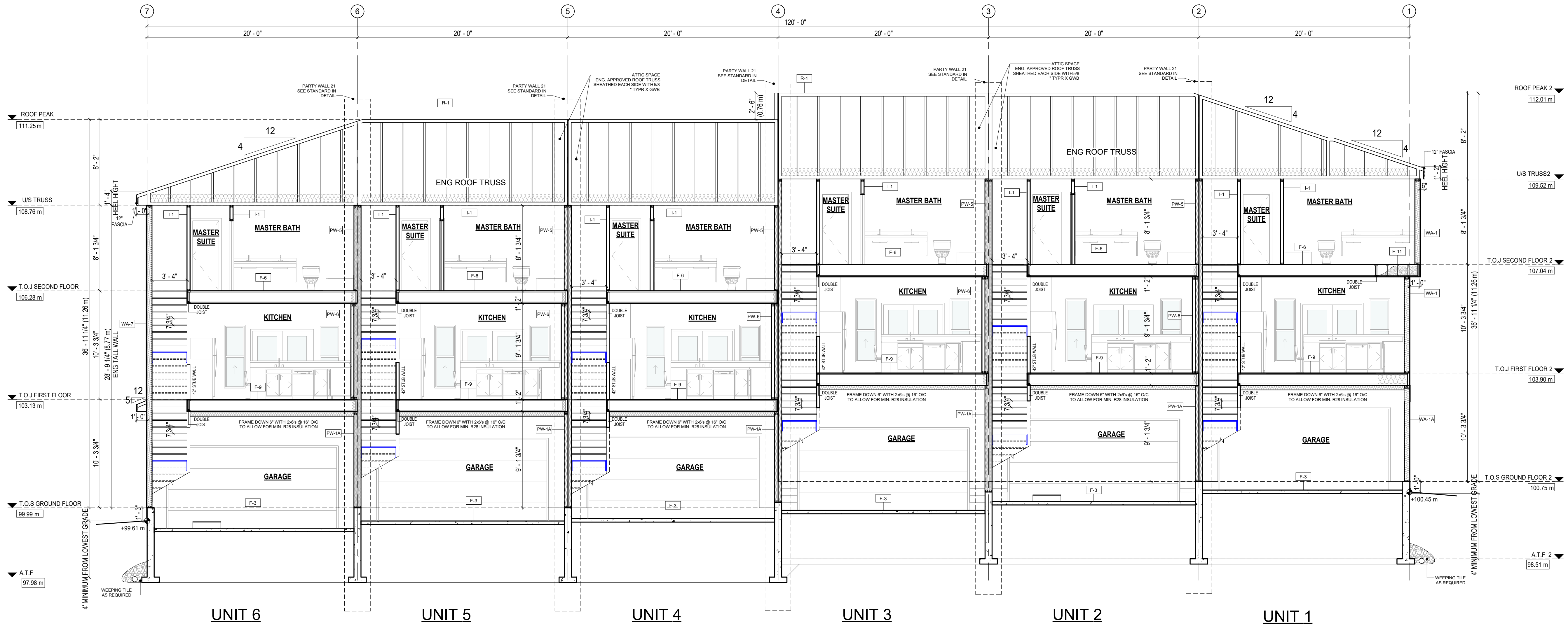
DRAWN BY: H.H.N.S.H.M / K.H.A.A / Z.Z.M.M  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_12  
SCALE: 3/16" = 1'-0"



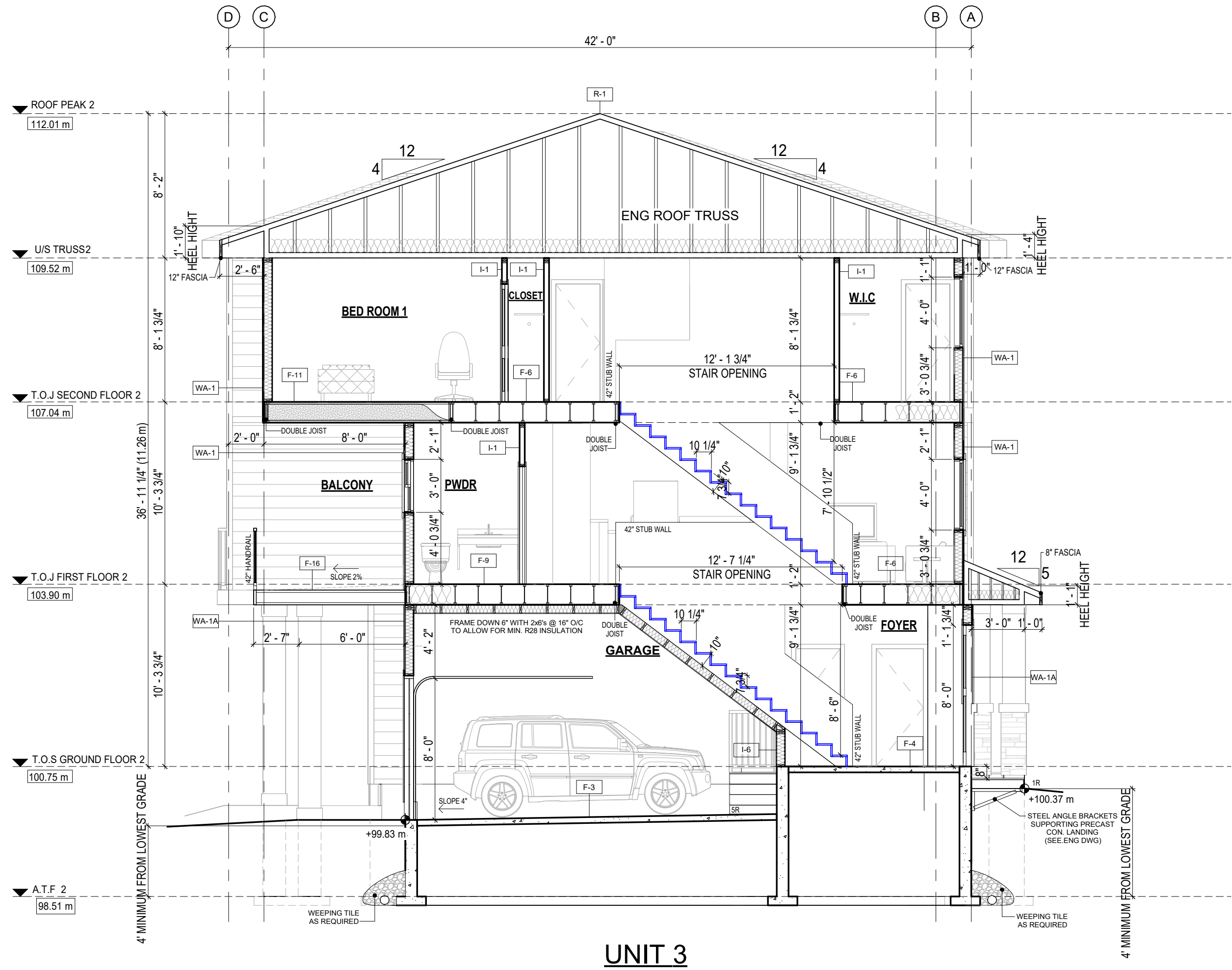
NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM  
LOWEST GRADE

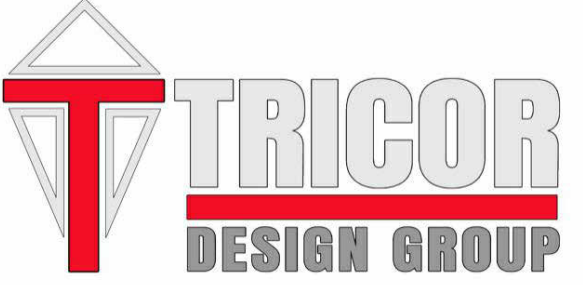


1 SECTION 1  
3/16" = 1'-0"



2 SECTION 2  
3/16" = 1'-0"

DESIGNED BY:

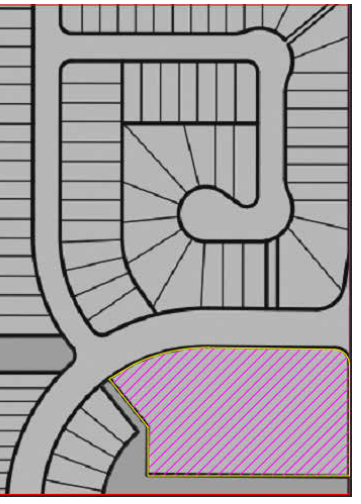


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02	25_03_24	DTR	H.H.Z.R.E.M./E.Z.H.A.A.M.	
03	25_05_12	DTR 2	M.M.	E.Z.H.A.A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	M.M.	E.Z.H.A.

THE CLIENT:

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS:

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SECTION1 & SECTION 2  
BUILDING (1)

DRAWING NO.

A-021

DRAWN BY:

CHKD BY:

DATE:

H.H.N.S.H.M./K.H.A.A.Z.Z.M.M.

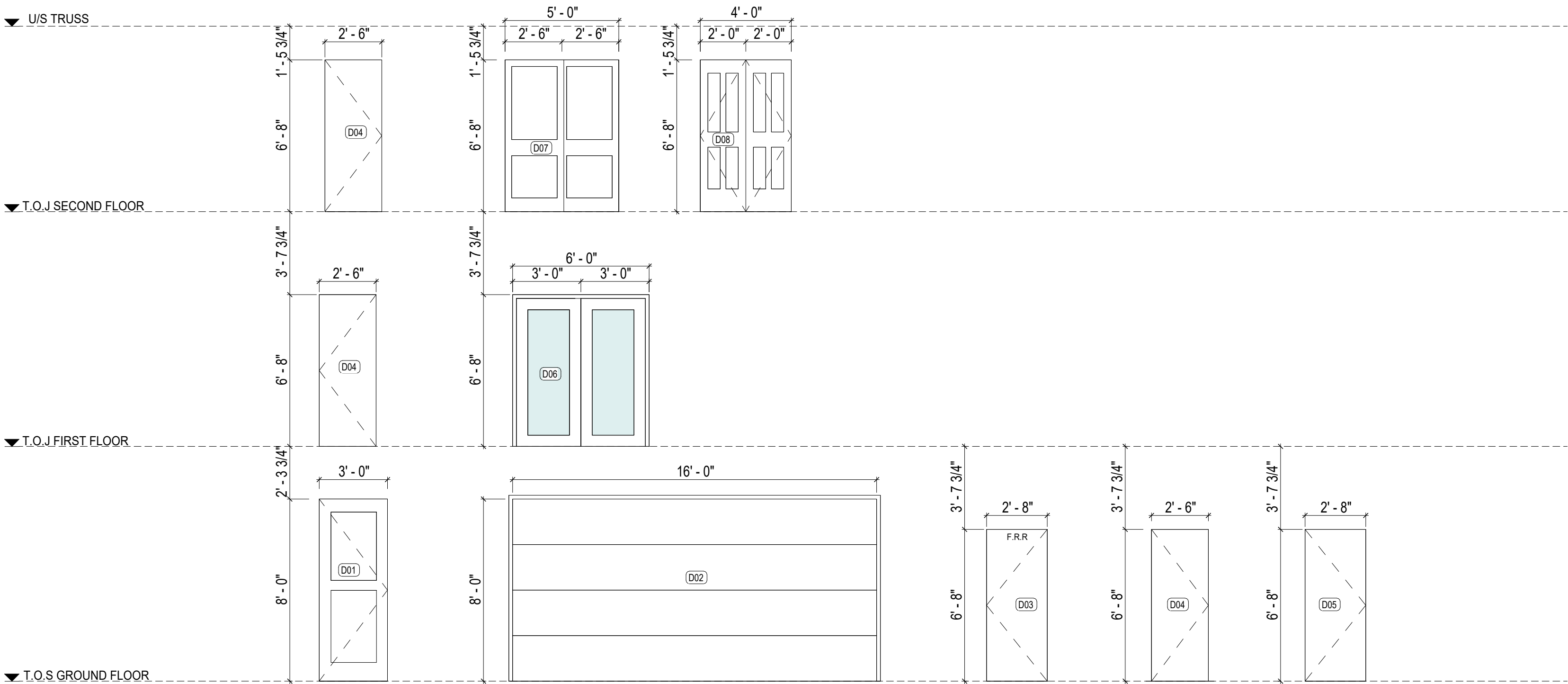
E.Z.H.A.A.M.

25\_06\_12

SCALE: 3/16" = 1'-0"

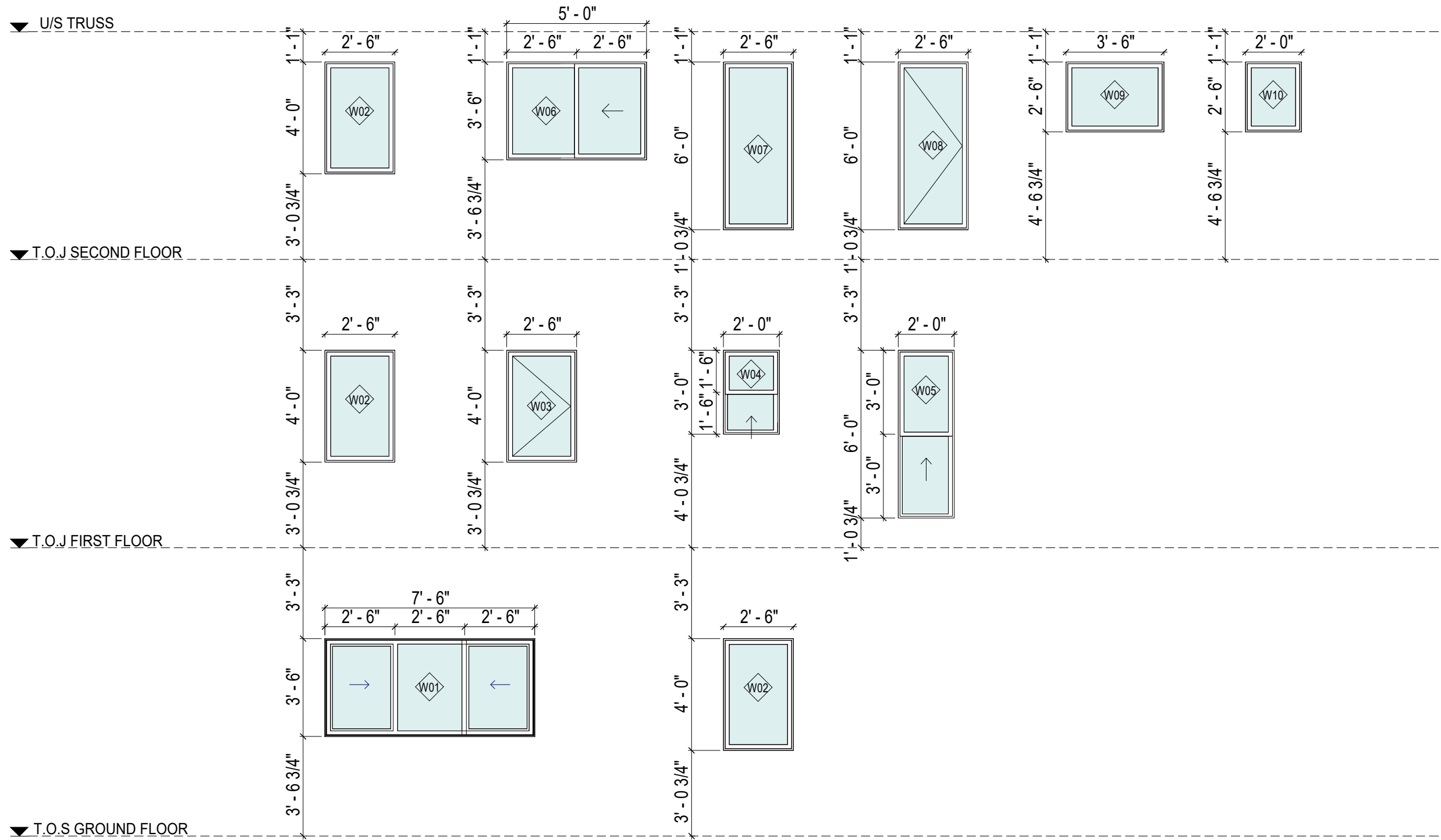


GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL  
W/FULL GLAZING AND  
VERTICAL STACK GLAZING



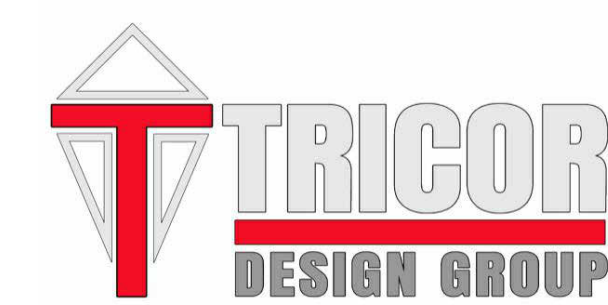
1 DOORS TYPES  
1/4" = 1'-0"

W08 :WILL BE (WOCD).



2 WINDOWS TYPES  
1/4" = 1'-0"

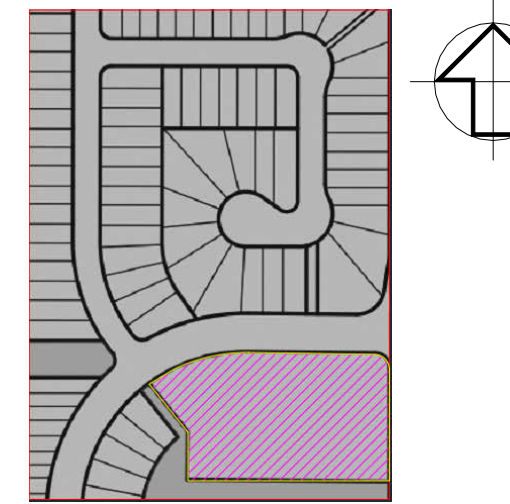
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.A.A	E.ZH.A
02	25_03_24	DTR	H.HZ.R.E.M	E.ZH.A/A.M
03	25_05_12	DTR 2	M.M	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.A.A	E.ZH.A
02	25_04_30	BUILDING PERMIT	M.M	E.ZH.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS & WINDOWS TYPES  
BUILDING (1)

DRAWING NO.

A-022

DRAWN BY: H.H.N.S.H.M / K.H.A.A.Z.Z.M.M

CHECKED BY: E.ZH.A/A.M

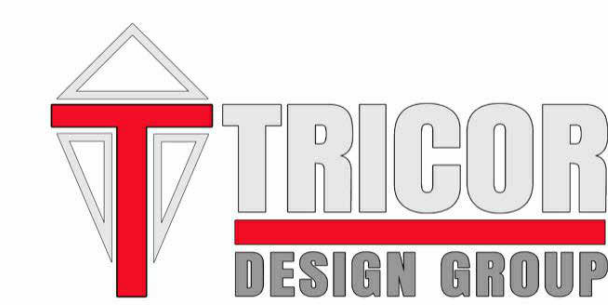
DATE: 25\_06\_12

SCALE: 1/4" = 1'-0"





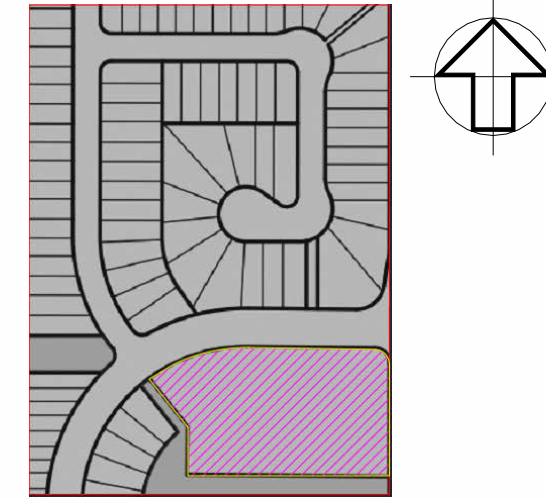
DESIGNED BY:



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tricordesigns.com

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T2E 0K3 EMAIL: info@tricordesigns.com

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING 2

DRAWING NO.

A-023

DRAWN BY: N.S.H.M/  
Z.R.K.H/H.H.M.M

CHECKED BY: E.Z.H.A/A.M

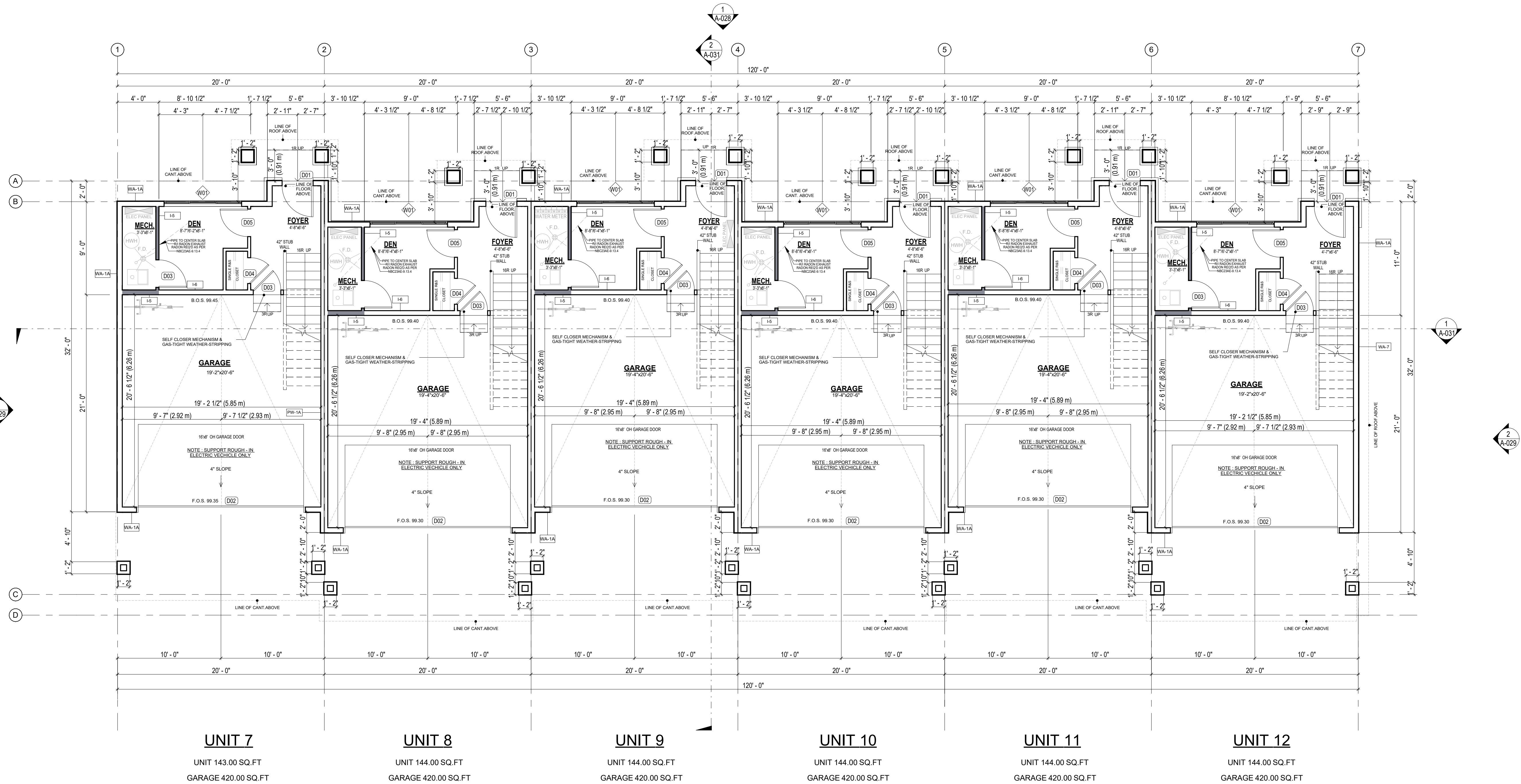
DATE: 25\_06\_14

SCALE:



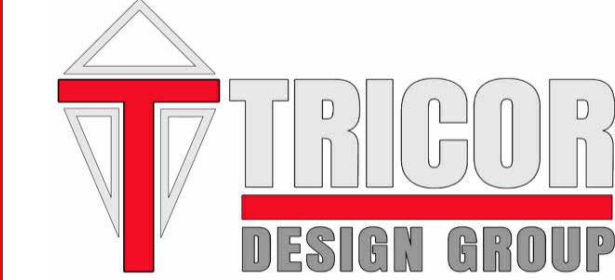
W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") ,THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

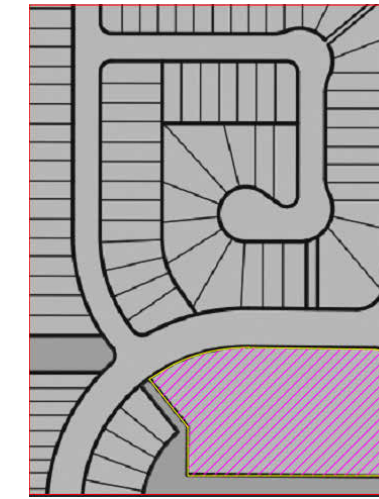


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_03_24	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	H.H.Z.R.	E.Z.H.A./A.M.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING 2

DRAWING NO.

A-024

DRAWN BY:

CHECKED BY:

DATE:

N.S.H.M./Z.R.K.H./H.H.M.

E.Z.H.A./A.M.

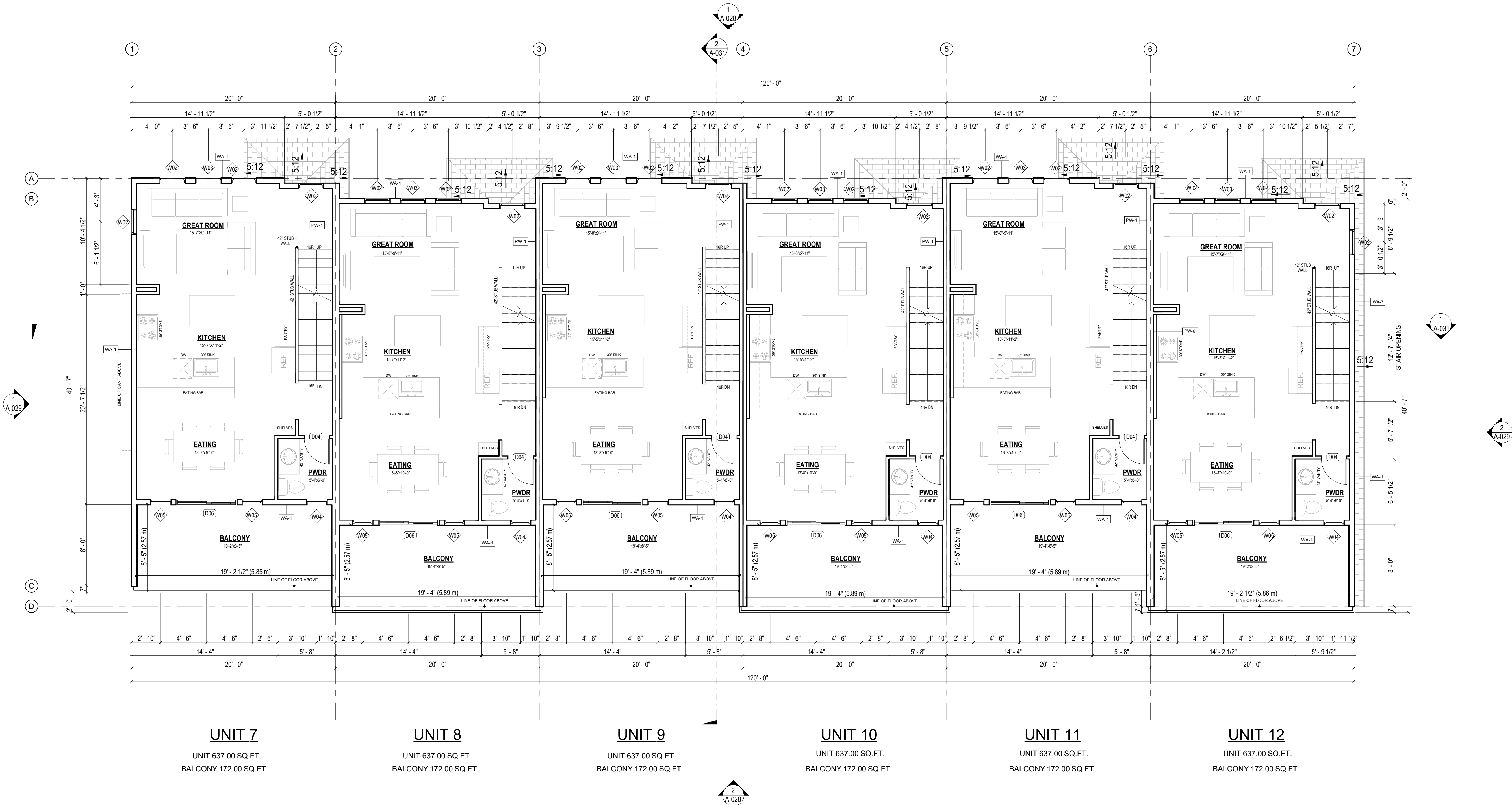
25\_05\_14

SCALE: 3/16" = 1'-0"



W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

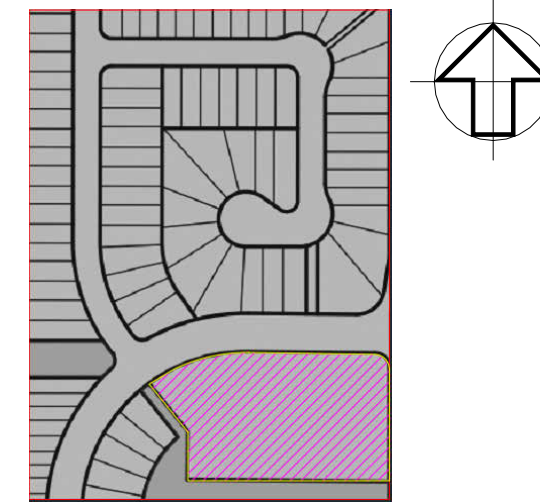
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202, 4216 10 STREET NE. PHONE: (403)203-1970  
CALGARY, AB. FAX: (403)203-1990  
T2E 0K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_03_24	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	H.H.Z.R.	E.Z.H.A./A.M.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING 2

DRAWING NO.

A-025

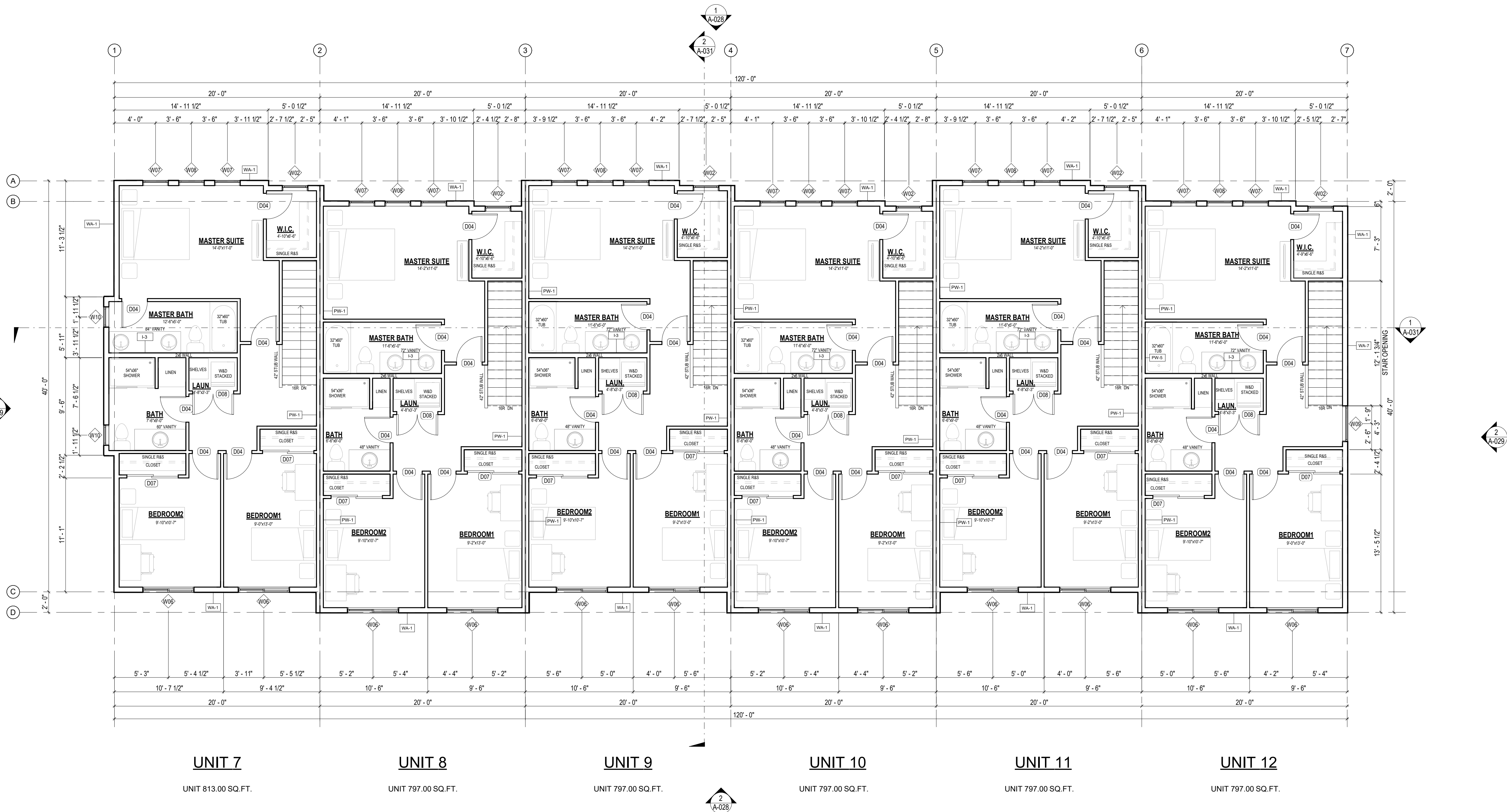
DRAWN BY: N.S.H.M./Z.R.K.H./H.H.M.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



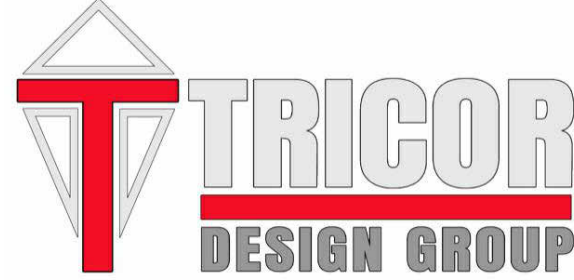
W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



1 SECOND FLOOR PLAN  
3/16" = 1'-0"

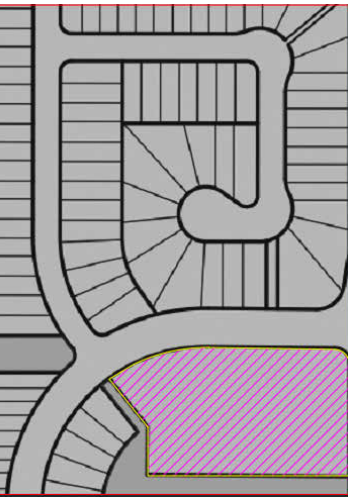
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_03_24	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	H.H.Z.R.	E.Z.H.A./A.M.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING 2

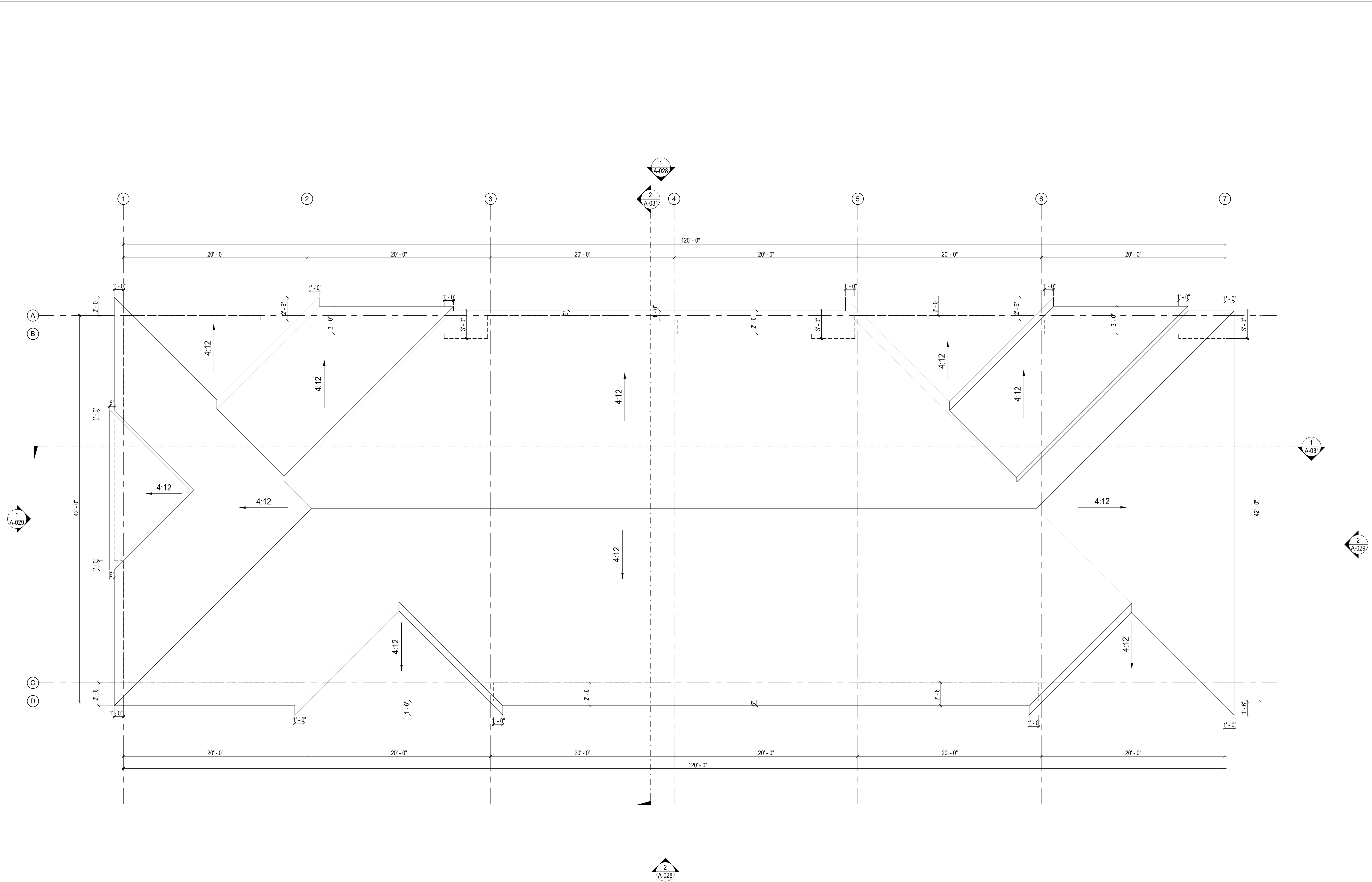
DRAWING NO.

A-026

DRAWN BY: N.S.H.M./Z.R.K.H./H.H.M.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"





1 ROOF FLOOR PLAN  
3/16" = 1'-0"

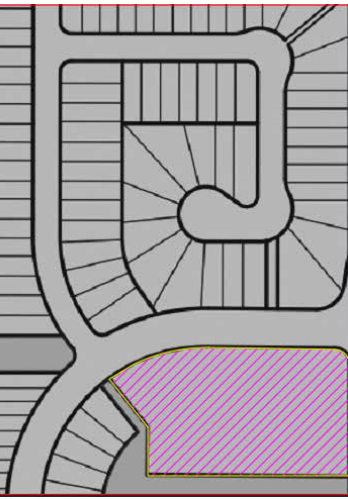
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN  
BUILDING 2

DRAWING NO.

A-027

DRAWN BY: N.S.H.M./Z.R.K.H/H.H.M  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"



MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL :  
CLOPAY MODERN STEEL  
W/FULL GLAZING AND  
VERTICAL STACK

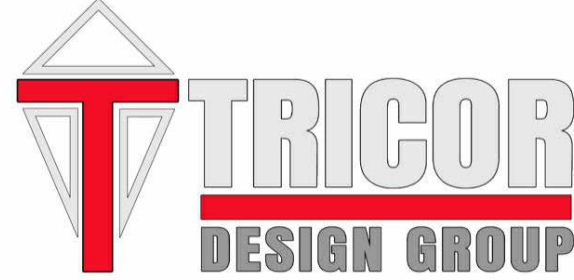


1 FRONT(EAST) ELEVATION  
3/16" = 1'-0"



2 REAR(WEST) ELEVATION  
3/16" = 1'-0"

DESIGNED BY:

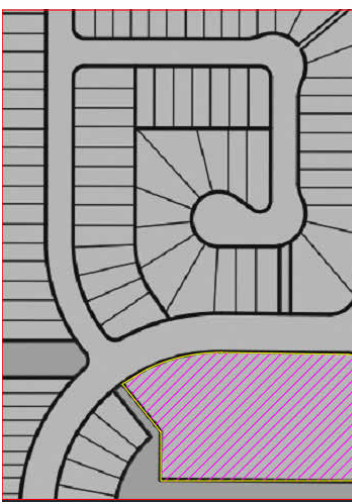


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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING 2

DRAWING NO.

A-028

DRAWN BY:

N.S.H.M/  
Z.R.K.H/H.H.M.M

CHECKED BY:

E.Z.H.A/A.M

DATE:

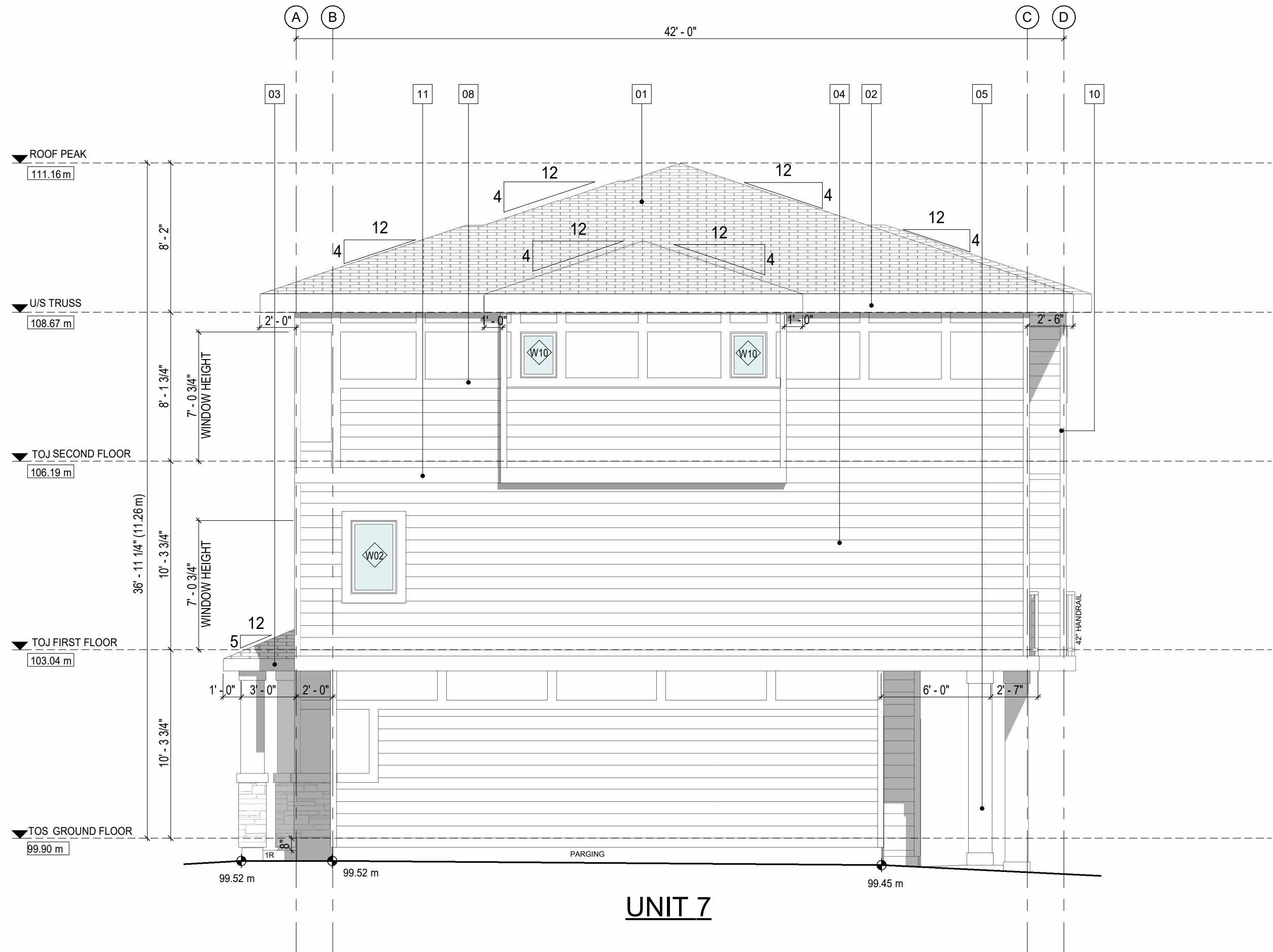
25\_06\_14

SCALE: 3/16" = 1'-0"

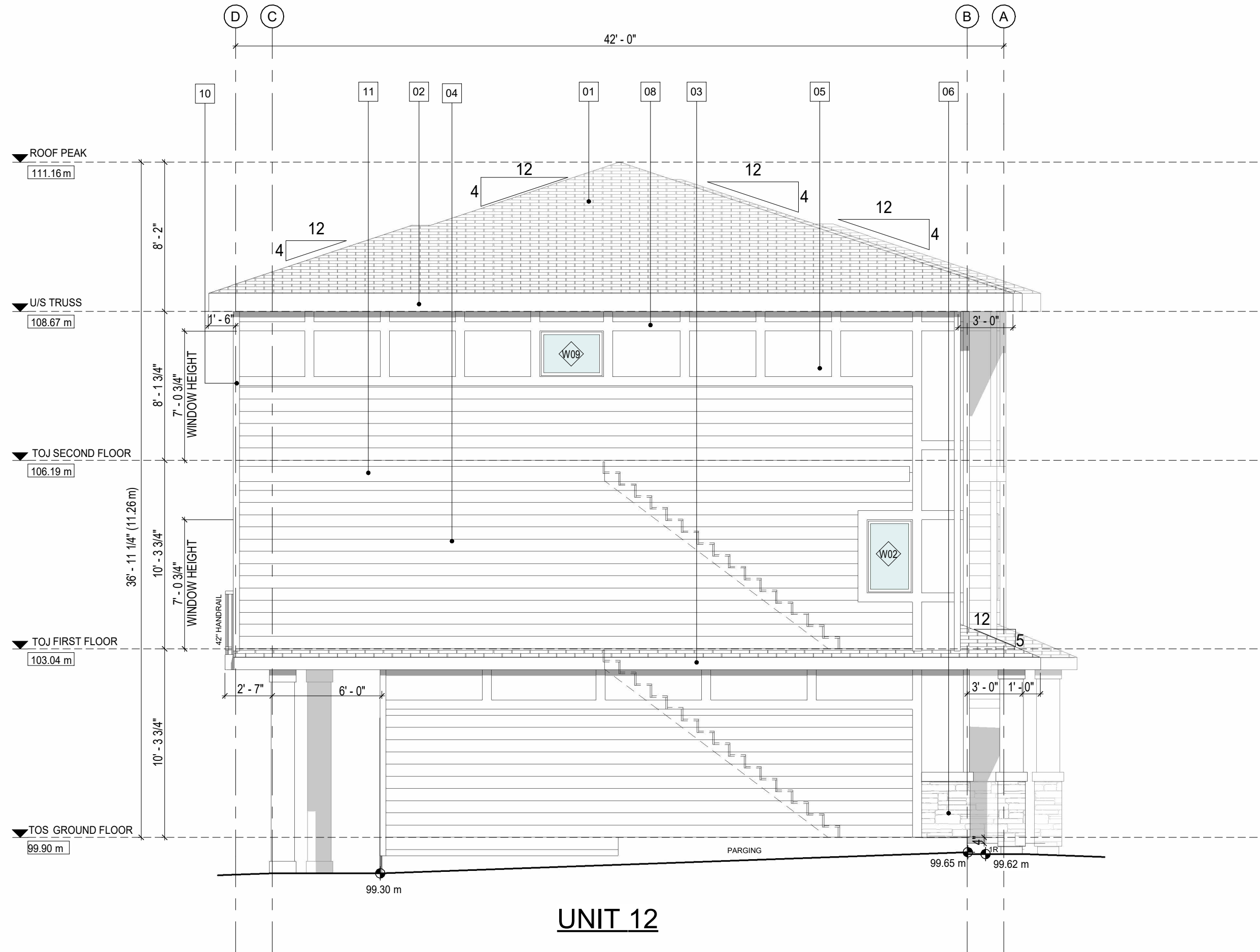


MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).



1 RIGHT(NORTH) ELEVATION  
3/16" = 1'-0"



2 LEFT(SOUTH) ELEVATION  
3/16" = 1'-0"

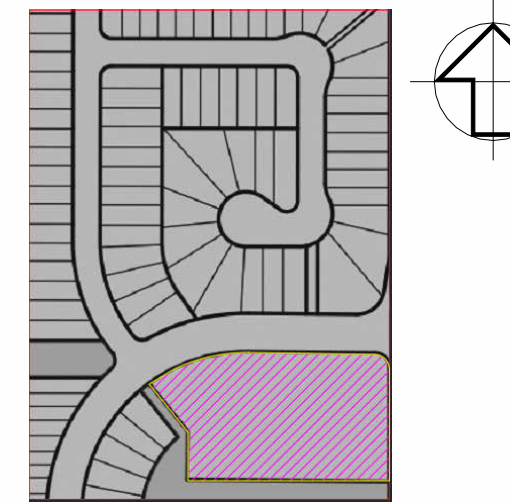
DESIGNED BY:



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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING 2

DRAWING NO.

A-029

DRAWN BY: N.S.H.M/  
Z.R.K.H/H.H.M  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_05\_14

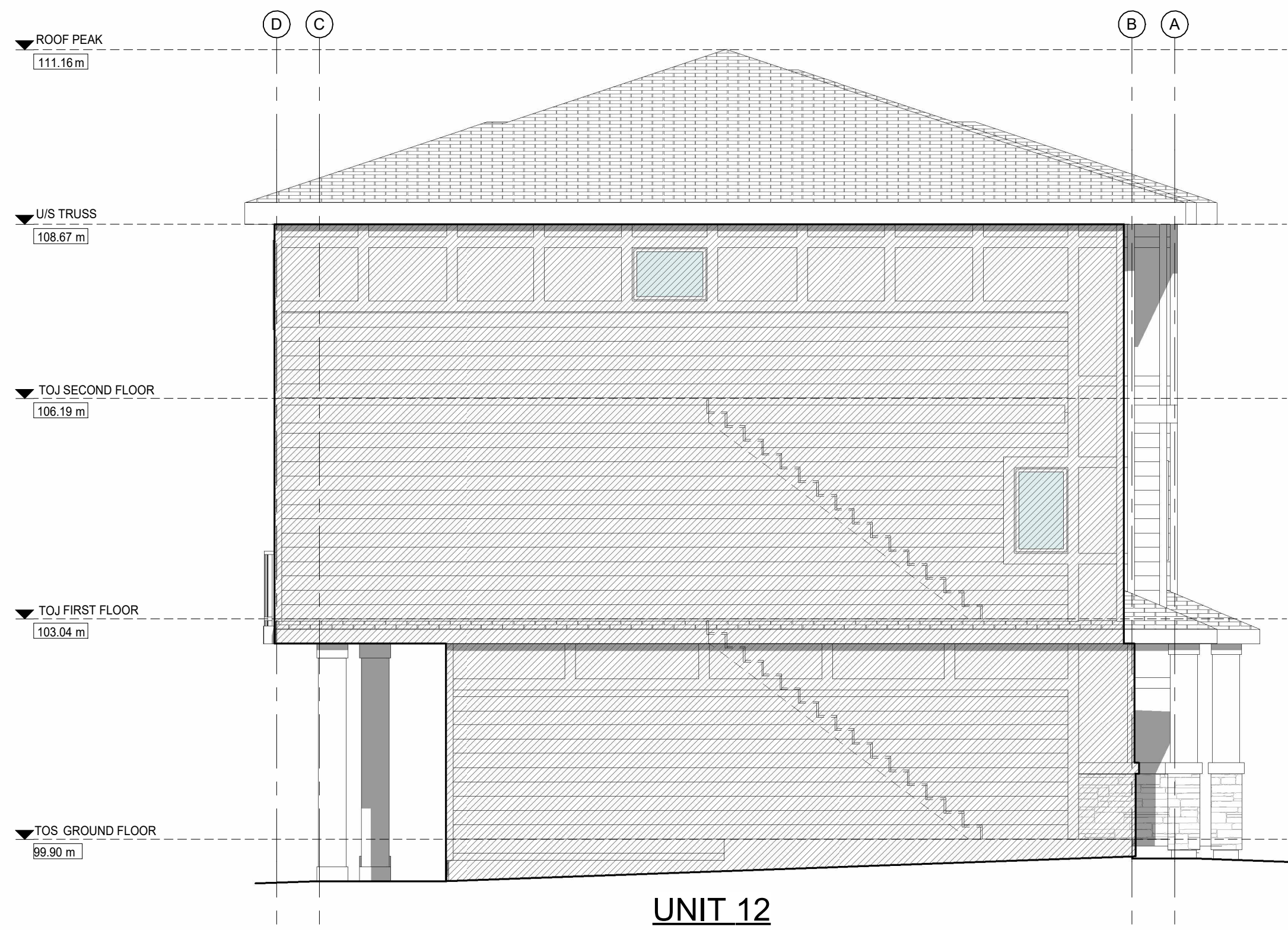
SCALE: 3/16" = 1'-0"





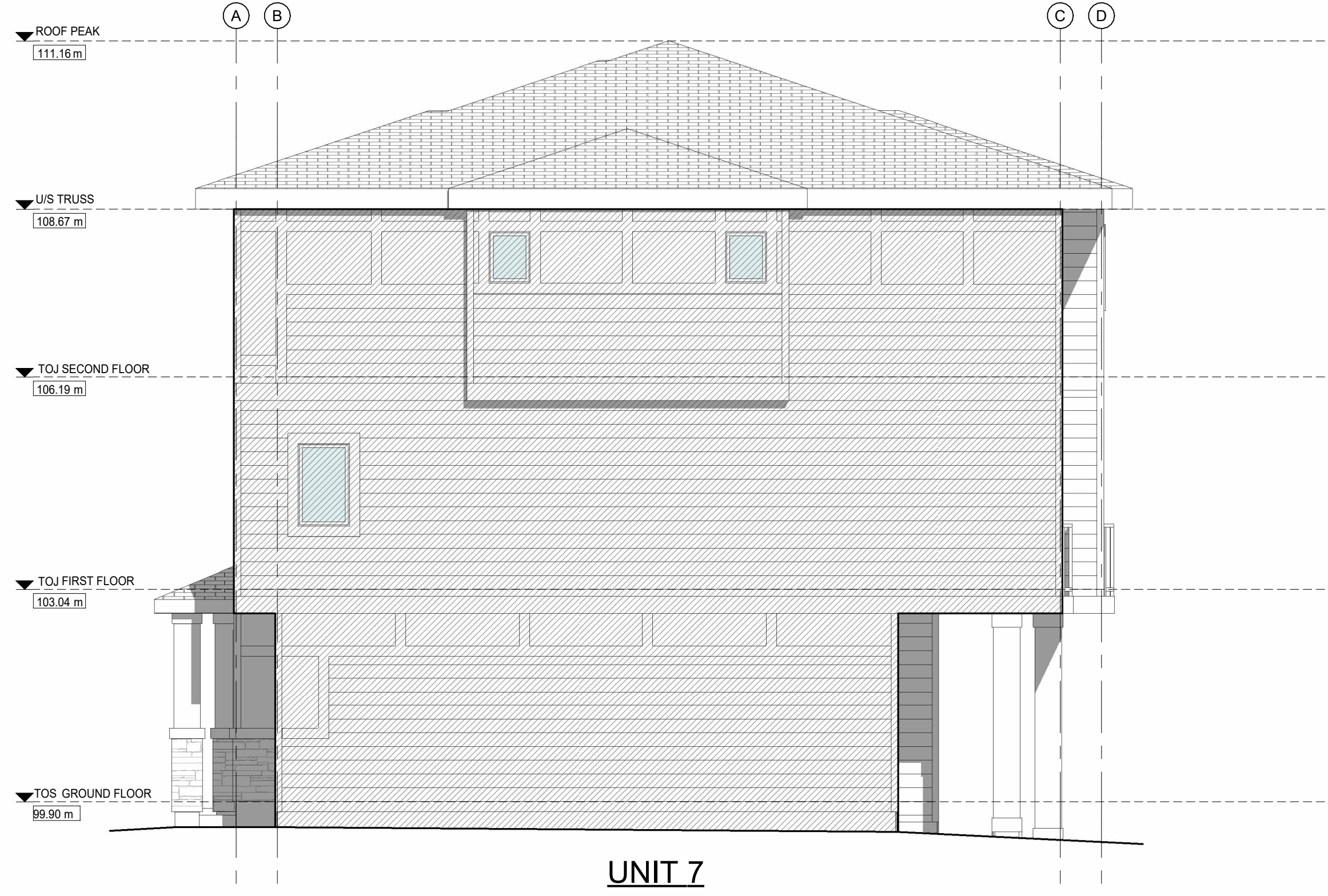
1 REAR(WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 7		UNIT 8		UNIT 10		UNIT 11		UNIT 12	
CODE CHECK EXPOSED BUILDING FACE	606 SQ.FT	56.26 SQ.M	634 SQ.FT	58.86 SQ.M	634 SQ.FT	58.87 SQ.M	596 SQ.FT	55.37 SQ.M	628 SQ.FT	58.30 SQ.M
SETBACK	15' - 5"	4.69 m	14' - 5"	4.39 m	17' - 4"	5.29 m	17' - 11"	5.45 m	15' - 9"	4.79 m
PERCENTAGE OF ALLOWED OPENINGS	36.19%		31.43%		43.44%		46.94%		36.94%	
SQ.FT.OF ALLOWED OPENING	219.15 SQ.FT	20.36 SQ.M	199.13 SQ.FT	18.50 SQ.M	275.24 SQ.FT	25.57 SQ.M	279.75 SQ.FT	25.99 SQ.M	231.82 SQ.FT	21.54 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	109.58 SQ.FT	10.18 SQ.M	99.56 SQ.FT	9.25 SQ.M	137.62 SQ.FT	12.79 SQ.M	139.87 SQ.FT	12.99 SQ.M	115.91 SQ.FT	10.77 SQ.M



UNPROTECTED OPENINGS	UNIT 12	
CODE CHECK EXPOSED BUILDING FACE	1119 SQ.FT	103.99 SQ.M
SETBACK	16' - 2"	4.94 m
PERCENTAGE OF ALLOWED OPENINGS	15.29%	
SQ.FT.OF ALLOWED OPENING	171.14 SQ.FT	15.90 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	85.57 SQ.FT	7.95 SQ.M

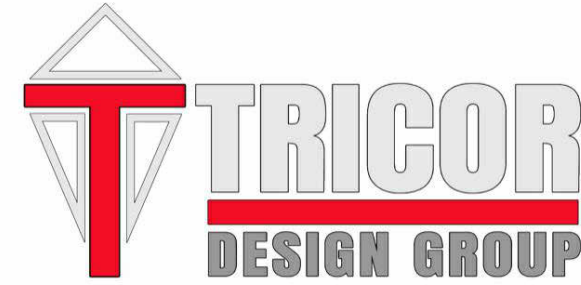
2 LEFT(SOUTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 7	
CODE CHECK EXPOSED BUILDING FACE	1107 SQ.FT	102.83 SQ.M
SETBACK	18' - 5"	5.62 m
PERCENTAGE OF ALLOWED OPENINGS	17.67%	
SQ.FT.OF ALLOWED OPENING	195.58 SQ.FT	18.17 SQ.M
ACTUAL SQ.FT.OF OPENINGS	20.00 SQ.FT	1.86 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	97.79 SQ.FT	9.08 SQ.M

3 RIGHT(NORTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

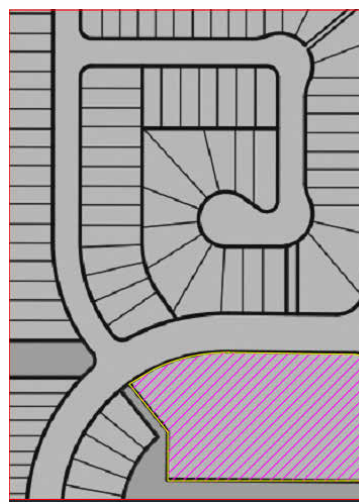
DESIGNED BY:



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/M
03	25_05_14	DTR 2	M.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS  
REAR/LEFT/ RIGHT ELEVATIONS  
BUILDING 2

DRAWING NO.

A-030

DRAWN BY: N.S.H.M/  
Z.R.K.H/H.H.M  
CHECKED BY: E.Z.H.A/M  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



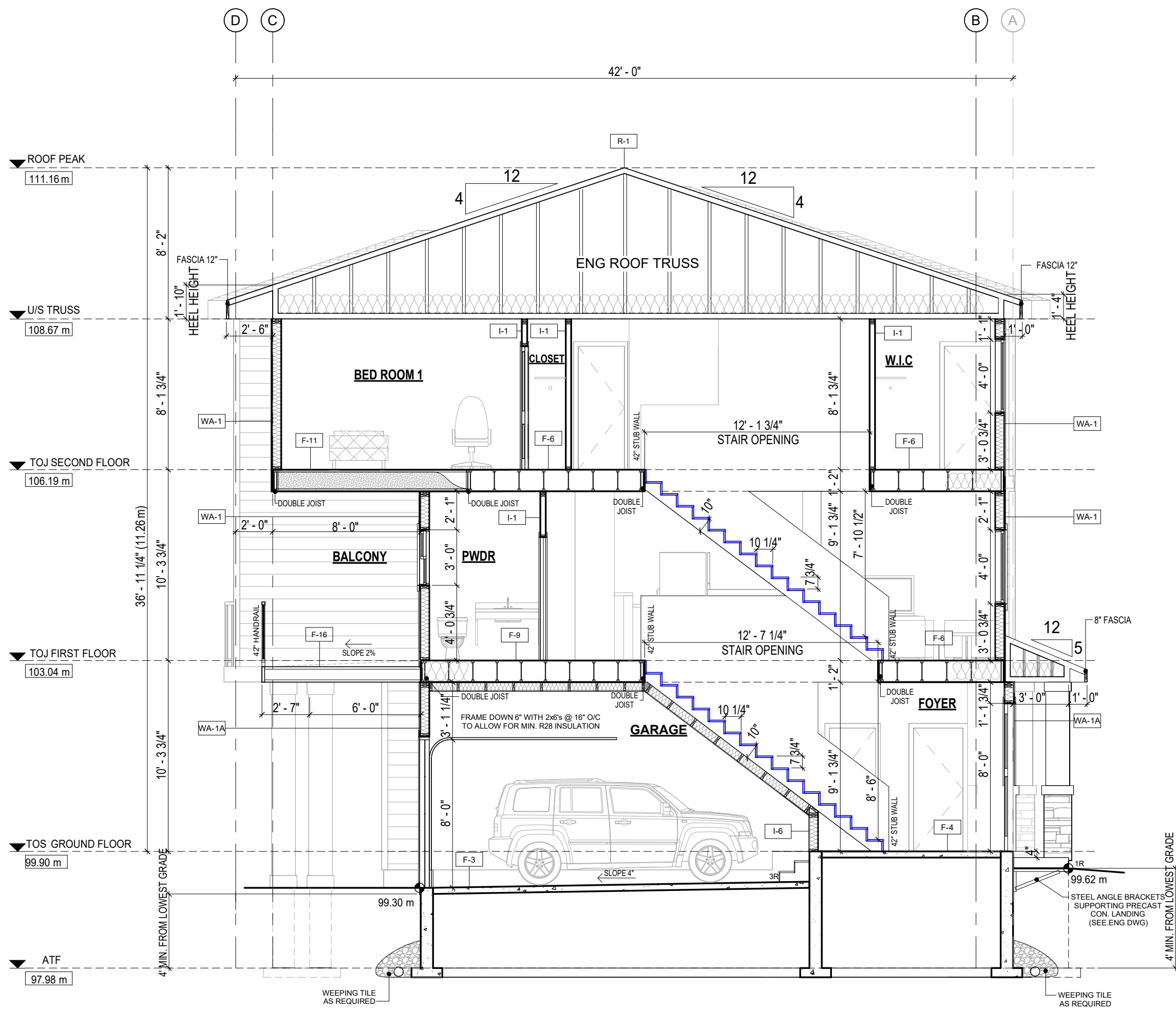
NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM  
LOWEST GRADE



1 SECTION 1-1  
3/16" = 1'-0"



UNIT 9

2 SECTION 2-2  
3/16" = 1'-0"

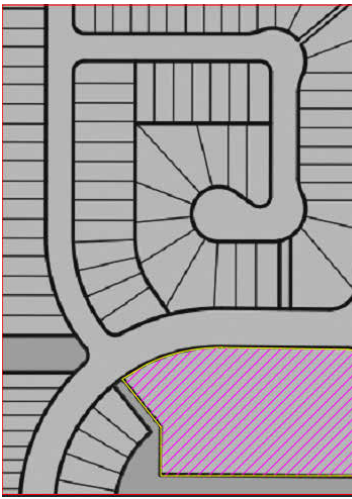
DESIGNED BY:



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02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M. Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1-1/ SECTION2-2  
BUILDING 2

DRAWING NO.

A-031

DRAWN BY: N.S.H.M.  
Z.R.K.H/H.H.M

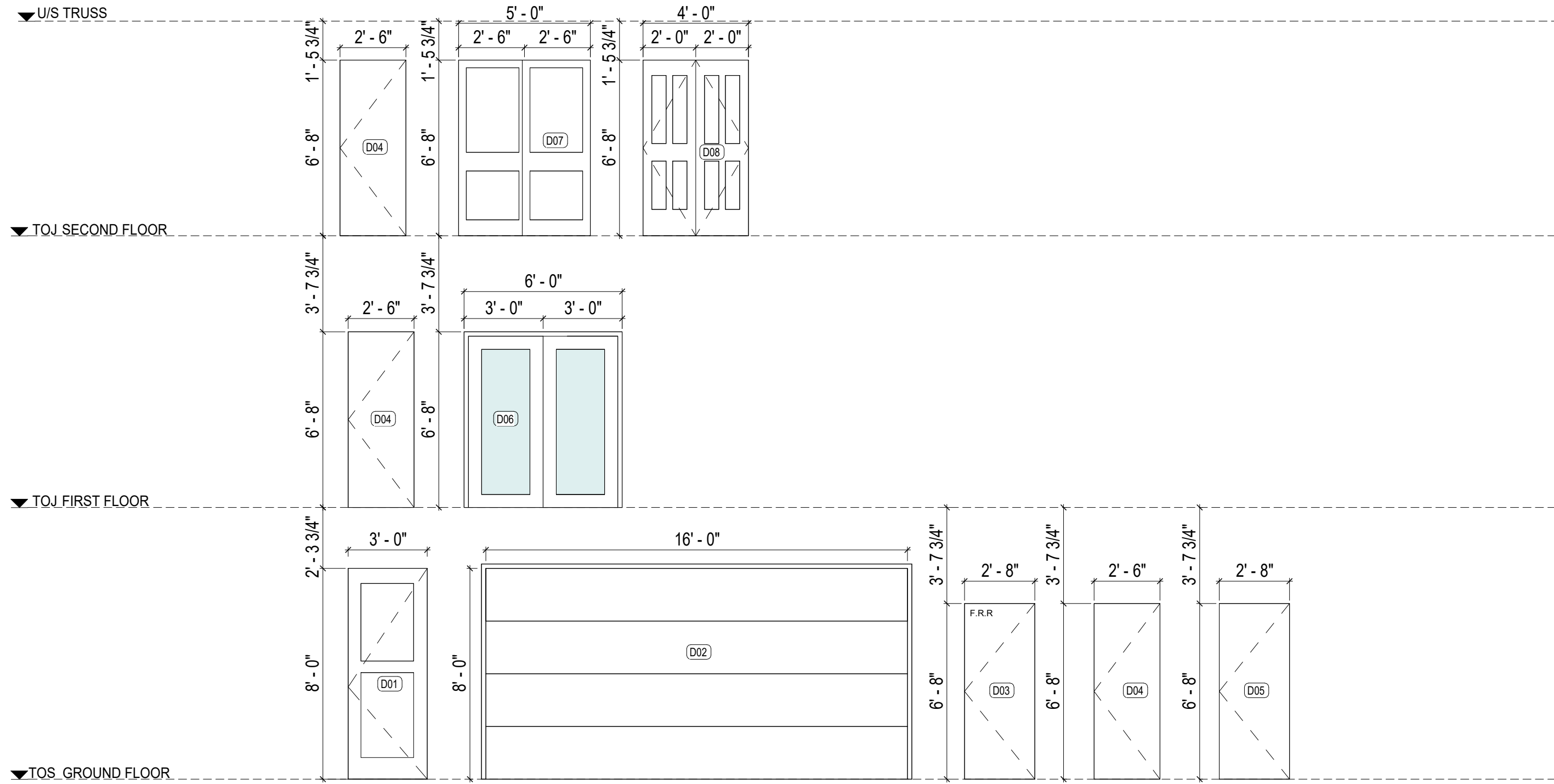
CHECKED BY: E.Z.H.A/A.M

DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



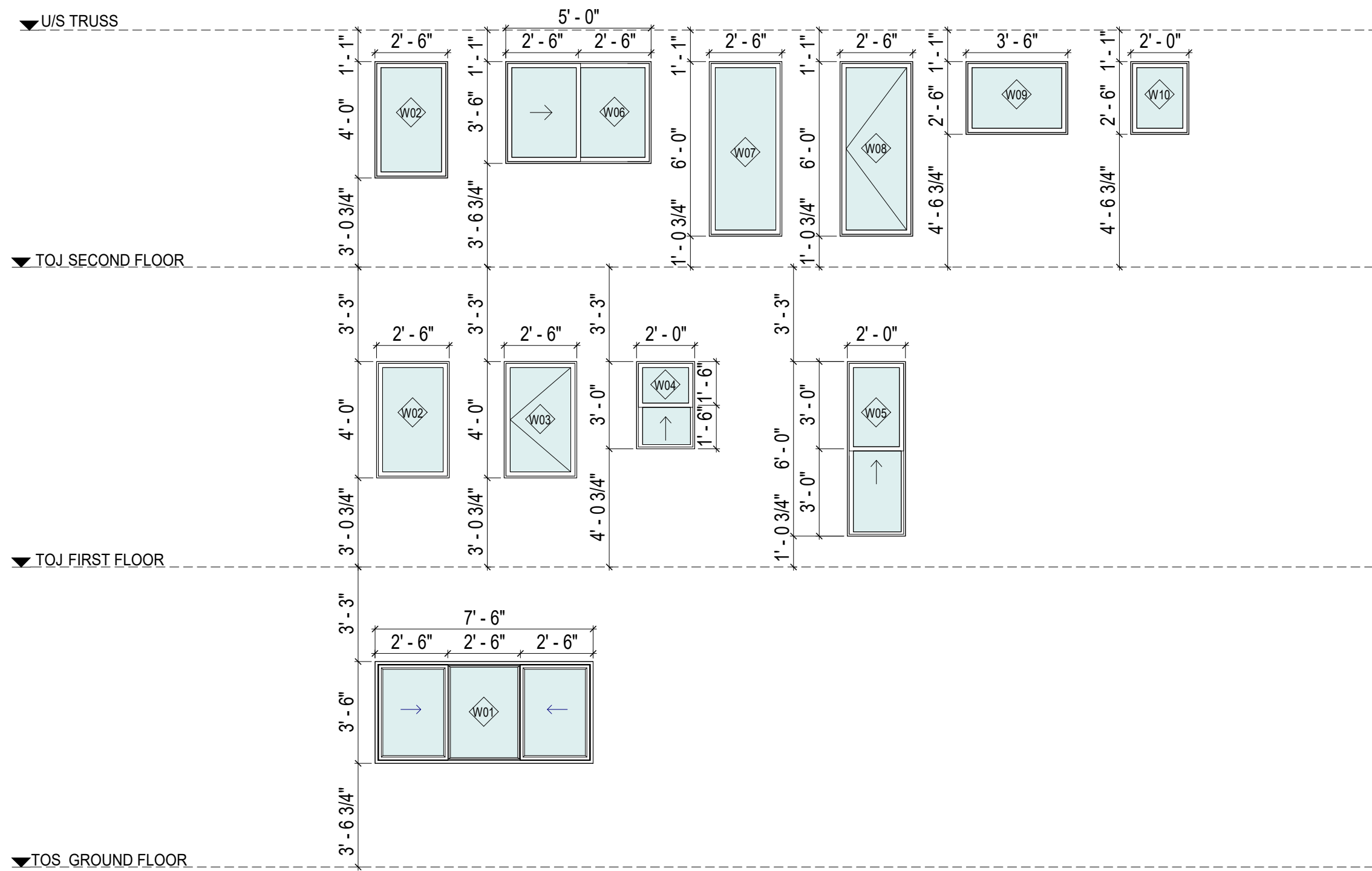
GARAGE DOOR MODEL :  
CLOPAY MODERN STEEL  
W/FULL GLAZING AND  
VERTICAL STACK



## 1 DOORS TYPES

1/4" = 1'-0"

W08 :WILL BE (WOCD).



## 2 WINDOWS TYPES

1/4" = 1'-0"

DESIGNED BY:

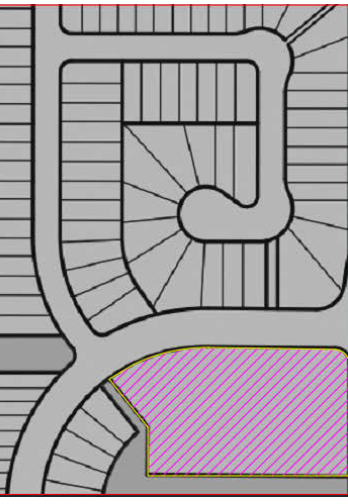


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CALGARY, AB,  
T2E 0K3

PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_03_24	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / Z.R.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	H.H.Z.R	E.Z.H.A/A.M

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

WINDOWS & DOORS TYPES  
BUILDING 2

DRAWING NO.

A-032

DRAWN BY:

N.S.H.M /

Z.R.K.H/H.H.M.M

CHECKED BY:

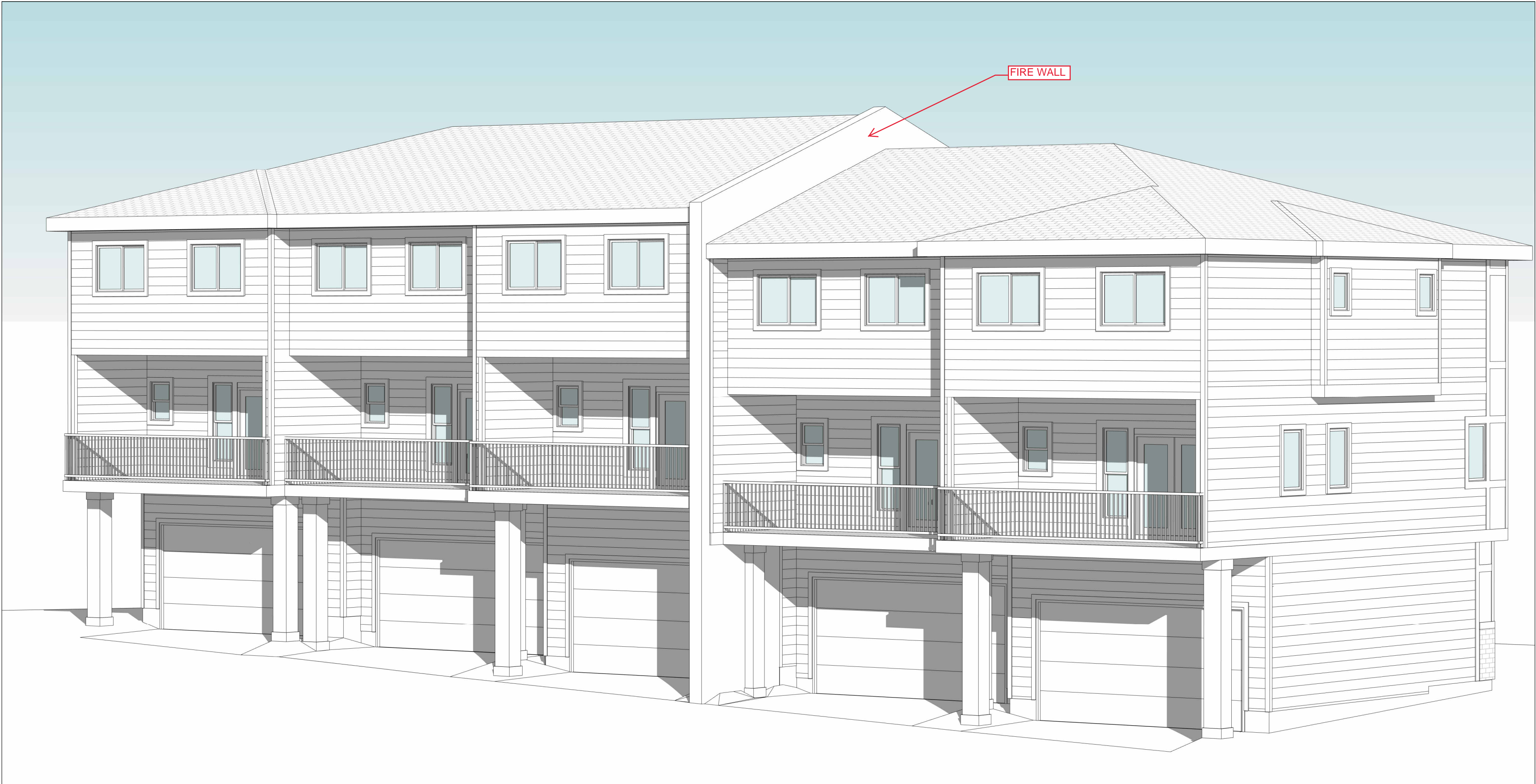
E.Z.H.A/A.M

DATE:

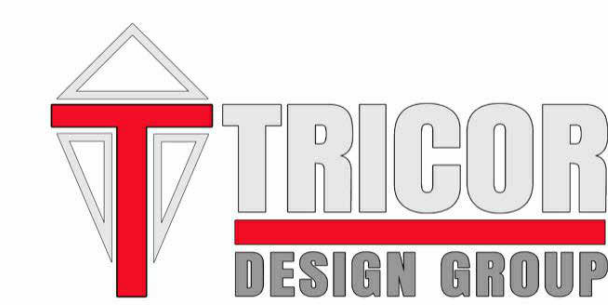
25\_05\_14

SCALE: 1/4" = 1'-0"





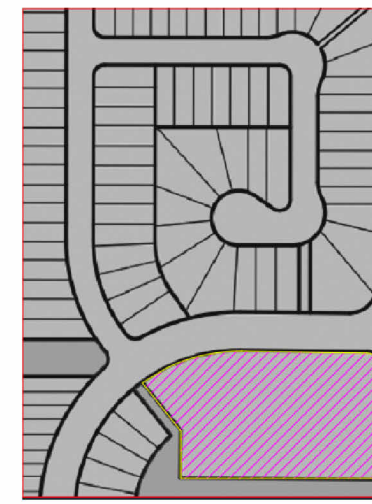
DESIGNED BY:



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PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S. /H.J.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. /H.J.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING 3

DRAWING NO.

A-033

DRAWN BY:  
N.S.K.H.S.S.  
/H.J.Z.R.H.E/H

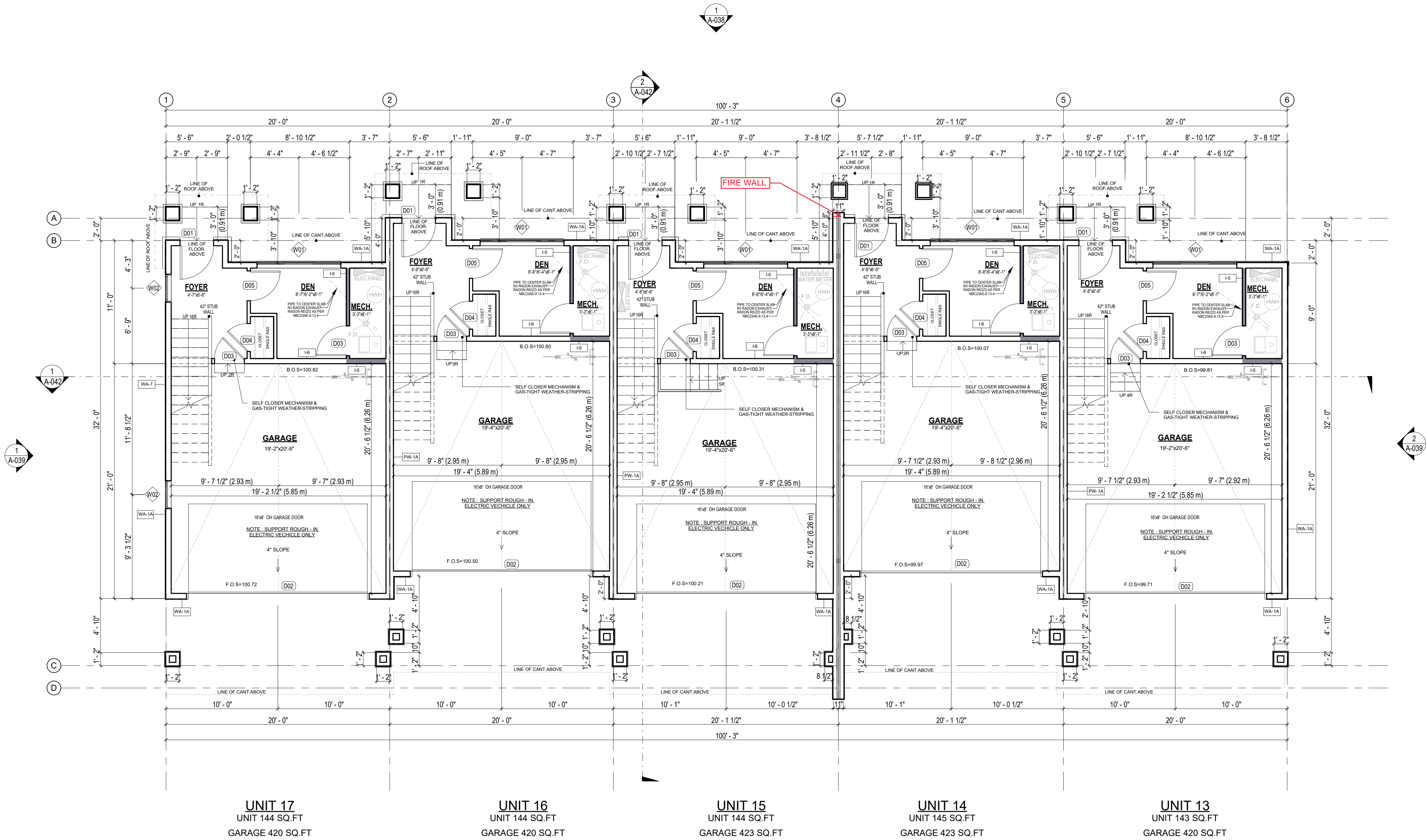
CHECKED BY:  
E.Z.H.A/A.M

DATE:  
25\_06\_14

SCALE:



W8 :WILL BE (WOCD).  
GROUND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN SILL HEIGHT  
AND OUTSIDE GRADE IS MORE  
THAN (72") , AND THE OPENING  
PORTION WINDOW IS LESS THAN  
(36") ,THAT WILL ALLOW THE  
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

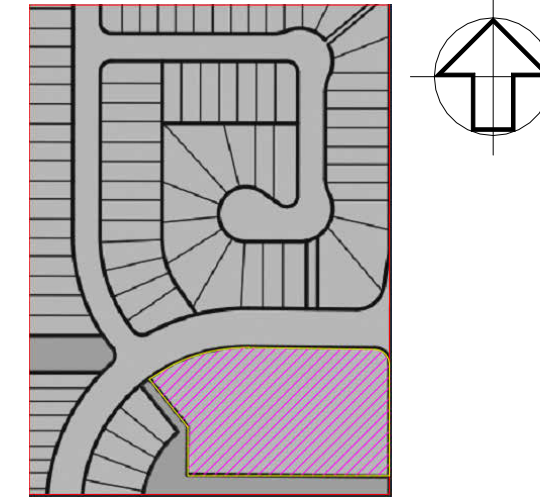
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	E.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING 3

DRAWING NO.

A-034

DRAWN BY: N.S.K.H.S./H.I.Z.R.H.E.

CHECKED BY: E.Z.H.A./A.M.

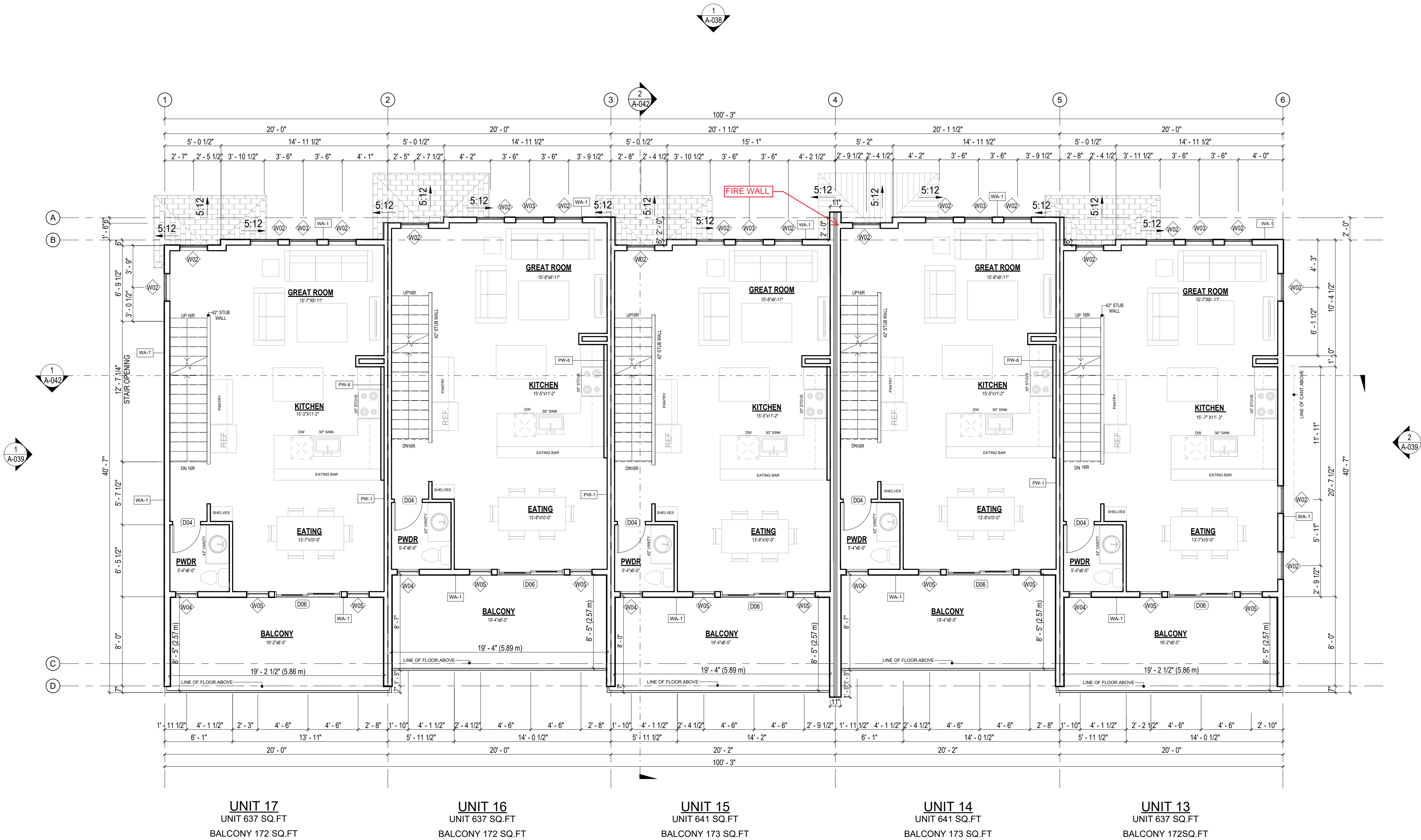
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



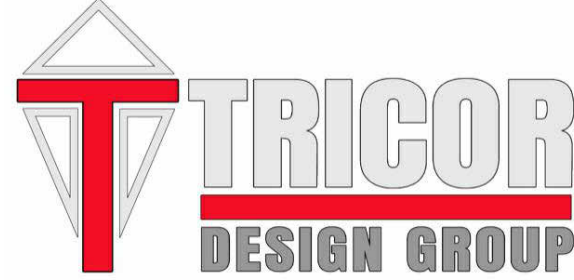
W8 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

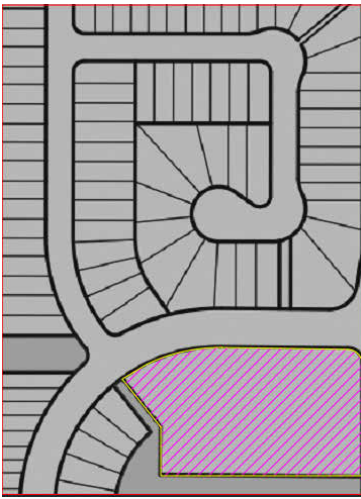


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FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	E.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING 3

DRAWING NO.

A-035

DRAWN BY:

N.S.K.H.S./H.I.Z.R.H.E./H

CHECKED BY:

E.Z.H.A./A.M.

DATE:

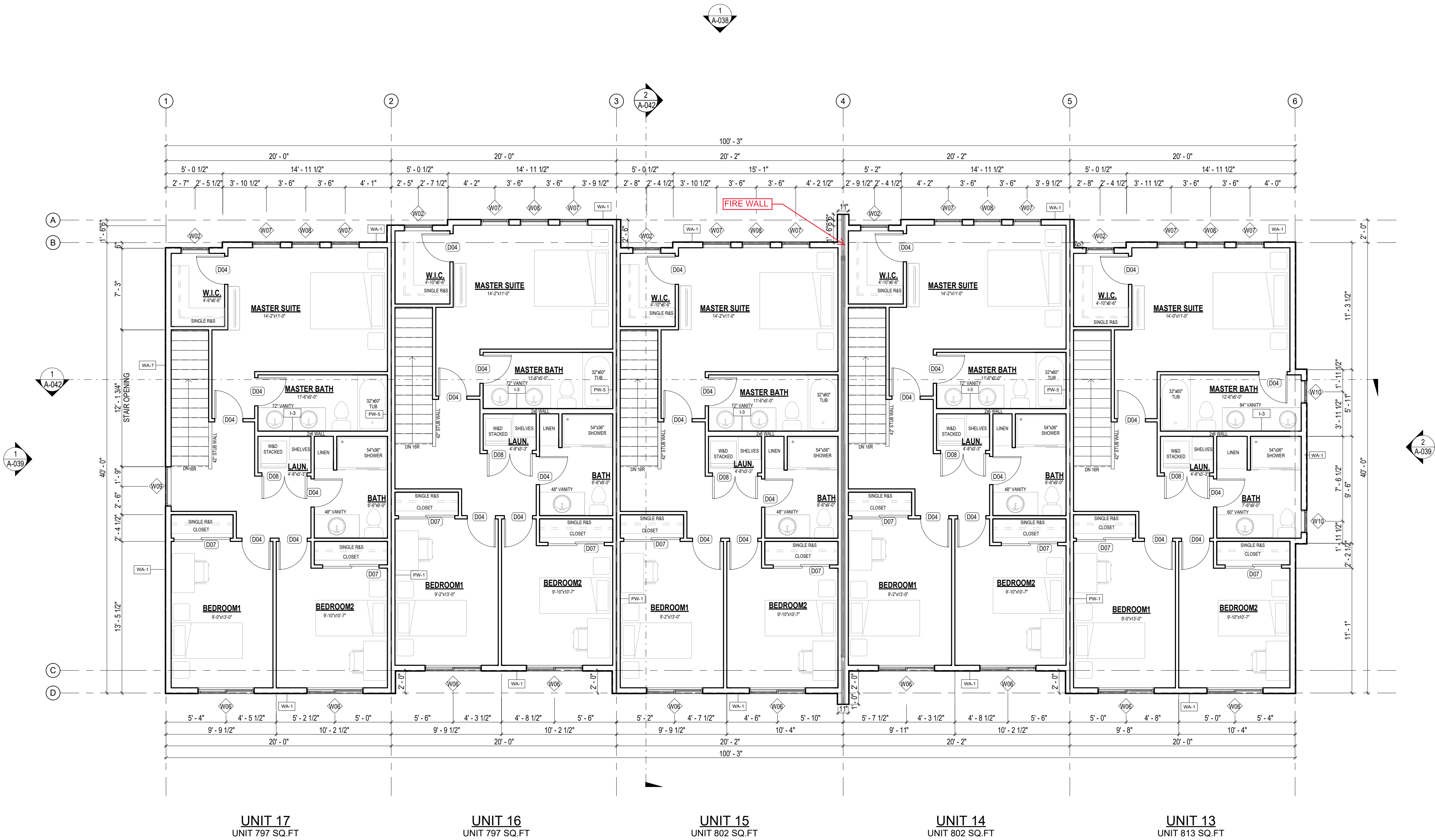
25\_06\_14

SCALE: 3/16" = 1'-0"



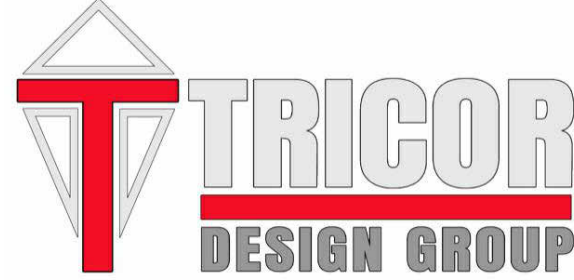
W8 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



1 SECOND FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

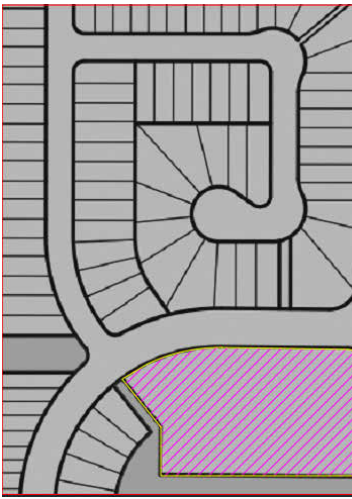


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CALGARY, AB,  
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EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E/H	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/M
03	25_05_14	DTR 2	E.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E/H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING 3

DRAWING NO.

A-036

DRAWN BY:

CHECKED BY:

DATE:

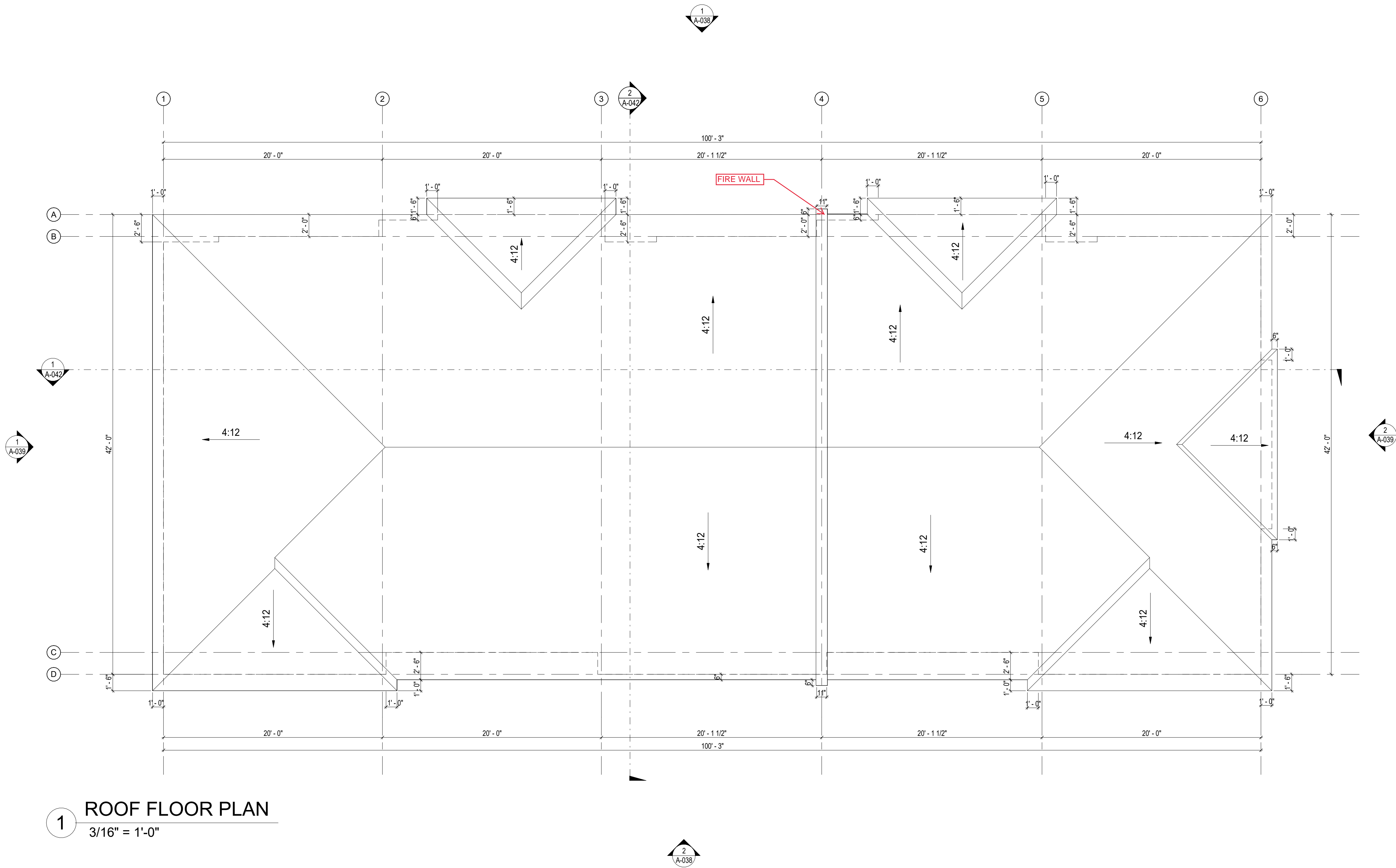
N.S.K/H.S.S./H.I.Z.R.H.E/H

E.Z.H.A/M

25\_06\_14

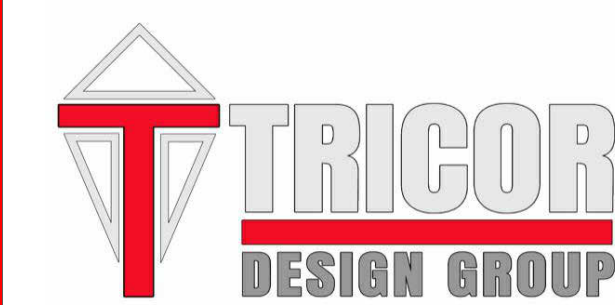
SCALE: 3/16" = 1'-0"





1 ROOF FLOOR PLAN  
3/16" = 1'-0"

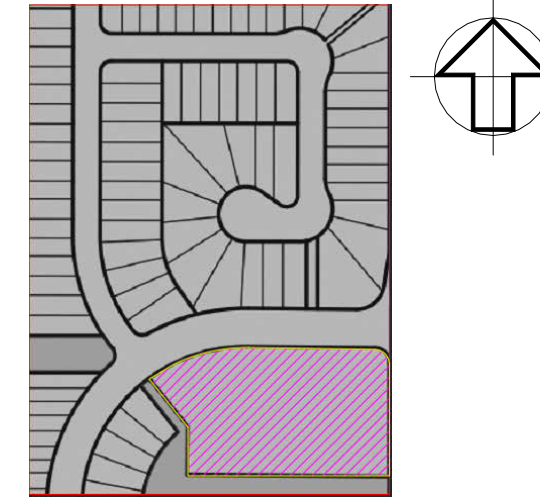
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S. /H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. /H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN  
BUILDING 3

DRAWING NO.

A-037

DRAWN BY: N.S.K.H.S.S.  
/H.I.Z.R.H.E.  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"



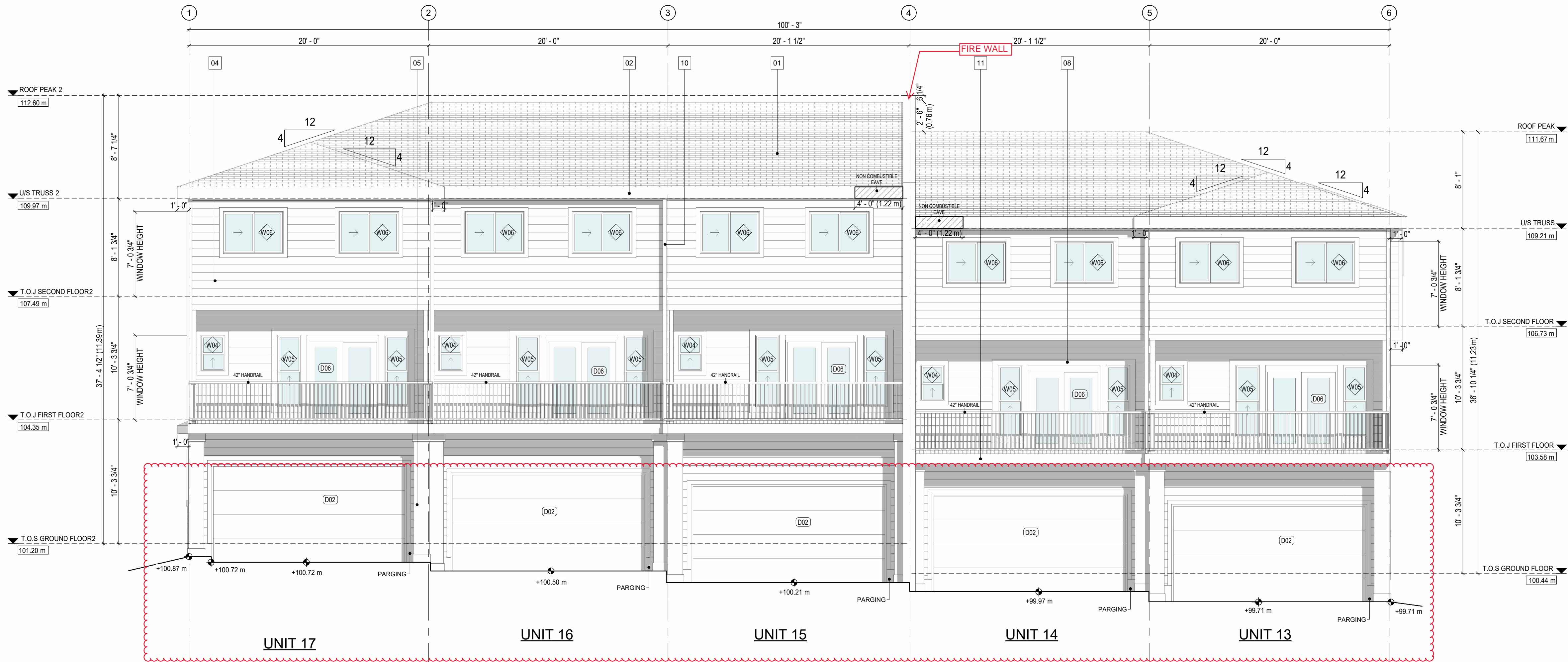
MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL HARDIE SIDING
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING

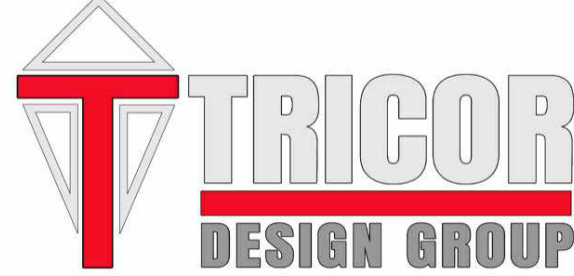


1 FRONT (NORTH) ELEVATION  
3/16" = 1'-0"



2 REAR (SOUTH)ELEVATION  
3/16" = 1'-0"

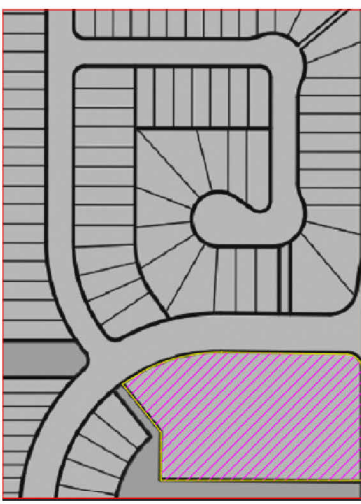
DESIGNED BY:



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	E.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING 3

DRAWING NO.

A-038

DRAWN BY: N.S.K.H.S./H.I.Z.R.H.E./H  
CHECKED BY: E.Z.H.A./A.M  
DATE: 25\_06\_14

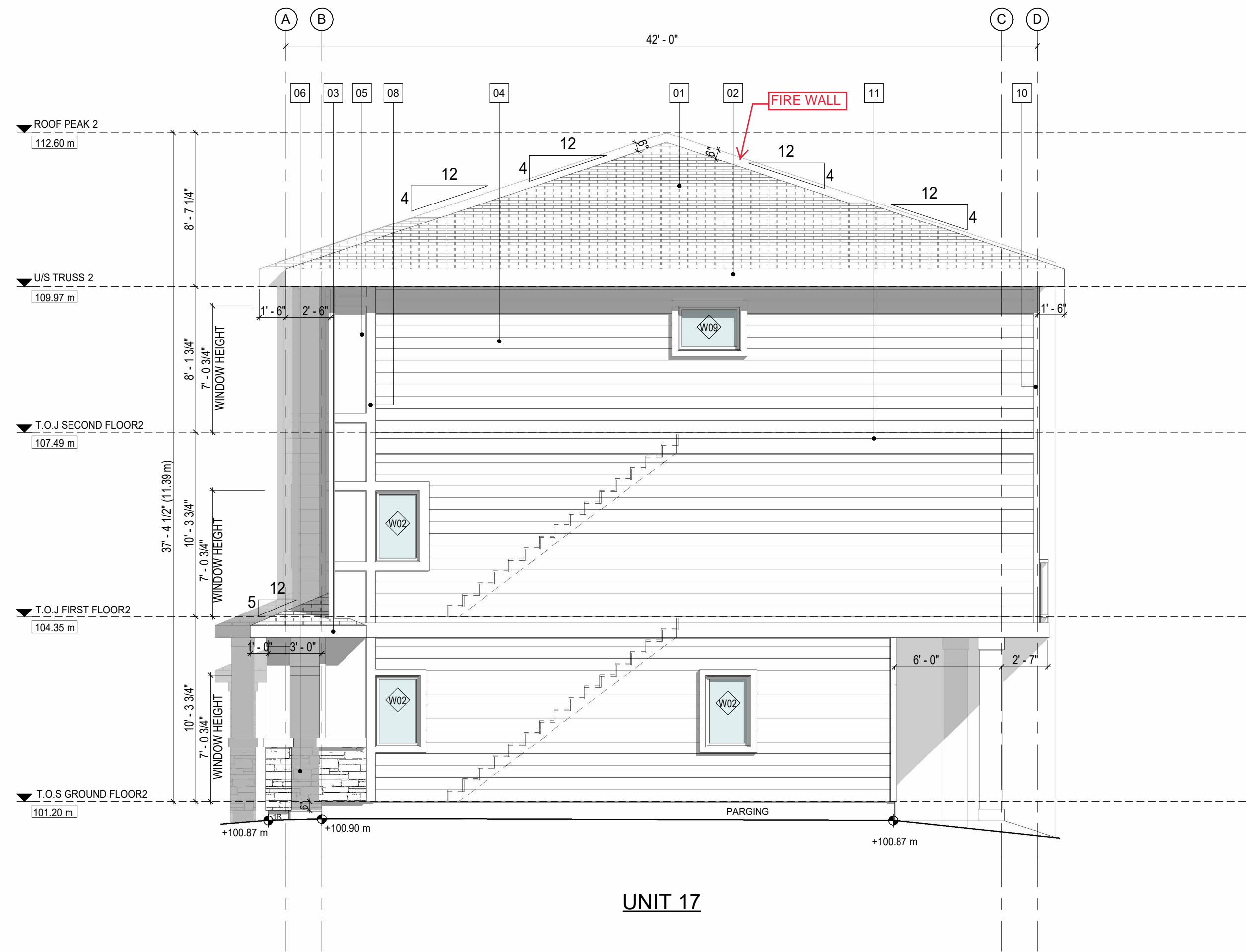
SCALE: 3/16" = 1'-0"



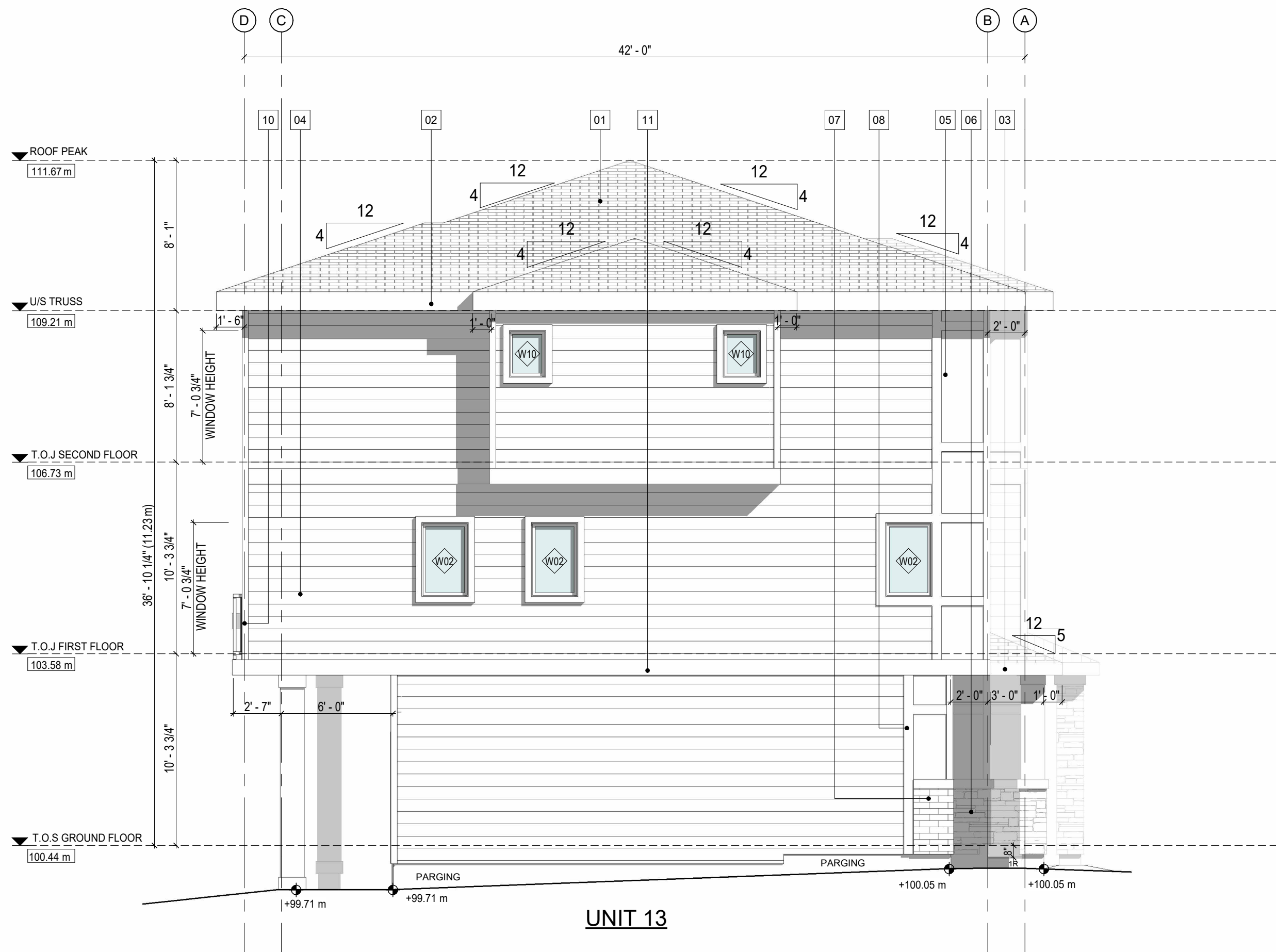
MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL HARDIE SIDING
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

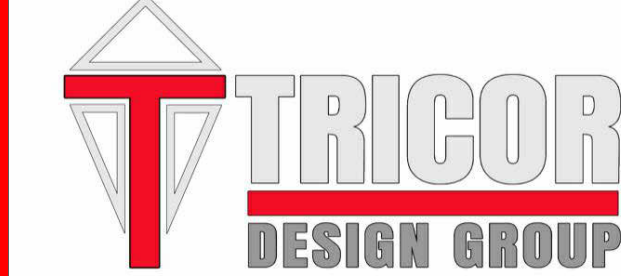
1 RIGHT (WEST) ELEVATION  
3/16" = 1'-0"



2 LEFT(EAST) ELEVATION  
3/16" = 1'-0"



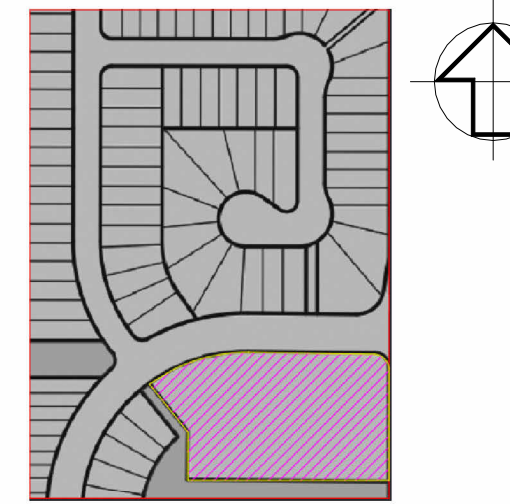
DESIGNED BY:



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tricordesigns.com

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING 3

DRAWING NO.

A-039

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E/H.H  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"





FRONT (NORTH) ELEVATION  
LIMITING DISTANCE

1

3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 13		UNIT 14		UNIT 15		UNIT 16		UNIT 17	
CODE CHECK EXPOSED BUILDING FACE	591 SQ.FT	54.88 SQ.M	632 SQ.FT	58.75 SQ.M	574 SQ.FT	53.32 SQ.M	627 SQ.FT	58.26 SQ.M	589 SQ.FT	54.69 SQ.M
SETBACK	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	34.65%		29.59%		35.07%		29.7%		39.01%	
SQ.FT.OF ALLOWED OPENING	204.67 SQ.FT	19.01 SQ.M	187.12 SQ.FT	17.38 SQ.M	201.28 SQ.FT	18.70 SQ.M	186.24 SQ.FT	17.30 SQ.M	229.64 SQ.FT	21.33 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	102.33 SQ.FT	9.51 SQ.M	93.56 SQ.FT	8.69 SQ.M	100.64 SQ.FT	9.35 SQ.M	93.12 SQ.FT	8.65 SQ.M	114.82 SQ.FT	10.67 SQ.M



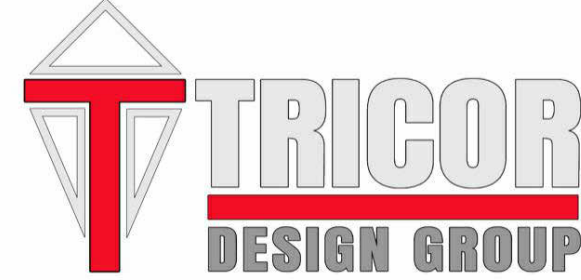
REAR (SOUTH)ELEVATION  
LIMITING DISTANCE

2

3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 17		UNIT 16		UNIT 15		UNIT 14		UNIT 13	
CODE CHECK EXPOSED BUILDING FACE	619 SQ.FT	57.50 SQ.M	602 SQ.FT	55.97 SQ.M	665 SQ.FT	61.76 SQ.M	590 SQ.FT	54.81 SQ.M	636 SQ.FT	59.07 SQ.M
SETBACK	23' - 9"	7.23 m	25' - 11"	7.91 m	24' - 2"	7.36 m	26' - 4"	8.03 m	24' - 6"	7.48 m
PERCENTAGE OF ALLOWED OPENINGS	78.06%		92.92%		77.47%		100%		81.83%	
SQ.FT.OF ALLOWED OPENING	483.10 SQ.FT	44.88 SQ.M	559.79 SQ.FT	52.01 SQ.M	515.02 SQ.FT	47.85 SQ.M	589.94 SQ.FT	54.81 SQ.M	520.32 SQ.FT	48.34 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	241.55 SQ.FT	22.44 SQ.M	279.89 SQ.FT	26.00 SQ.M	257.51 SQ.FT	23.92 SQ.M	294.97 SQ.FT	27.40 SQ.M	260.16 SQ.FT	24.17 SQ.M

DESIGNED BY:

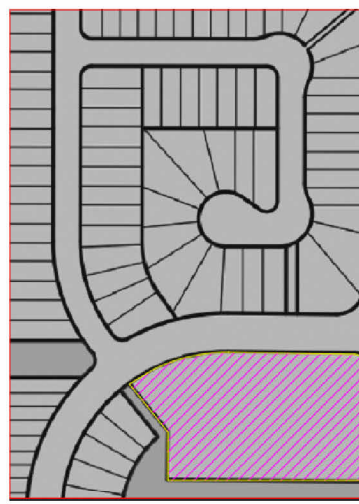


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CALGARY, AB,  
T2E 6K3

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FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z/R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z/R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (1)  
BUILDING 3

DRAWING NO.

A-040

DRAWN BY:

CHECKED BY:

DATE:

N.S.K/H.S.S./H.I.Z/R.H.E/H

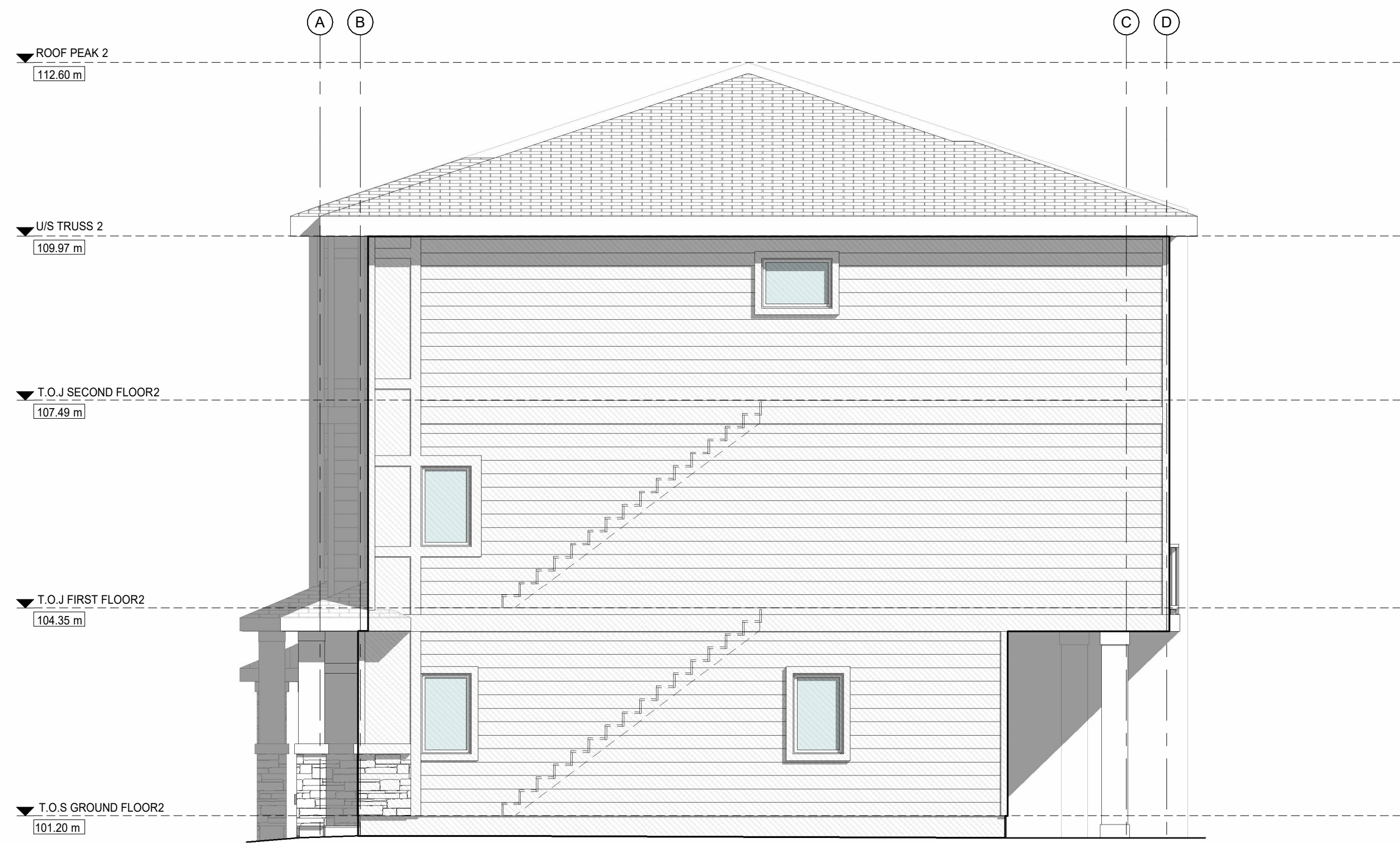
E.Z.H.A/A.M

25\_06\_14

SCALE: 3/16" = 1'-0"



1 RIGHT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNIT 17

UNPROTECTED OPENINGS	UNIT 17	
CODE CHECK EXPOSED BUILDING FACE	1107 SQ.FT	102.88 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	77.52 SQ.FT	7.20 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	38.76 SQ.FT	3.60 SQ.M

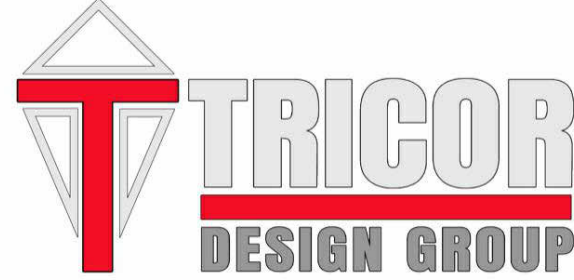
2 LEFT(EAST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNIT 13

UNPROTECTED OPENINGS	UNIT 13	
CODE CHECK EXPOSED BUILDING FACE	1122 SQ.FT	104.20 SQ.M
SETBACK	17' - 4"	5.29 m
PERCENTAGE OF ALLOWED OPENINGS	16.52%	
SQ.FT.OF ALLOWED OPENING	185.30 SQ.FT	17.21 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	92.65 SQ.FT	8.61 SQ.M

DESIGNED BY:

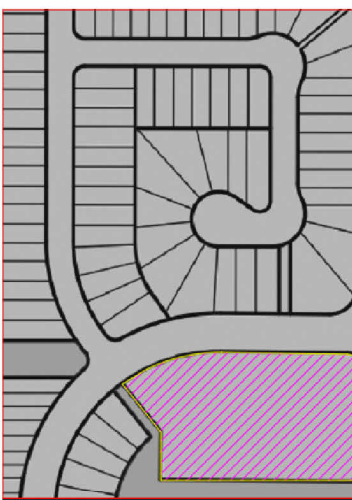


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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (2)  
BUILDING 3

DRAWING NO.

A-041

DRAWN BY:

CHECKED BY:

DATE:

N.S.K.H.S.S./H.I.Z.R.H.E/H

E.Z.H.A/A.M

25\_05\_14

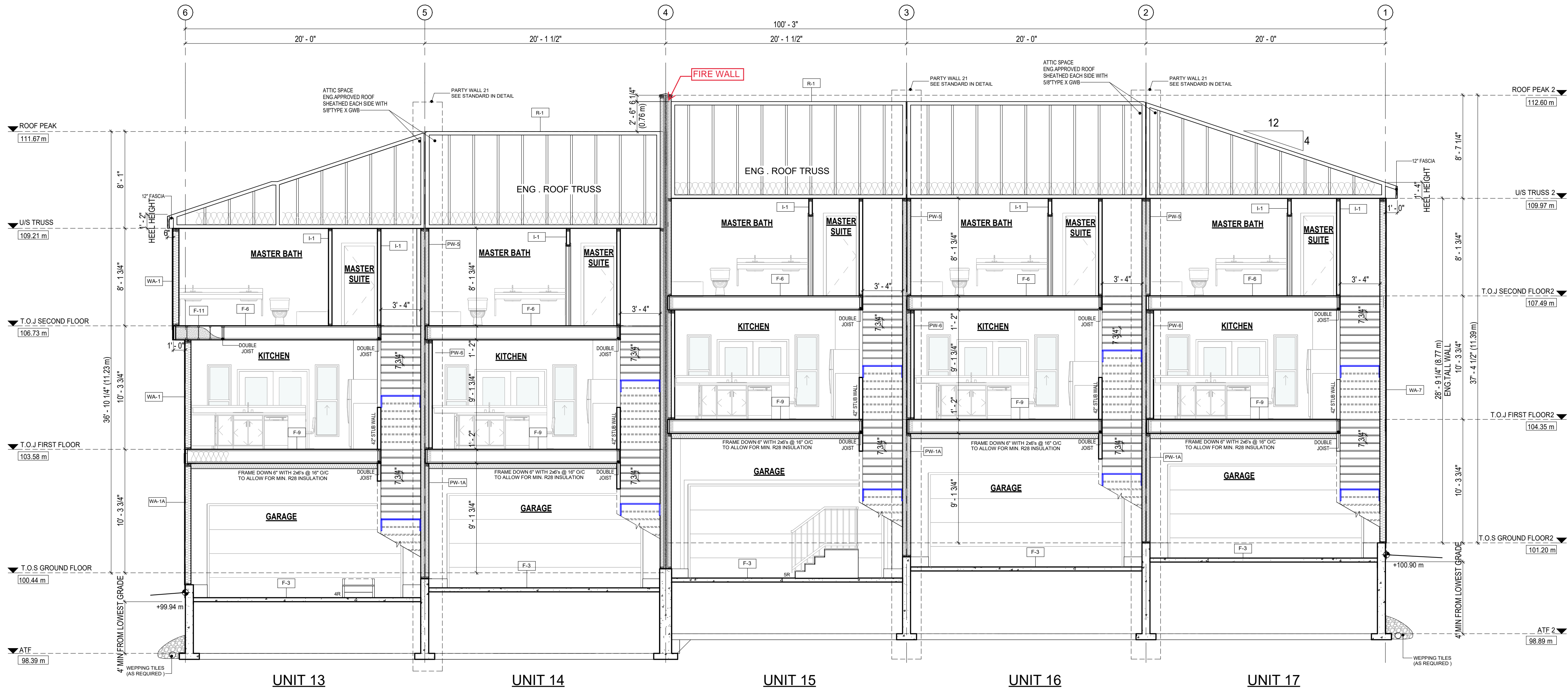
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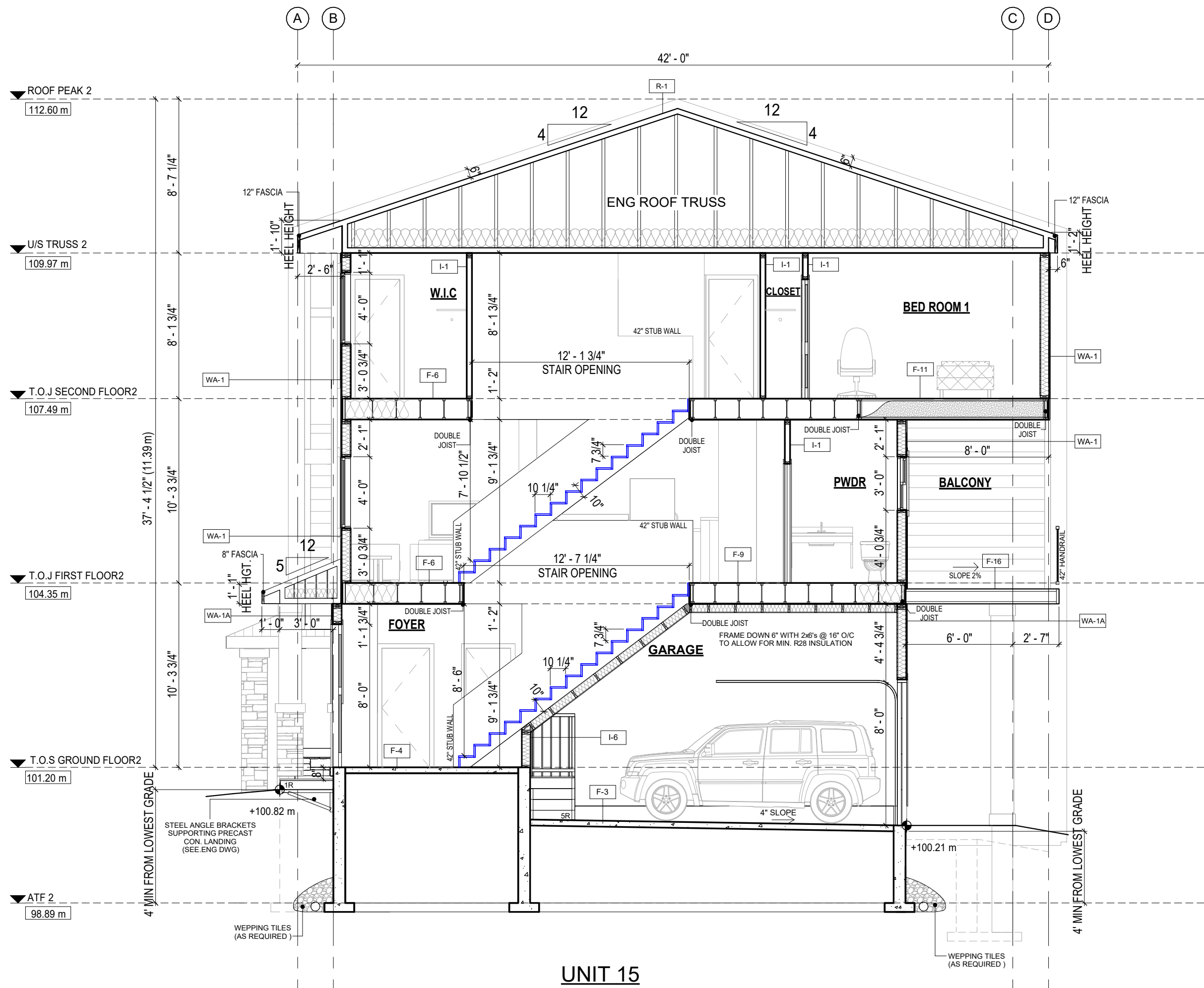
NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM  
LOWEST GRADE

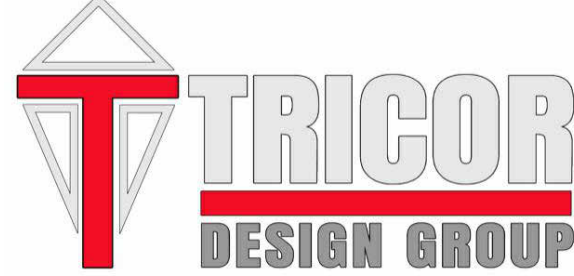


1 SECTION 1-1  
3/16" = 1'-0"



2 SECTION 2-2  
3/16" = 1'-0"

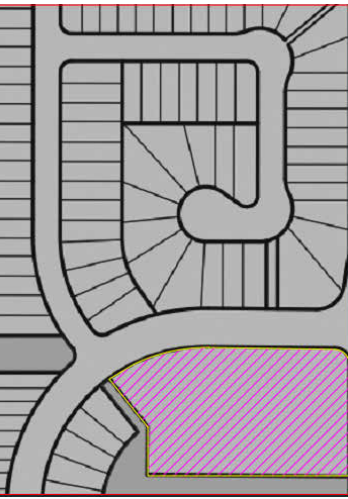
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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

BUILDING SECTIONS  
BUILDING 3

DRAWING NO.

A-042

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E.  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_14

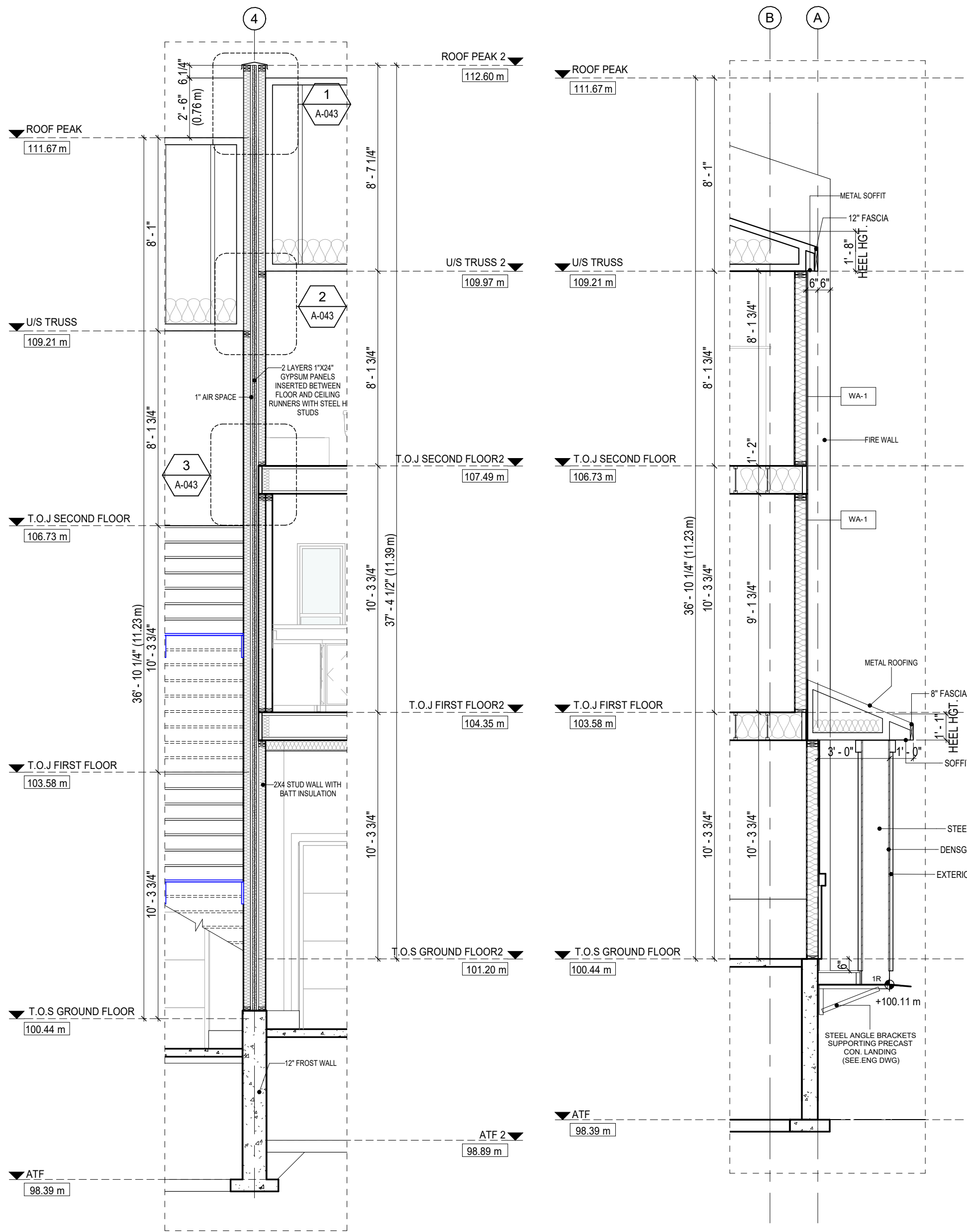
SCALE: 3/16" = 1'-0"



NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM  
LOWEST GRADE

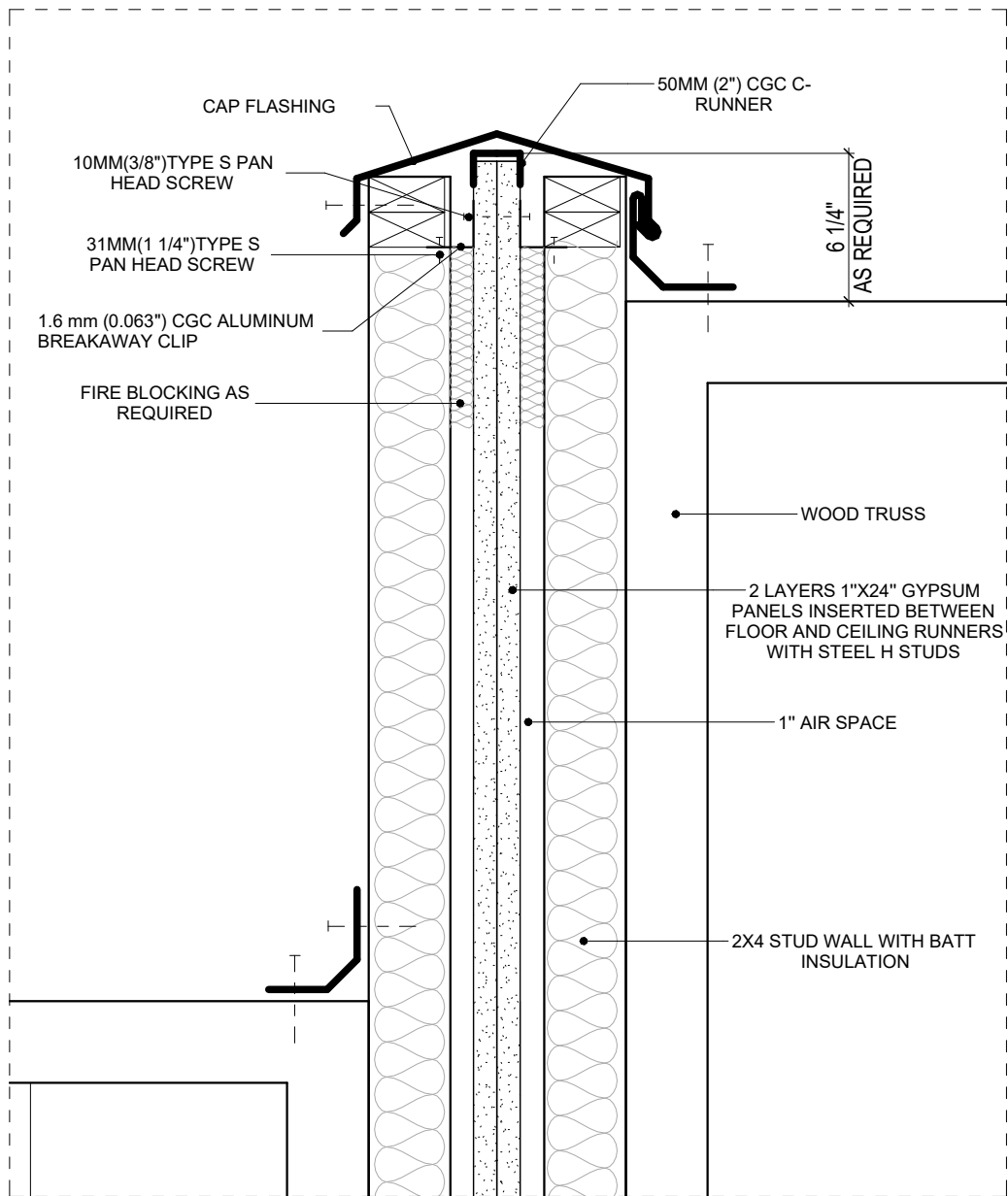


FIRE WALL SECTION

1/4" = 1'-0"

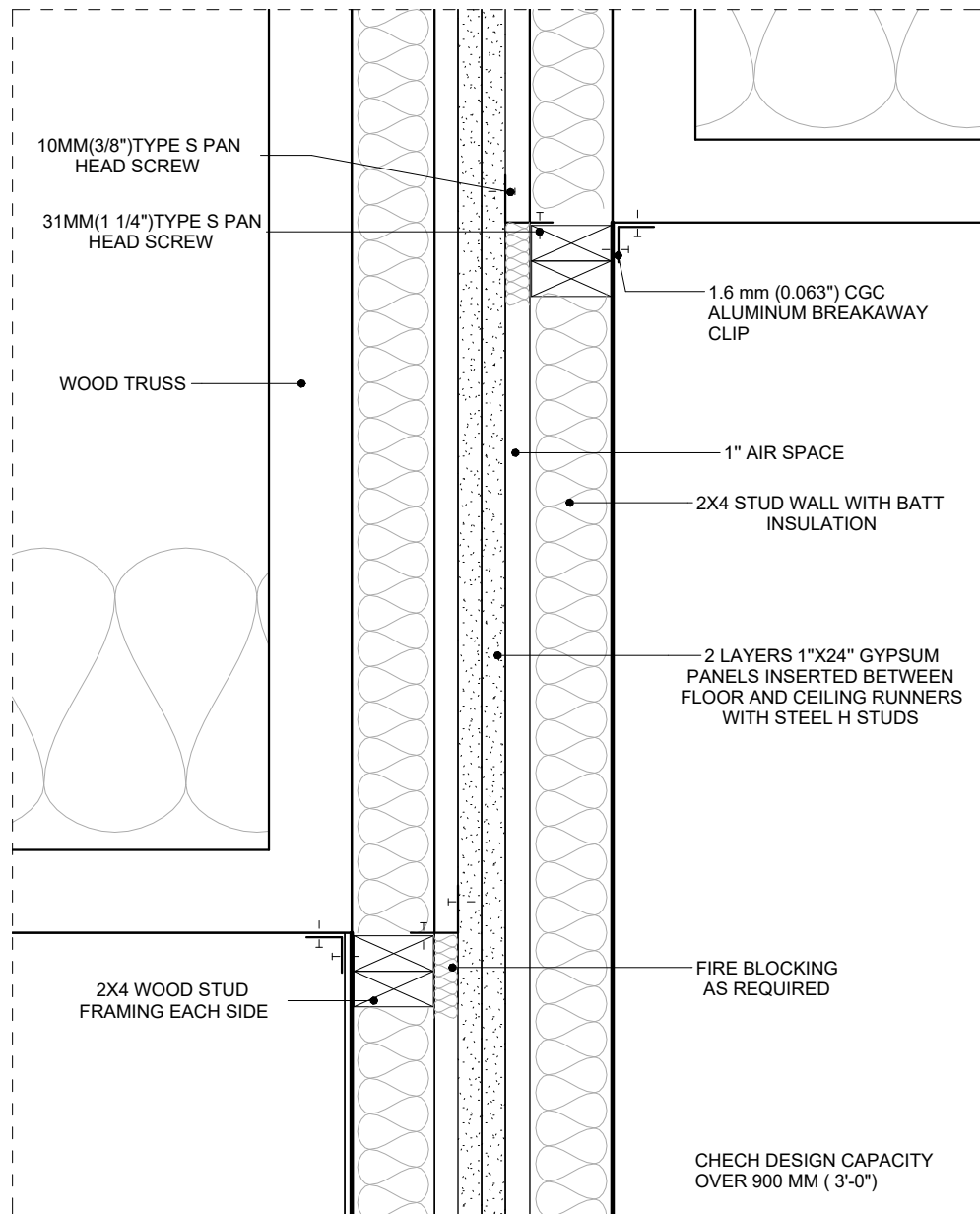
ENTRANCE WALL SECTION

1/4" = 1'-0"



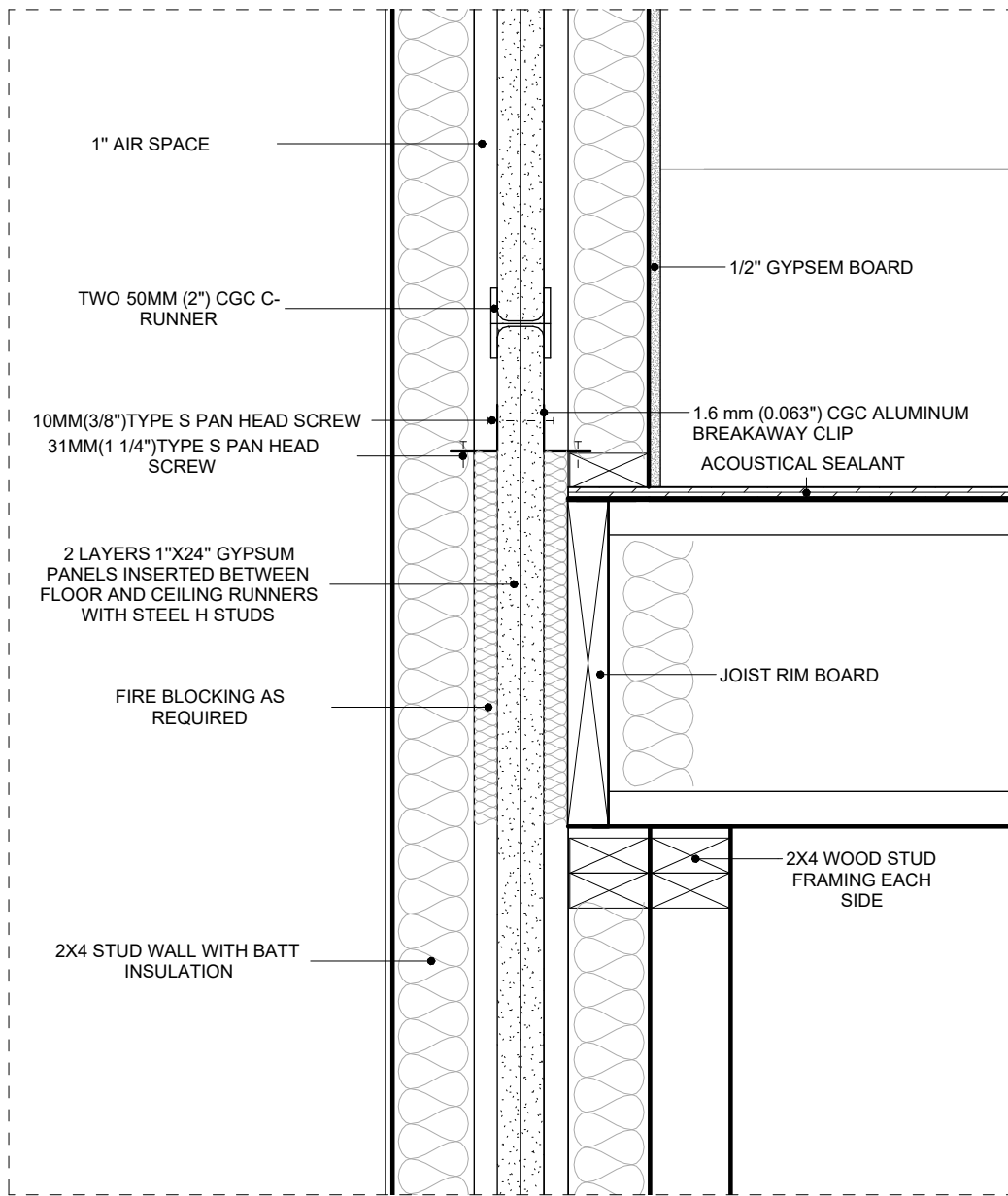
1 FIRE WALL- DETAIL-1

1" = 0'-10"



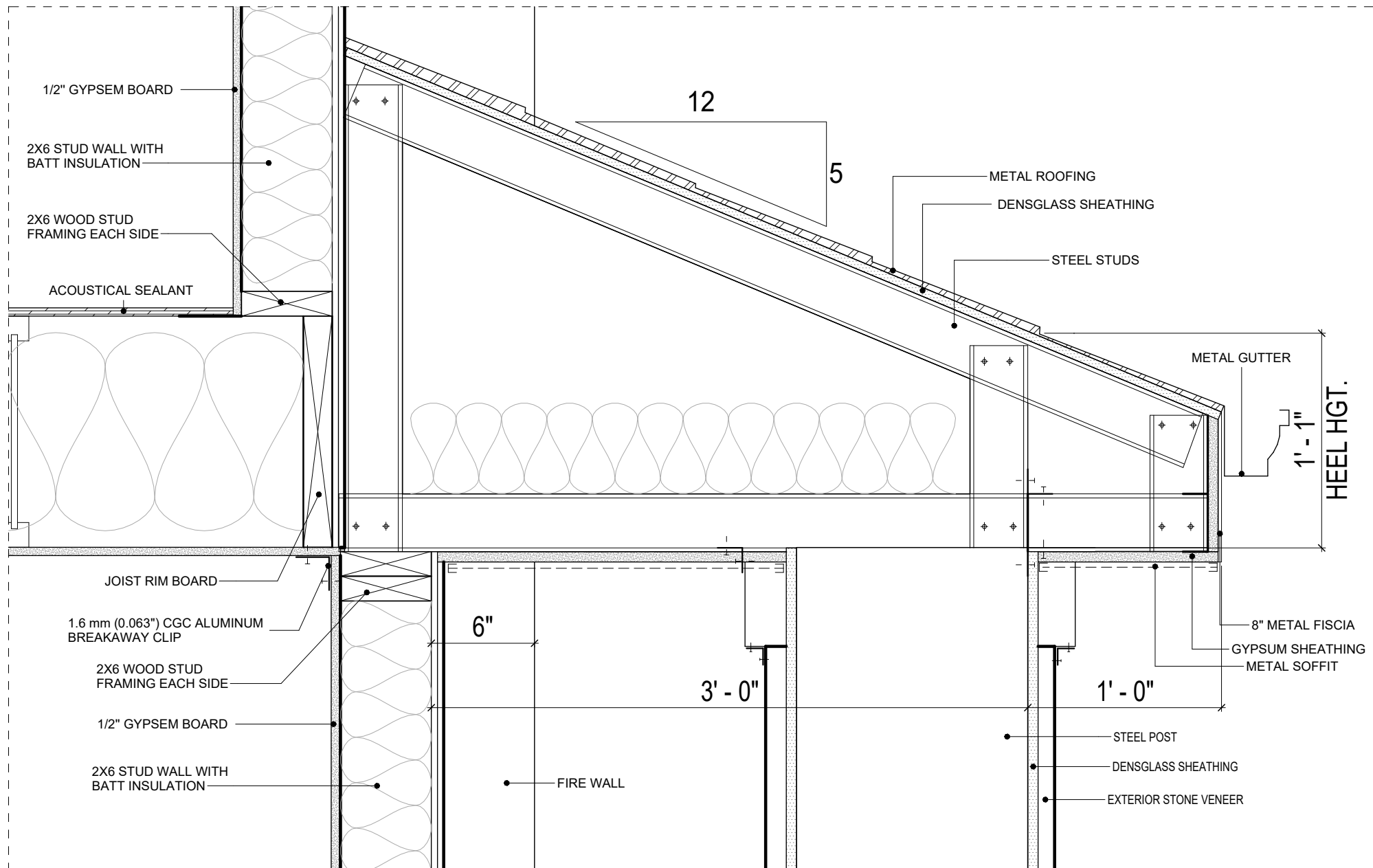
2 FIRE WALL- DETAIL-2

1" = 0'-10"



3 FIRE WALL- DETAIL-3

1 1/2" = 1'-0"



4 ENTRANCE WALL-DETAIL-4

1 1/2" = 1'-0"

DESIGNED BY:

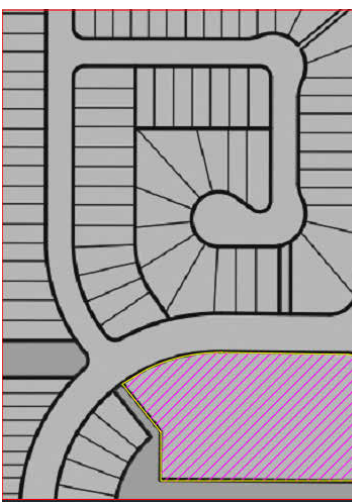


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KEY PLAN



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z/R.H.E/H	E.Z.H.A
02	25_03_27	DTR	H.H.E/M	E.Z.H.A/A/M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z/R.H.E/H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS  
BUILDING 3

DRAWING NO.

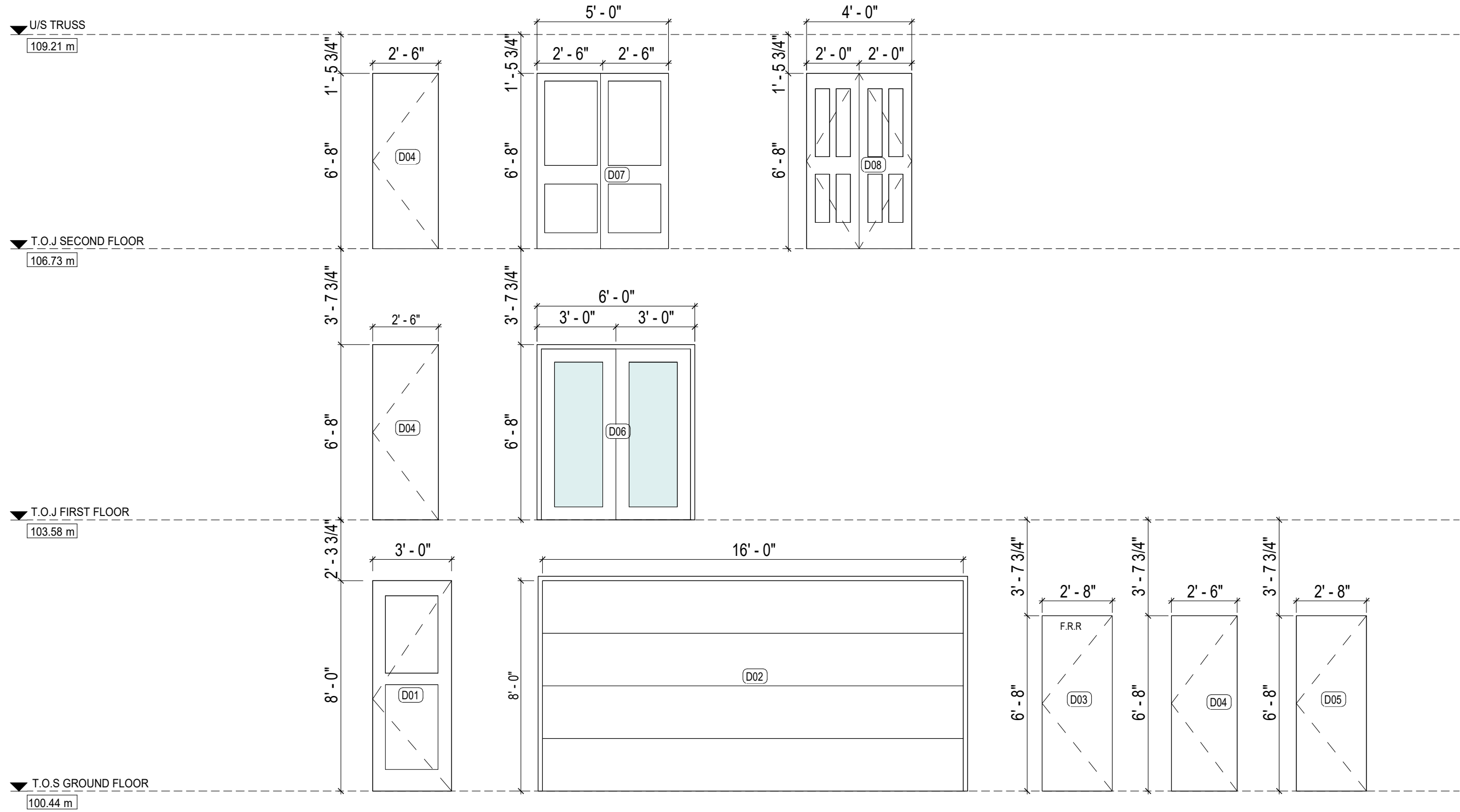
A-043

DRAWN BY: N.S.K/H.S.S./H.I.Z/R.H.E/H  
CHECKED BY: E.Z.H.A/A/M  
DATE: 25\_06\_14

SCALE: As indicated

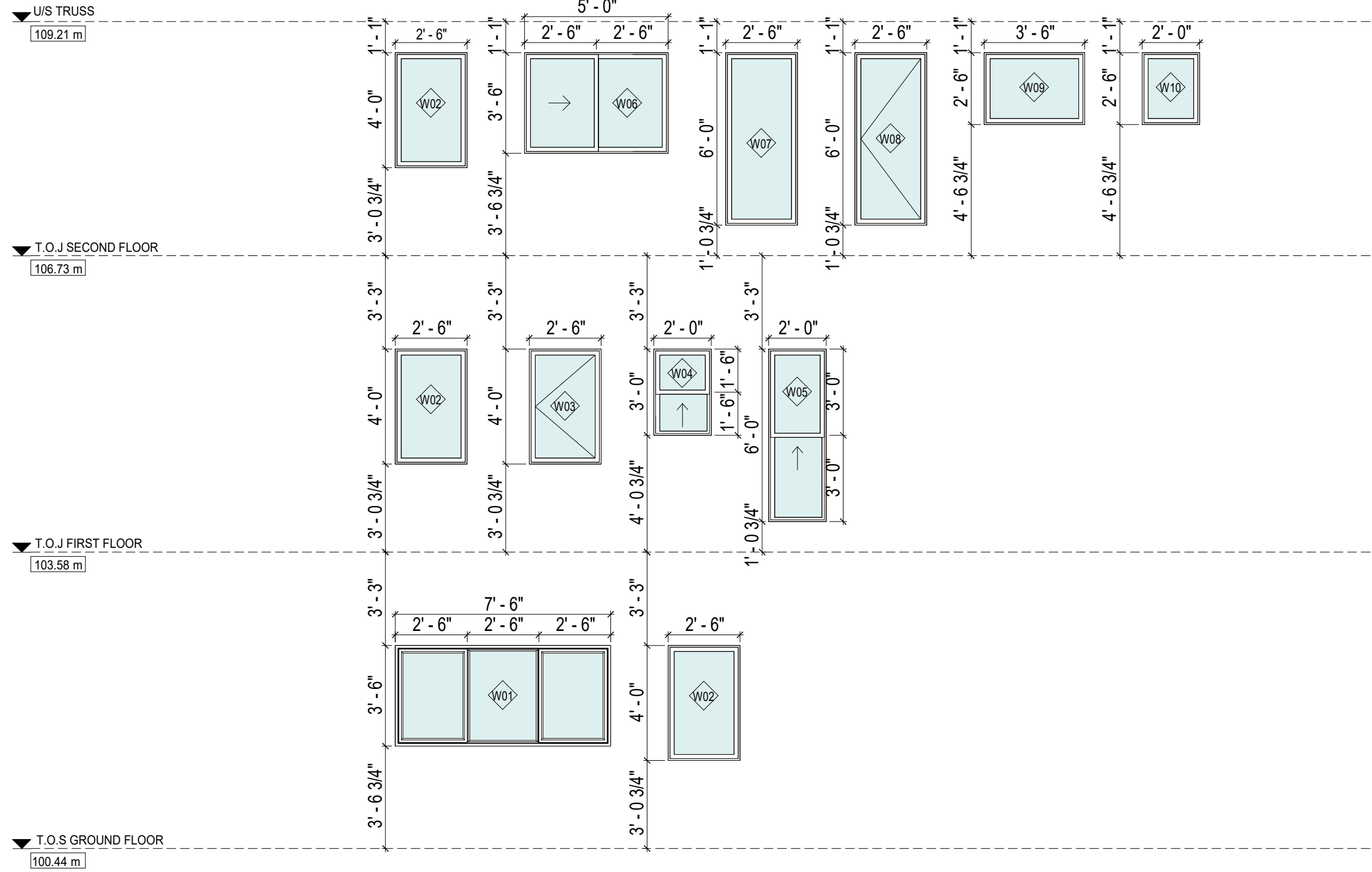


GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING



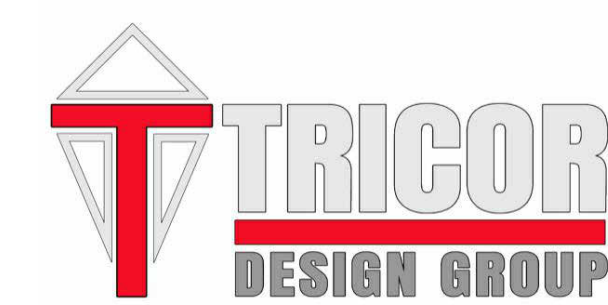
1 DOORS TYPES  
1/4" = 1'-0"

W08 :WILL BE (WOCD).



2 WINDOWS TYPES  
1/4" = 1'-0"

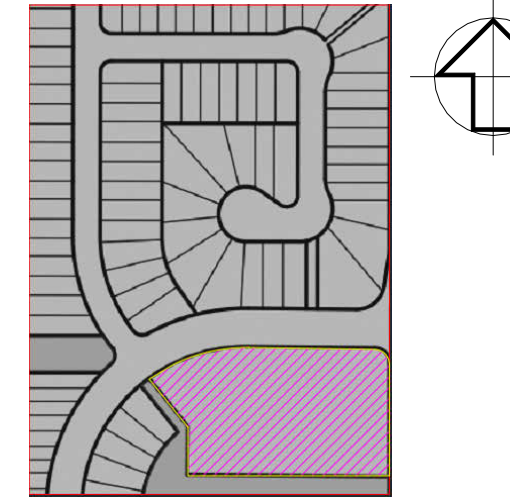
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S. H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	E.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

WINDOWS & DOORS TYPES  
BUILDING 3

DRAWING NO.

A-044

DRAWN BY: N.S.K.H.S.S./ H.I.Z.R.H.E/H  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_05\_14

SCALE: 1/4" = 1'-0"





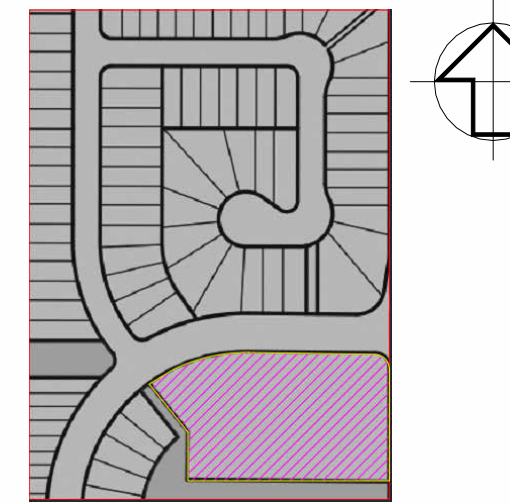
DESIGNED BY:



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KEY PLAN



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REVISIONS:

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02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING (4)

DRAWING NO.

A-045

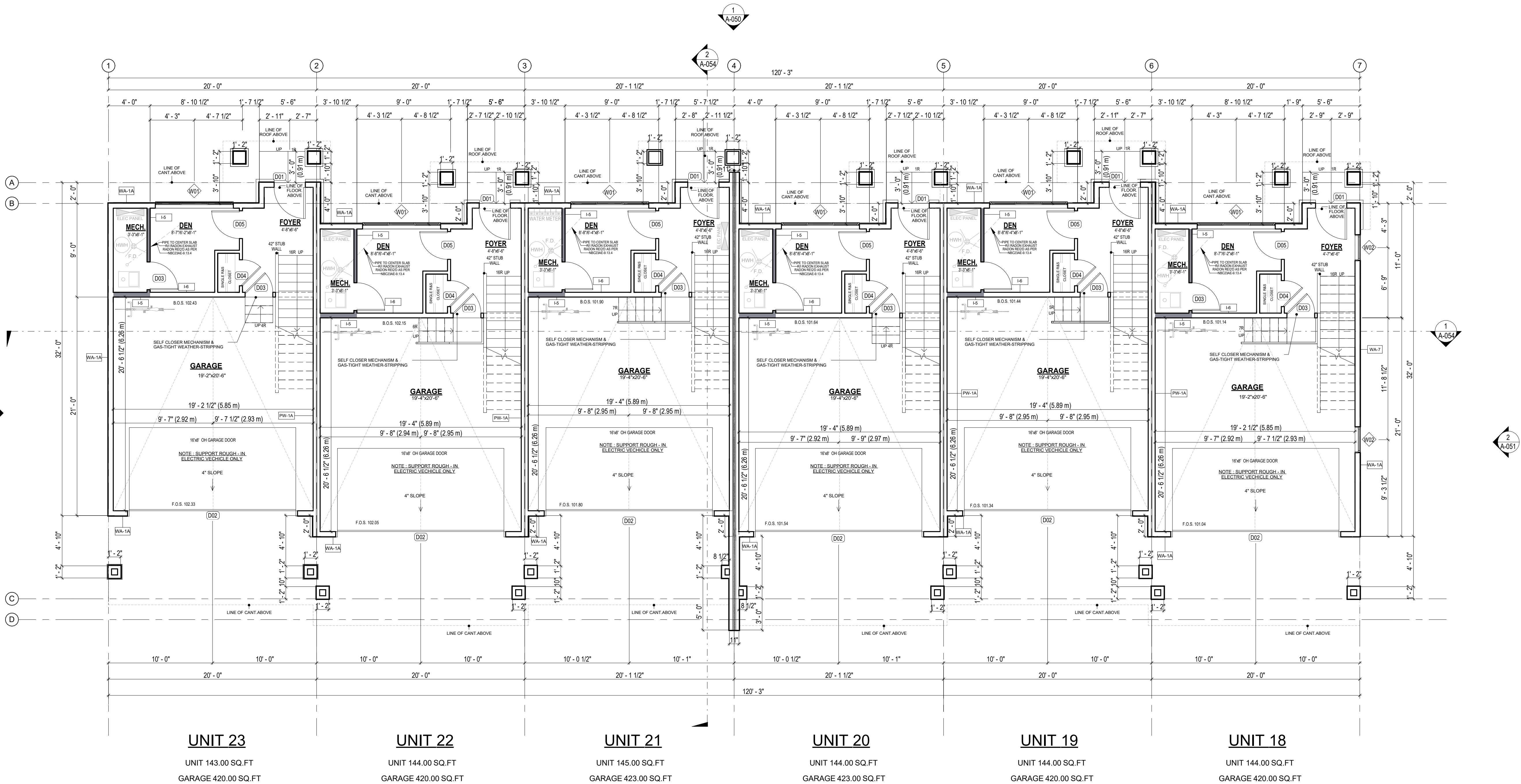
DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25\_06\_14

SCALE:



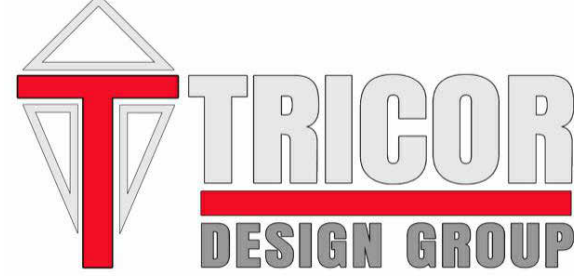
W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN SILL HEIGHT  
AND OUTSIDE GRADE IS MORE  
THAN (72") , AND THE OPENING  
PORTION WINDOW IS LESS THAN  
(36") ,THAT WILL ALLOW THE  
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

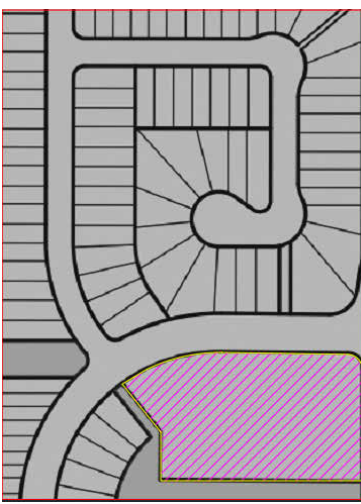
DESIGNED BY:



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tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970  
Calgary AB FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES  
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING (4)

DRAWING NO.

A-046

DRAWN BY:  
N.S.H.M.K.H/H.H.M.M/M.Z.R

CHECKED BY:  
E.Z.H.A/M

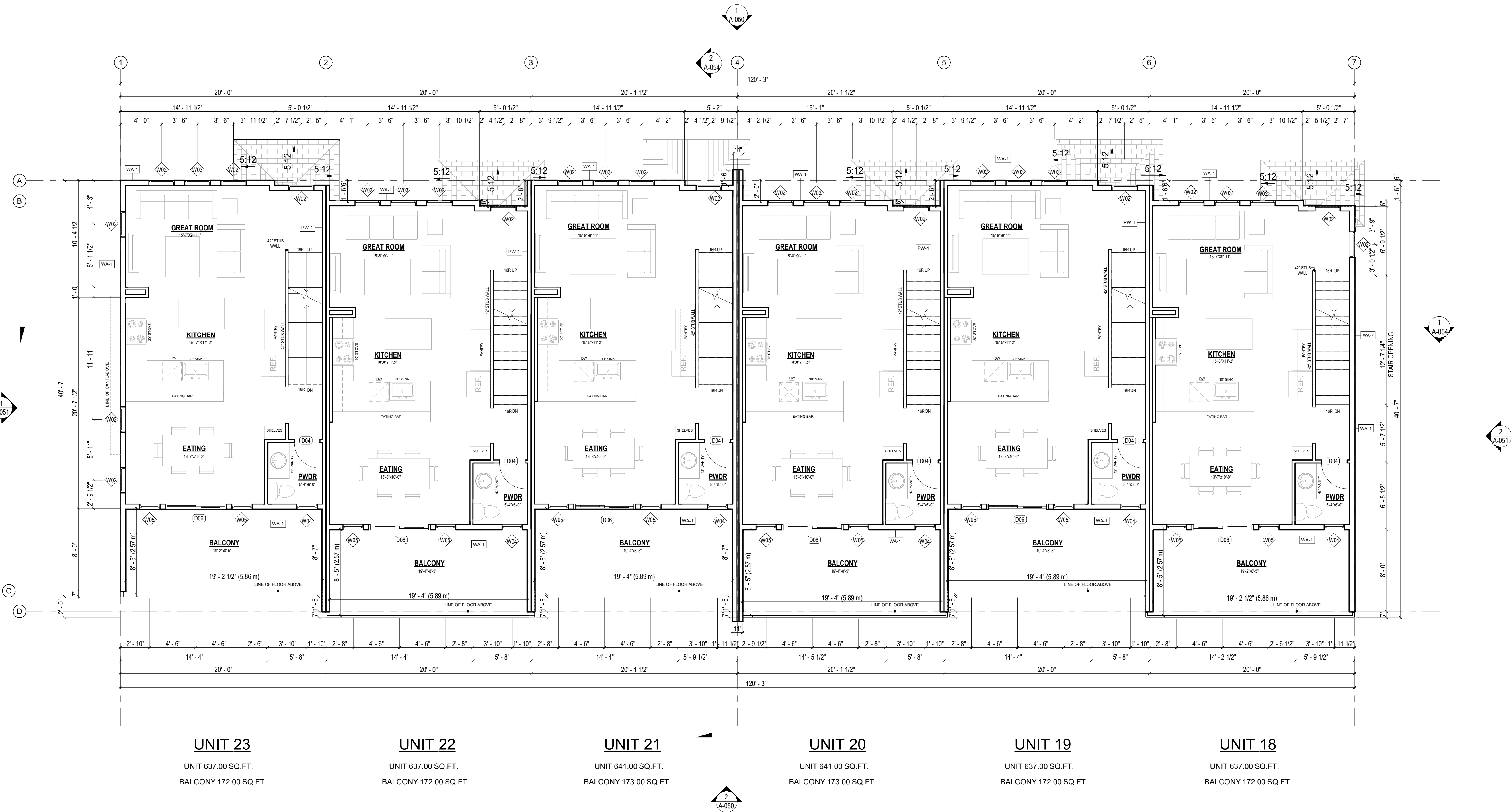
DATE:  
25\_06\_14

SCALE: 3/16" = 1'-0"



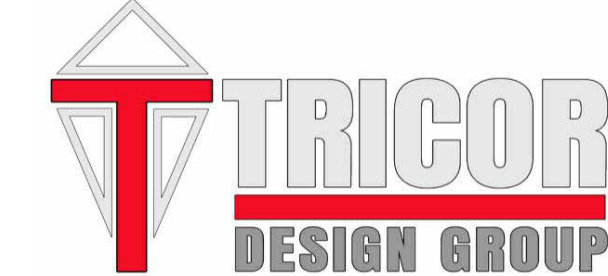
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36"), THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

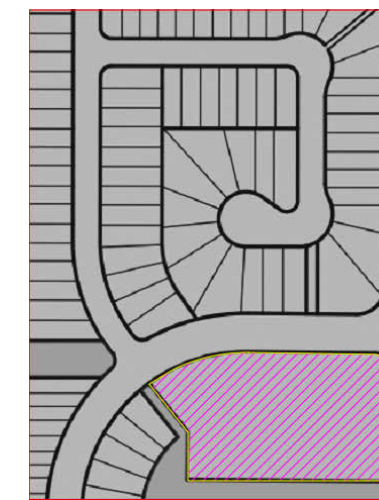


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#202 - 4216 10 STREET NE,  
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T2E 6K3

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.I.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.I.M.M	E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING (4)

DRAWING NO.

A-047

DRAWN BY:

N.S.H.M.K.H/H.H.M.M.Z.R

CHECKED BY:

E.Z.H.A/A.M

DATE:

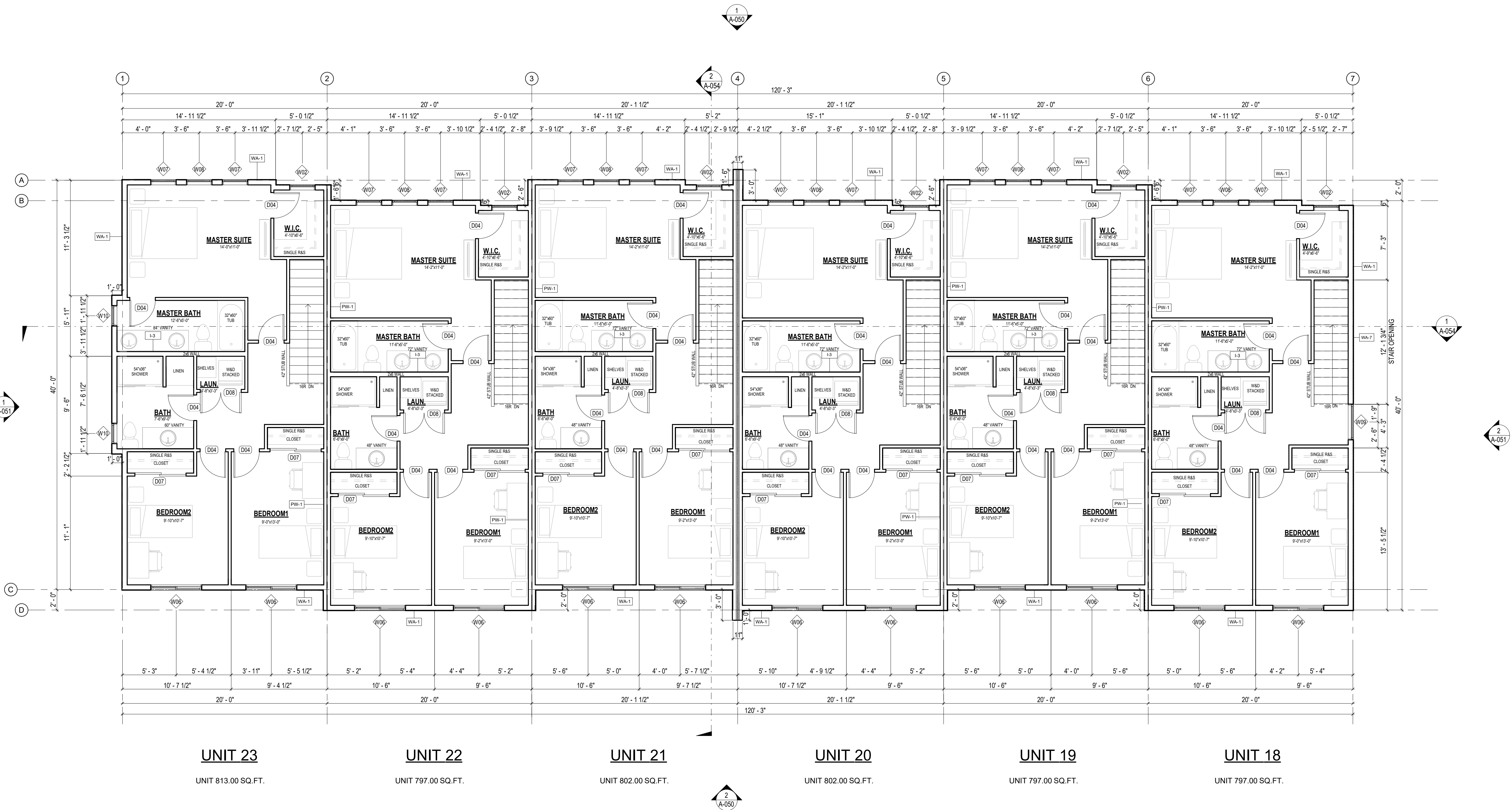
25\_06\_14

SCALE: 3/16" = 1'-0"



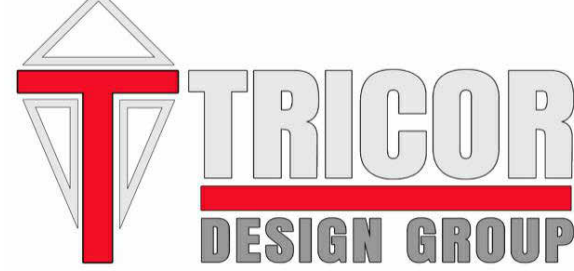
W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



1 SECOND FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

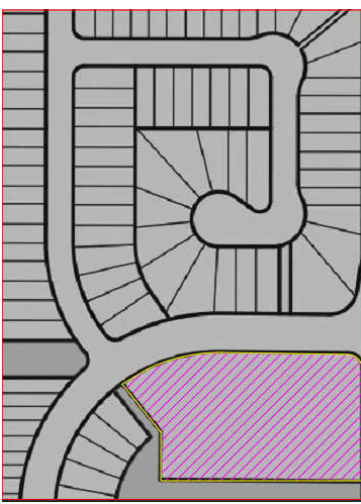


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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING (4)

DRAWING NO.

A-048

DRAWN BY:

N.S.H.M.K.H/H.H.M.M.Z.R

CHECKED BY:

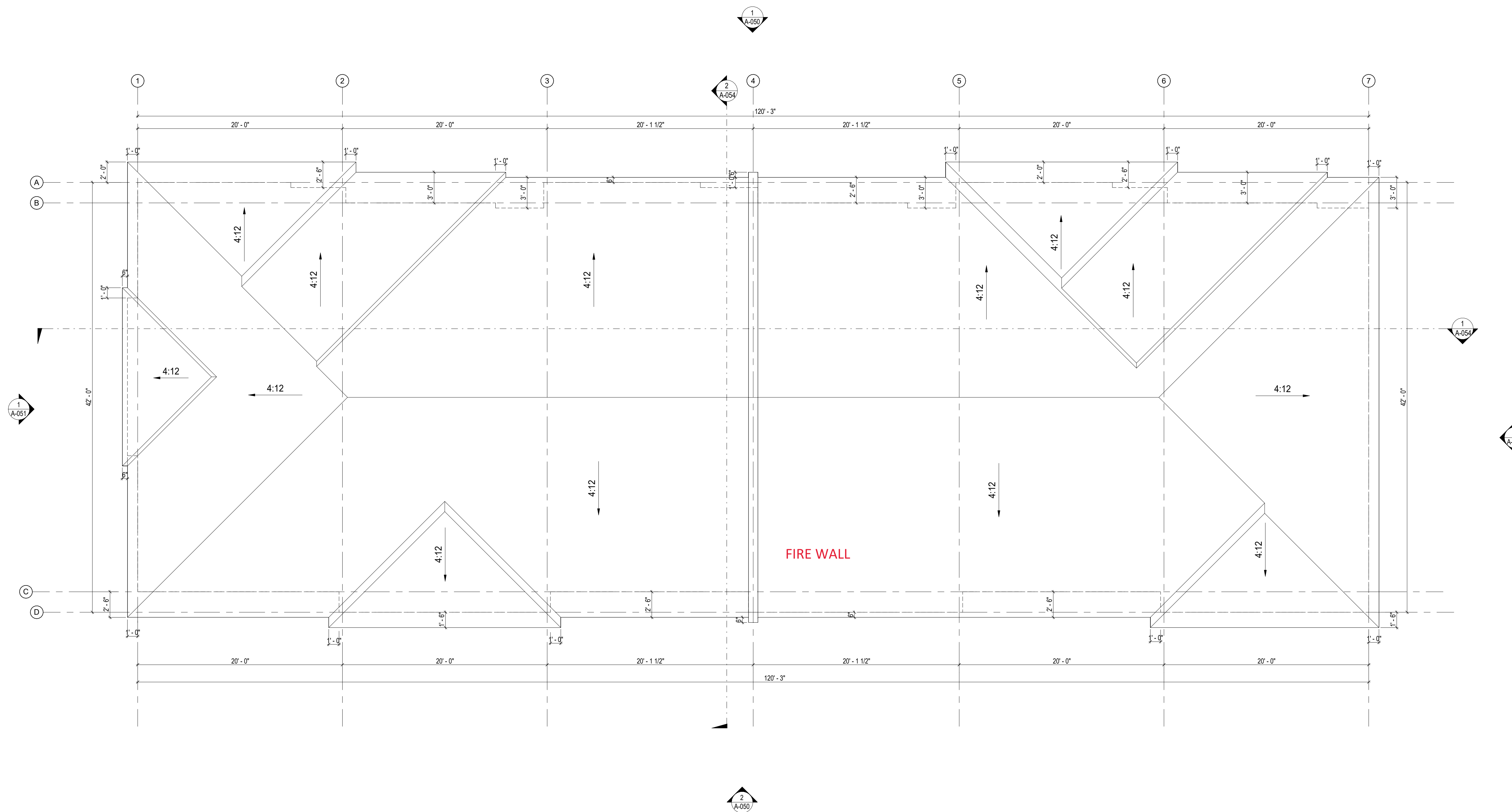
E.Z.H.A/A.M

DATE:

25\_06\_14

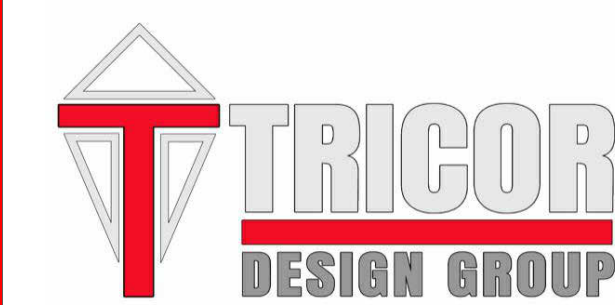
SCALE: 3/16" = 1'-0"





1 ROOF FLOOR PLAN  
3/16" = 1'-0"

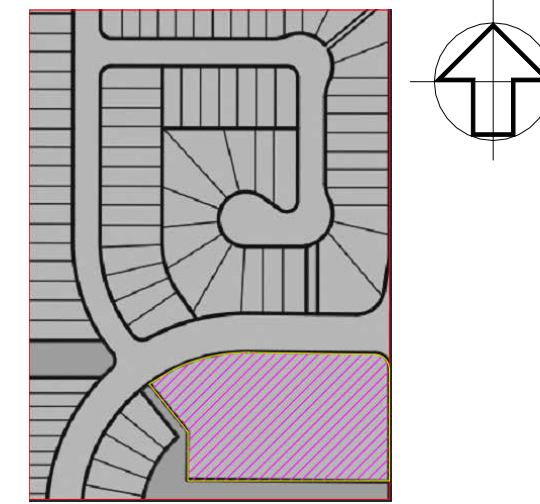
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN  
BUILDING (4)

DRAWING NO.

A-049

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/M. DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGR DOOR CLOPAY MODERN STEEL W/ FULL GLAZING AND VERTICAL STACK



1 FRONT ( NORTH )ELEVATION

3/16" = 1'-0"



2 REAR (SOUTH) ELEVATION

3/16" = 1'-0"

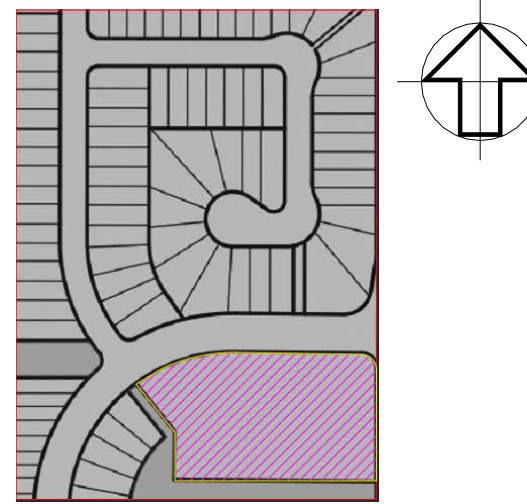
DESIGNED BY:



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02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING (4)

DRAWING NO.

A-050

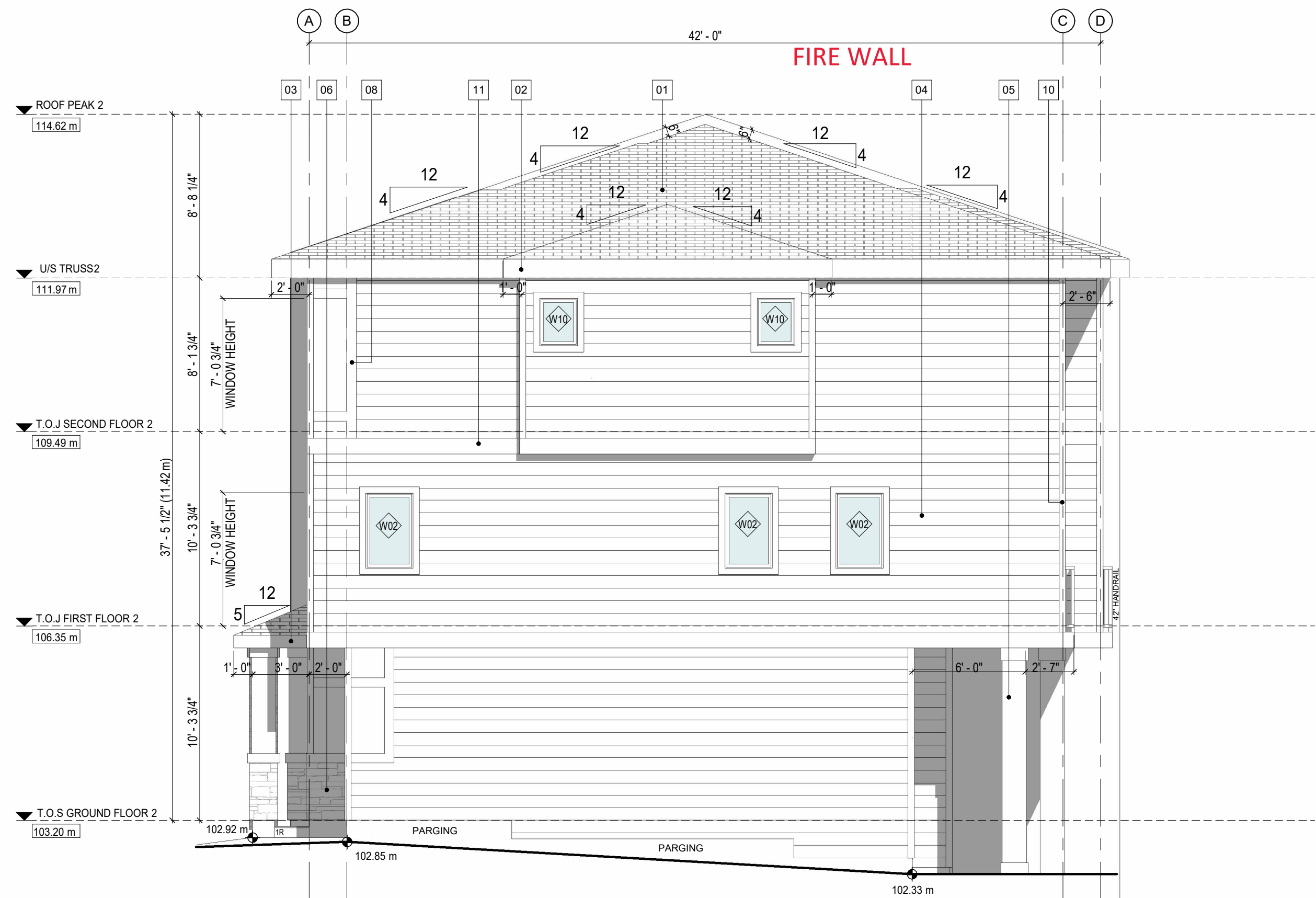
DRAWN BY: N.S.H.M.K.H.H.H.M.M.Z.R. CHECKED BY: E.Z.H.A/A.M DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"

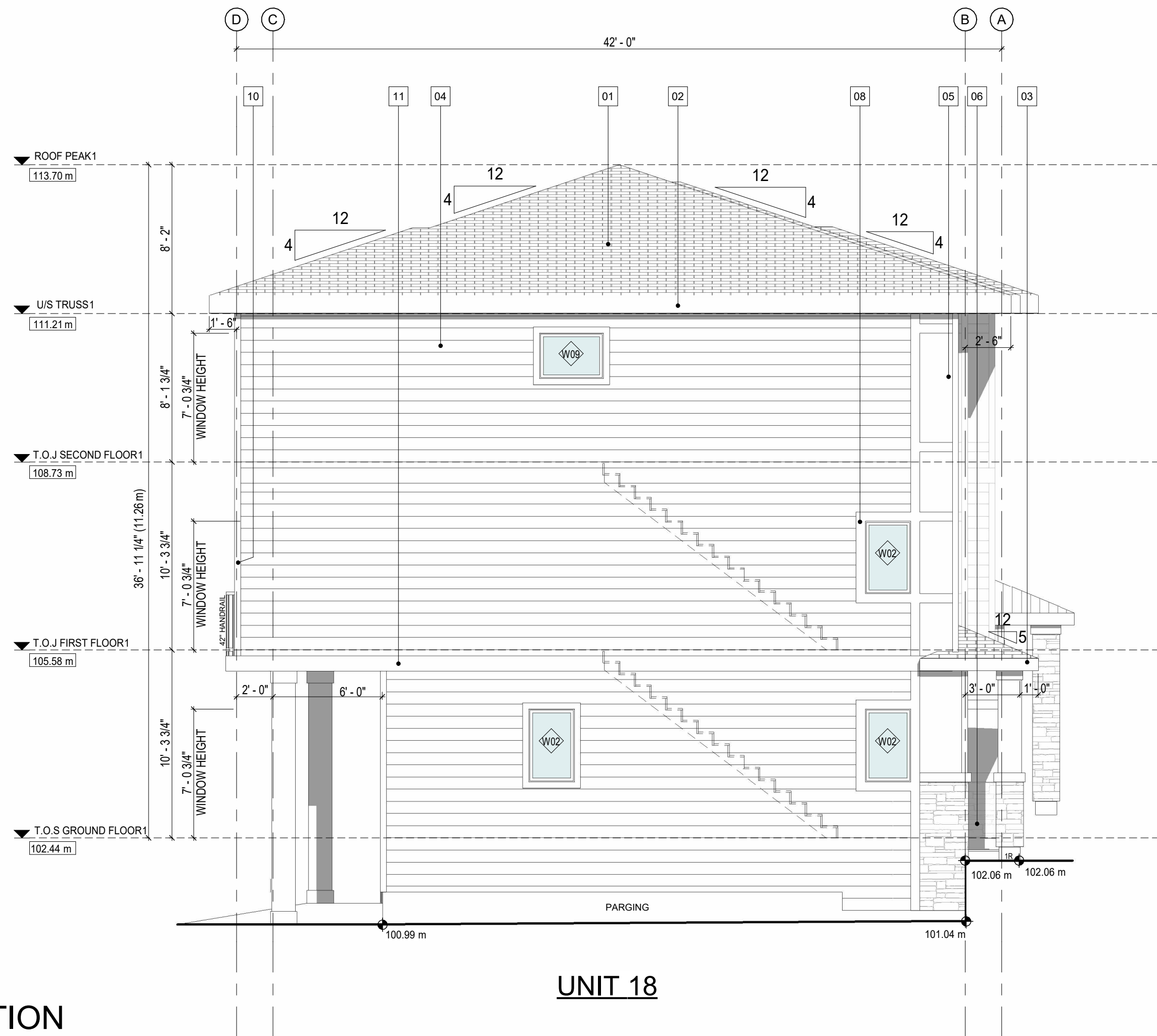


MATERIAL LEGEND	
NO.	NAME
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02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).



1 RIGHT (WEST) ELEVATION  
3/16" = 1'-0"



2 LEFT(EAST) ELEVATION  
3/16" = 1'-0"

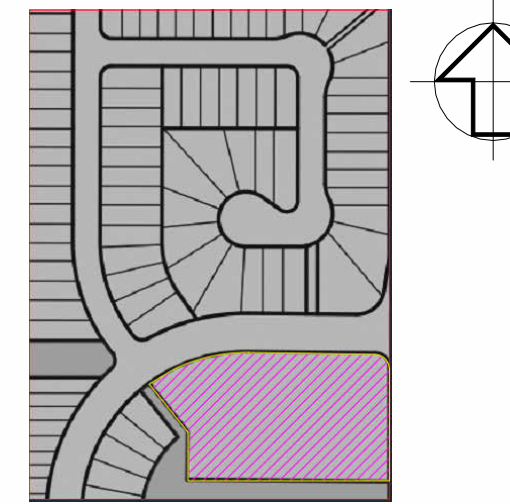
DESIGNED BY:



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02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

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01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING (4)

DRAWING NO.

A-051

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"





1 FRONT( NORTH ) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

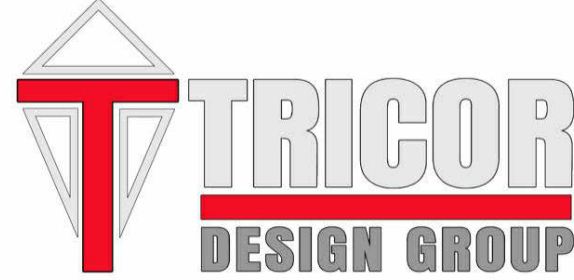


2 REAR (SOUTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 18		UNIT 19		UNIT 20		UNIT 21		UNIT 22		UNIT 23	
CODE CHECK EXPOSED BUILDING FACE	590 SQ.FT	54.85 SQ.M	624 SQ.FT	58.00 SQ.M	566 SQ.FT	52.54 SQ.M	623 SQ.FT	57.92 SQ.M	567 SQ.FT	52.71 SQ.M	612 SQ.FT	56.85 SQ.M
SETBACK	15' - 11"	4.86 m	13' - 11"	4.25 m	15' - 11"	4.86 m	13' - 11"	4.25 m	15' - 11"	4.86 m	14' - 0"	4.26 m
PERCENTAGE OF ALLOWED OPENINGS	38.96%		29.77%		39.68%		29.78%		39.63%		30.18%	
SQ.FT.OF ALLOWED OPENING	230.03 SQ.FT	21.37 SQ.M	185.86 SQ.FT	17.27 SQ.M	224.42 SQ.FT	20.85 SQ.M	185.68 SQ.FT	17.25 SQ.M	224.85 SQ.FT	20.89 SQ.M	184.69 SQ.FT	17.16 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	115.02 SQ.FT	10.69 SQ.M	92.93 SQ.FT	8.63 SQ.M	112.21 SQ.FT	10.42 SQ.M	92.84 SQ.FT	8.62 SQ.M	112.42 SQ.FT	10.44 SQ.M	92.34 SQ.FT	8.58 SQ.M

UNPROTECTED OPENINGS	UNIT 23		UNIT 22		UNIT 21		UNIT 20		UNIT 19		UNIT 18	
CODE CHECK EXPOSED BUILDING FACE	627 SQ.FT	58.24 SQ.M	669 SQ.FT	62.18 SQ.M	650 SQ.FT	60.34 SQ.M	653 SQ.FT	60.71 SQ.M	630 SQ.FT	58.54 SQ.M	677 SQ.FT	62.86 SQ.M
SETBACK	24' - 5"	7.44 m	22' - 8"	6.90 m	24' - 10"	7.58 m	23' - 1"	7.04 m	25' - 2"	7.68 m	23' - 5"	7.15 m
PERCENTAGE OF ALLOWED OPENINGS	81.68%		68.45%		82.93%		72.09%		86.3%		72.43%	
SQ.FT.OF ALLOWED OPENING	512.08 SQ.FT	47.57 SQ.M	458.13 SQ.FT	42.56 SQ.M	538.67 SQ.FT	50.04 SQ.M	471.06 SQ.FT	43.76 SQ.M	543.80 SQ.FT	50.52 SQ.M	490.04 SQ.FT	45.53 SQ.M
ACTUAL SQ.FT.OF OPENINGS	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M	116.92 SQ.FT	10.86 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	256.04 SQ.FT	23.79 SQ.M	229.06 SQ.FT	21.28 SQ.M	269.33 SQ.FT	25.02 SQ.M	235.53 SQ.FT	21.88 SQ.M	271.90 SQ.FT	25.26 SQ.M	245.02 SQ.FT	22.76 SQ.M

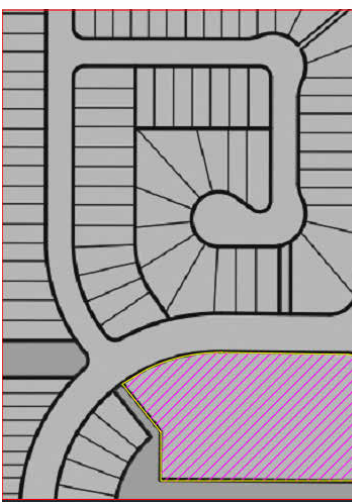
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS-1  
BUILDING (4)

DRAWING NO.

A-052

DRAWN BY:

N.S.H.M.K.H/H.H.M.M/Z.R

CHECKED BY:

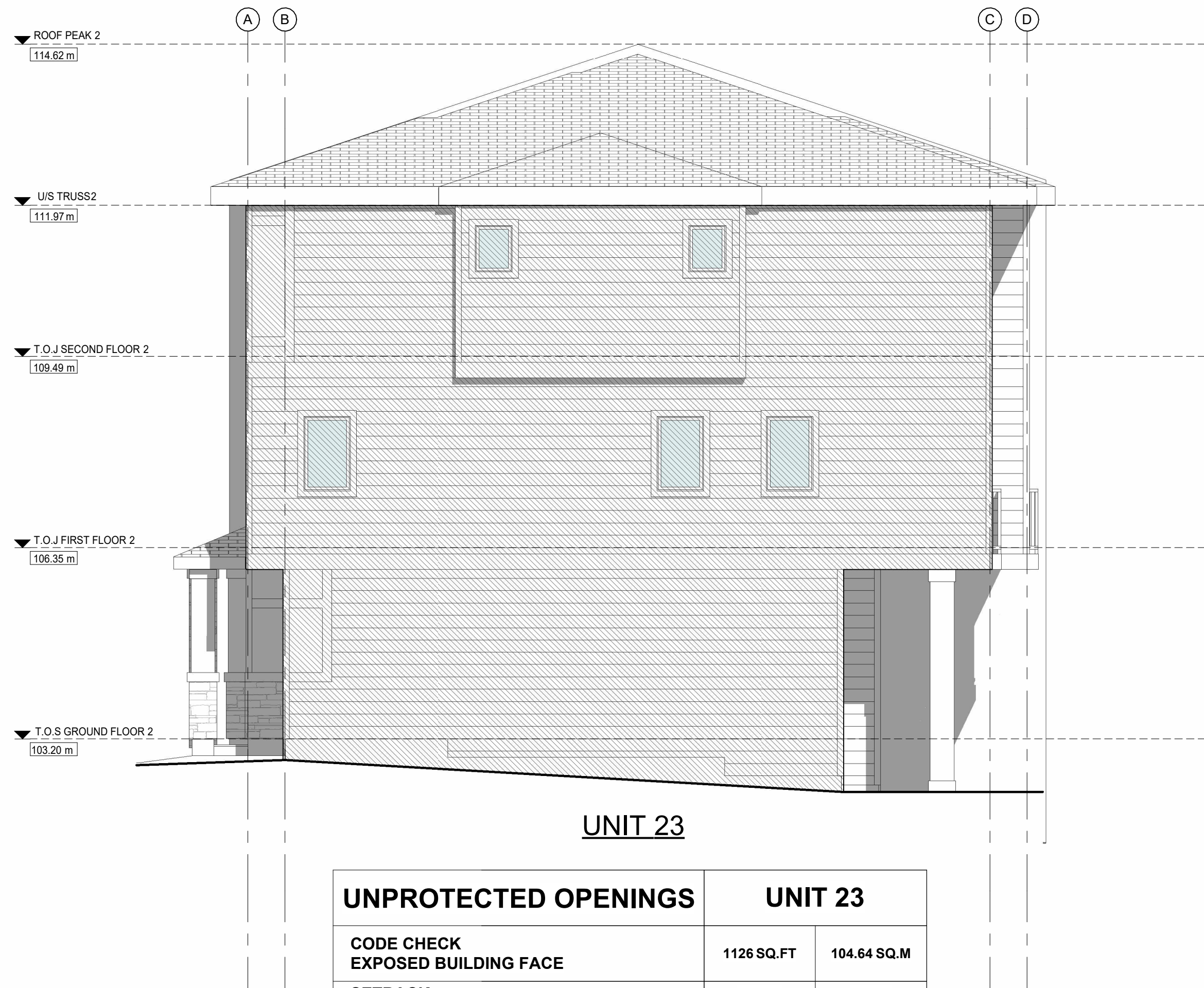
E.Z.H.A/A.M

DATE:

25\_06\_14

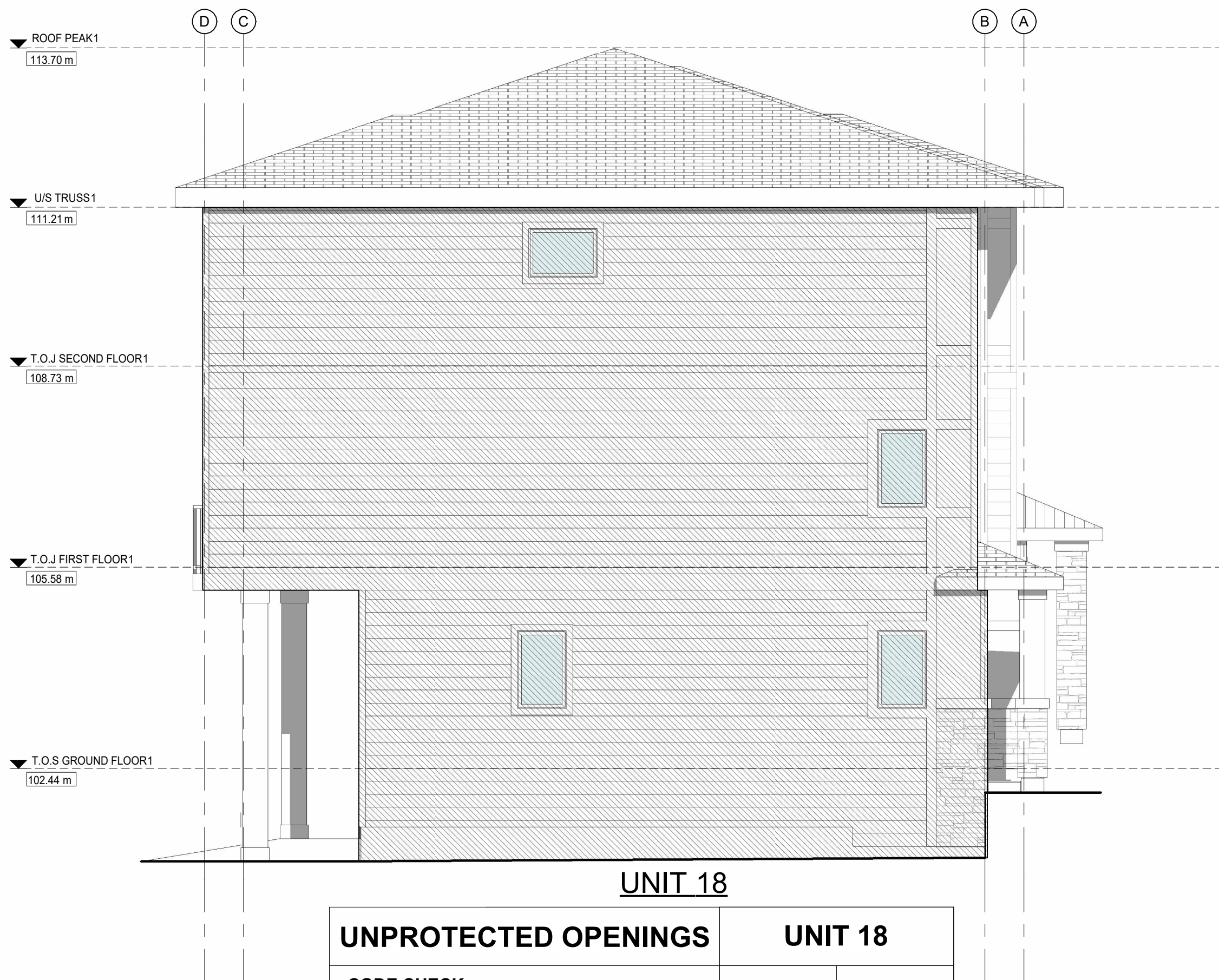
SCALE: 3/16" = 1'-0"





UNPROTECTED OPENINGS	UNIT 23	
CODE CHECK EXPOSED BUILDING FACE	1126 SQ.FT	104.64 SQ.M
SETBACK	31' - 0"	9.44 m
PERCENTAGE OF ALLOWED OPENINGS	36.64%	
SQ.FT.OF ALLOWED OPENING	412.70 SQ.FT	38.34 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	206.35 SQ.FT	19.17 SQ.M

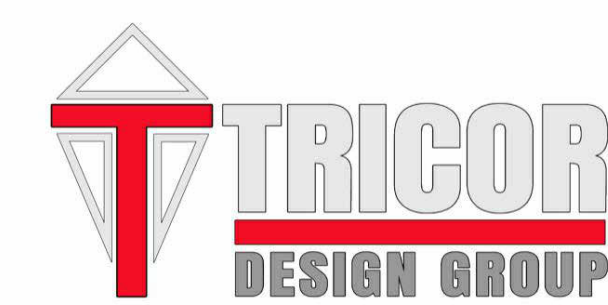
1 RIGHT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 18	
CODE CHECK EXPOSED BUILDING FACE	1225 SQ.FT	113.80 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	85.75 SQ.FT	7.97 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	42.87 SQ.FT	3.98 SQ.M

2 LEFT (EAST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

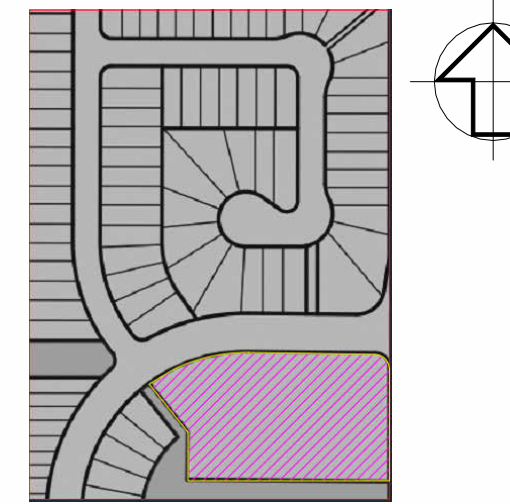
DESIGNED BY:



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Calgary AB FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS-2  
BUILDING (4)

DRAWING NO.

A-053

DRAWN BY: N.S.H.M.K.H/H.H.M.M/Z.R. CHECKED BY: E.Z.H.A/A.M. DATE: 25\_06\_14

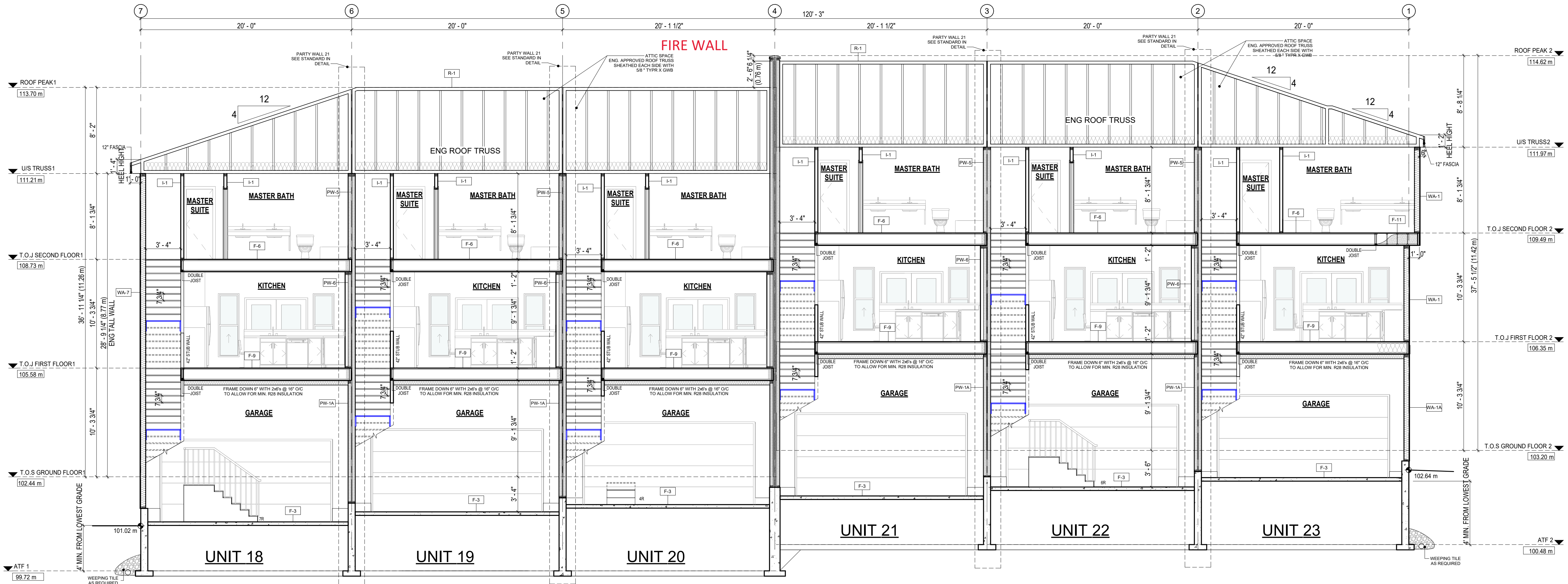
SCALE: 3/16" = 1'-0"



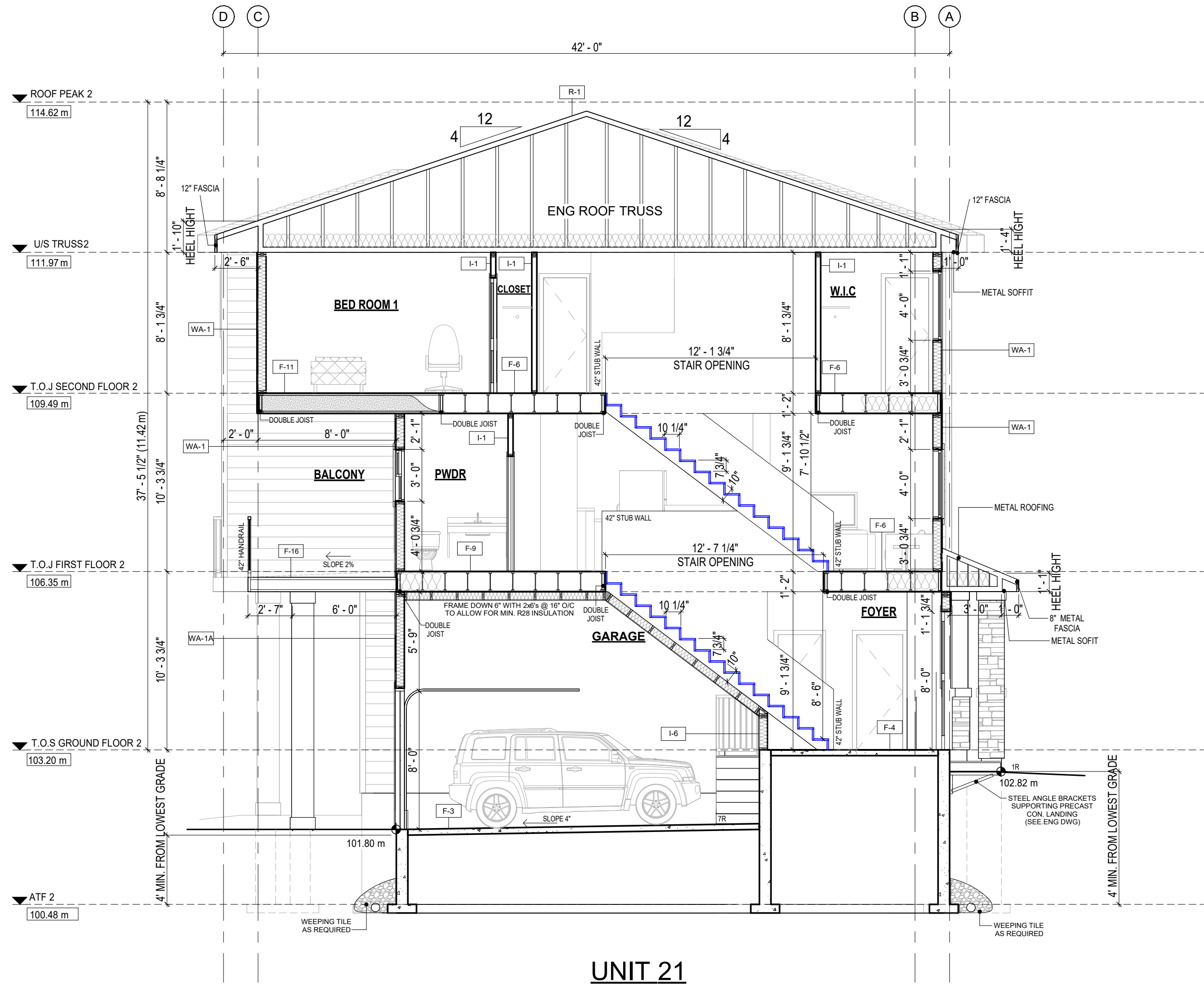
NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM  
LOWEST GRADE

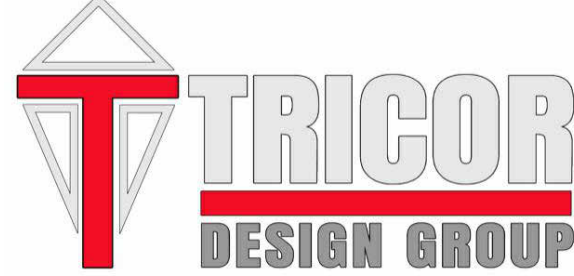


1 SECTION 1  
3/16" = 1'-0"



2 SECTION 2  
3/16" = 1'-0"

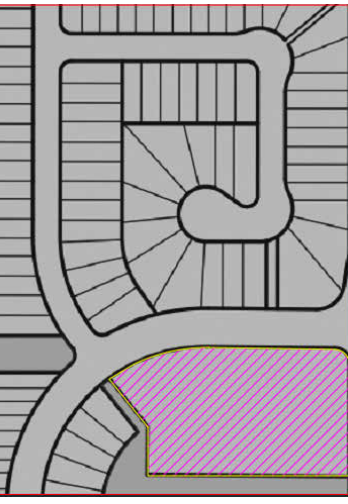
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H.	E.Z.H.A.
02	25_03_10	DTR	H.H.M.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	H.U.M.M.	E.Z.H.A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1/ SECTION2  
BUILDING (4)

DRAWING NO.

A-054

DRAWN BY: N.S.H.M.K.H./H.H.M./M.Z.R. CHECKED BY: E.Z.H.A./A.M. DATE: 25\_06\_14

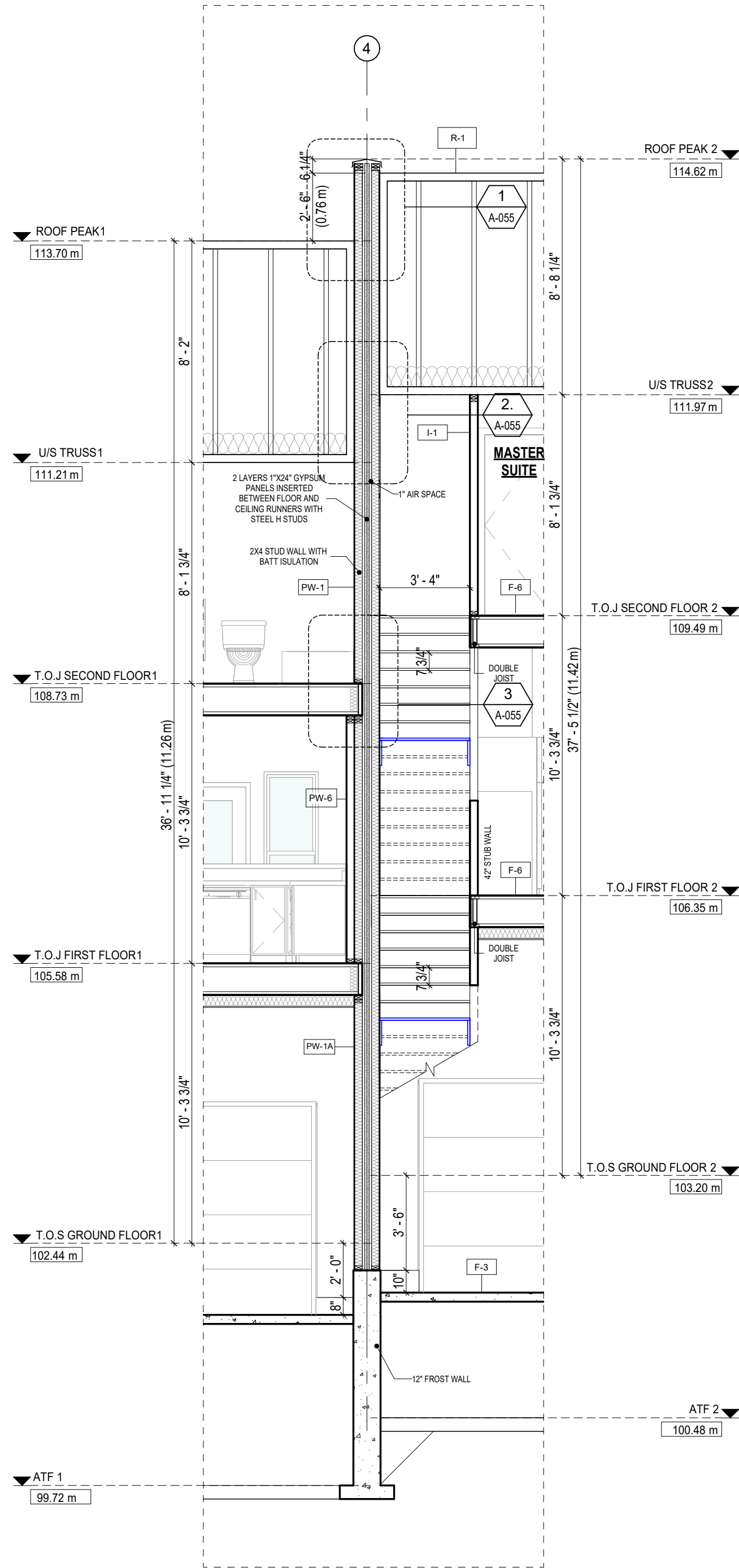
SCALE: 3/16" = 1'-0"



NOTES:

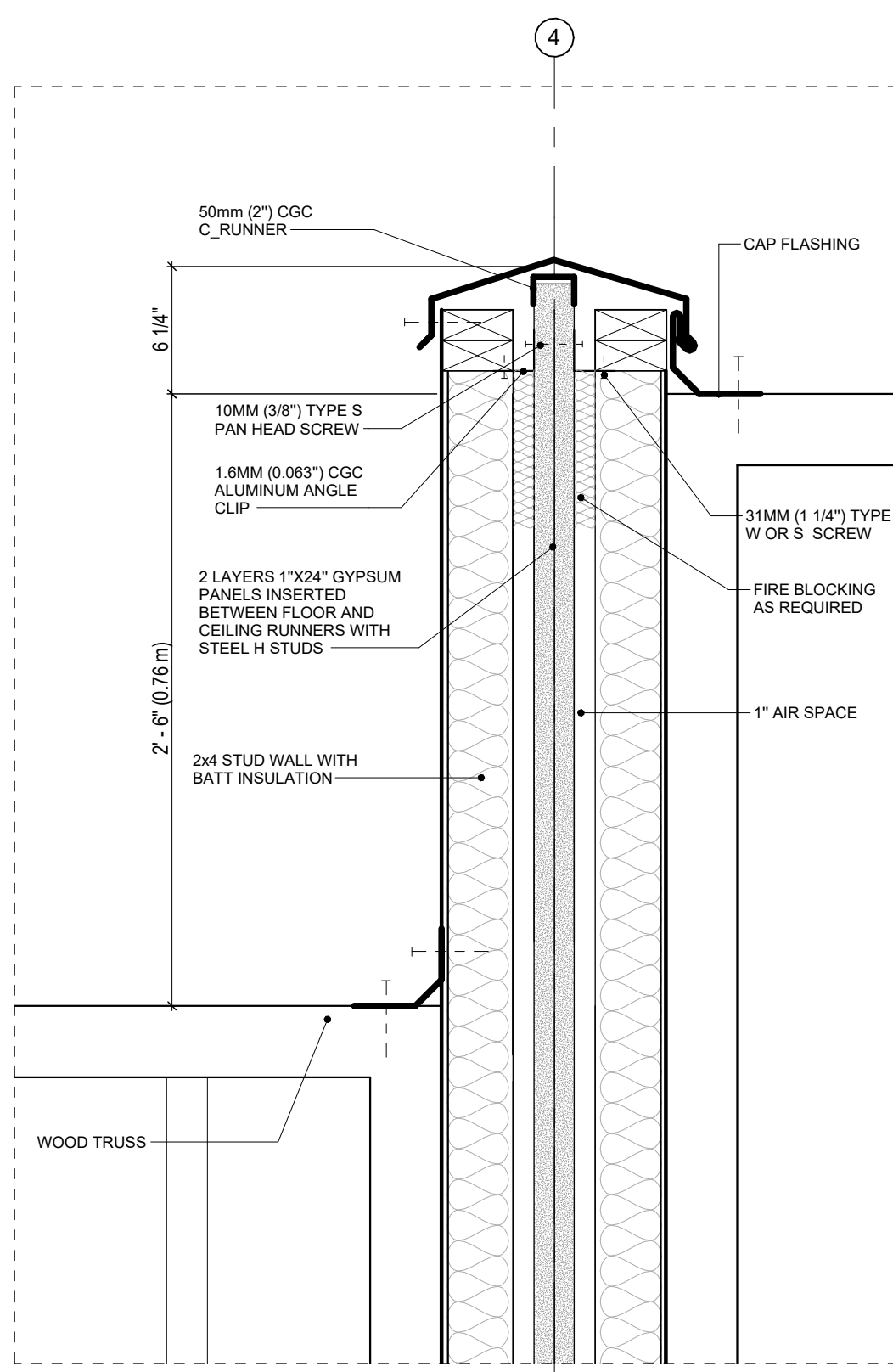
" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4' MINIMUM FROM  
LOWEST GRADE

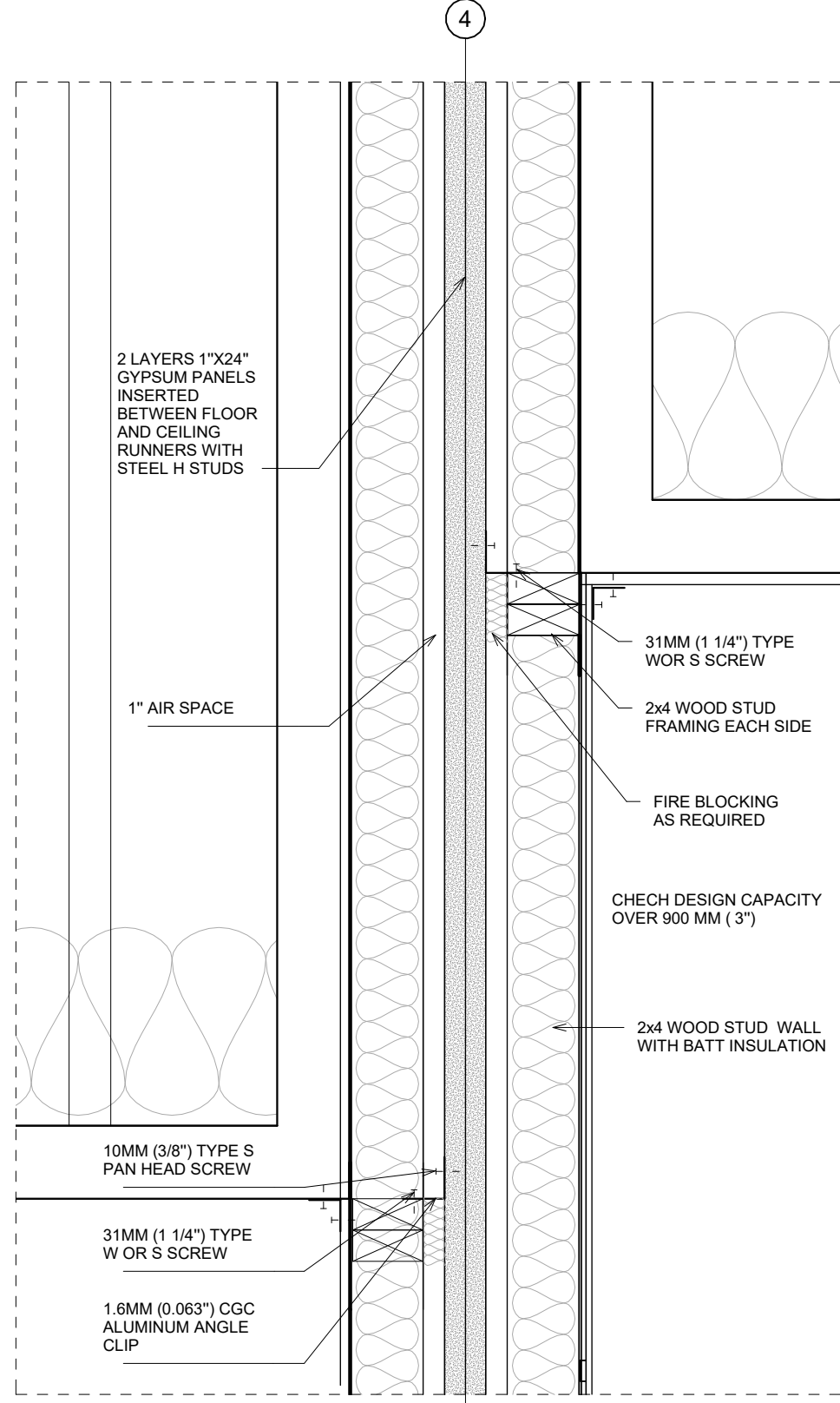


FIRE WALL SECTION

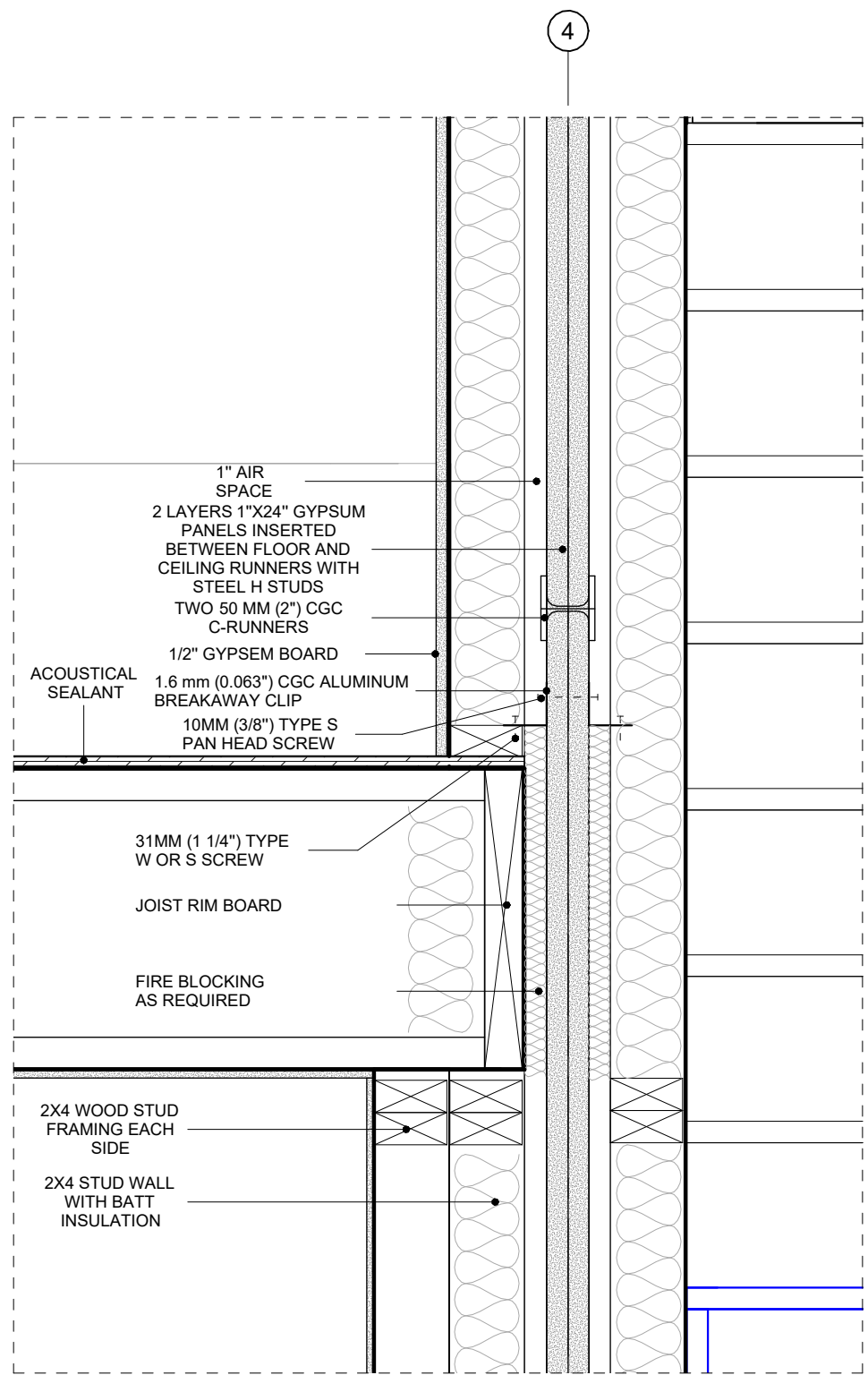
1/4" = 1'-0"



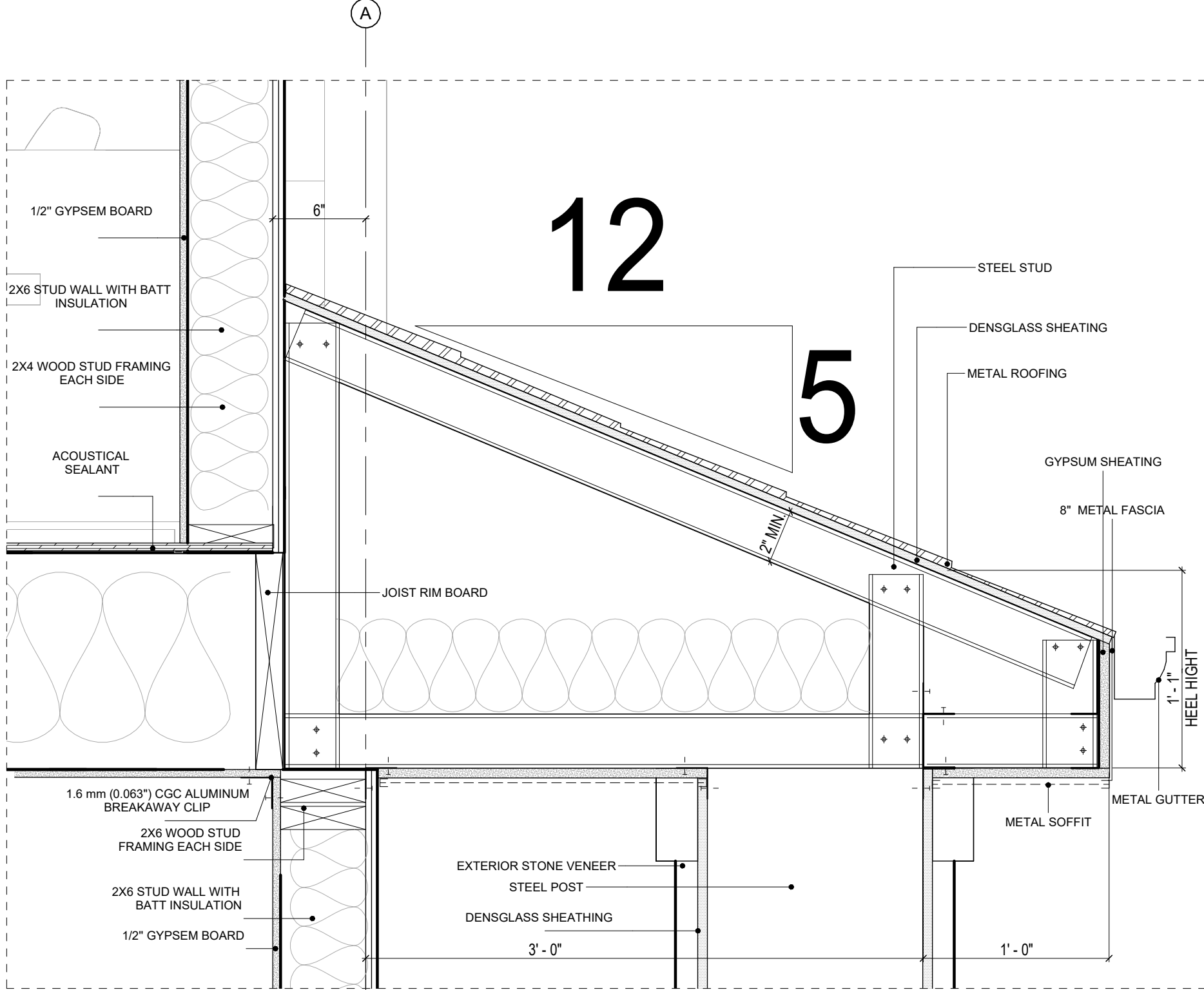
1 DETAIL 1  
1 1/2" = 1'-0"



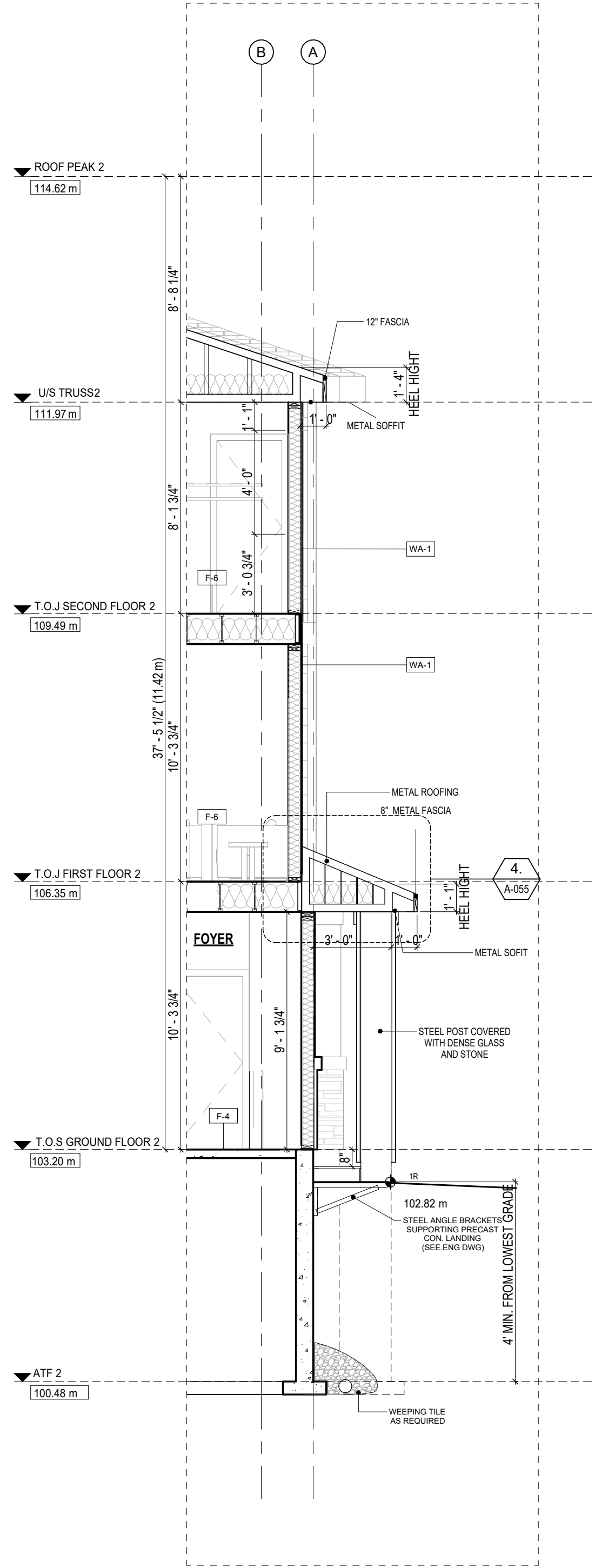
2 DETAIL 2  
1 1/2" = 1'-0"



3 DETAIL 3  
1 1/2" = 1'-0"



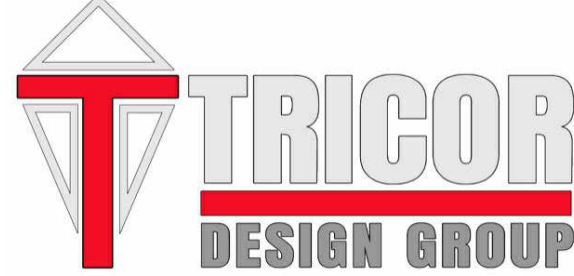
4 DETAIL 4  
1 1/2" = 1'-0"



ENTRANCE WALL SECTION

1/4" = 1'-0"

DESIGNED BY:

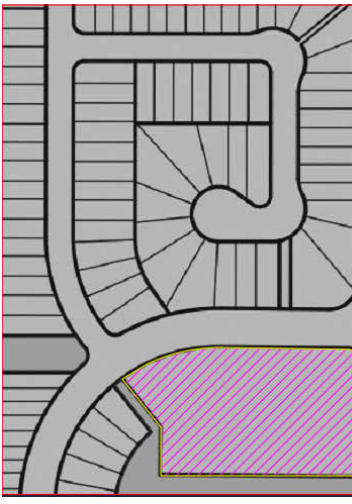


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#202 - 4216 10 STREET NE,  
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T2E 6K3

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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M.K.H	E.Z.H.A
02	25_03_10	DTR	H.H.M.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	H.H.M.M	E.Z.H.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M.K.H	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS  
BUILDING (4)

DRAWING NO.

A-055

DRAWN BY:

N.S.H.M.K.H/H.H.M.M/Z.R

CHECKED BY:

E.Z.H.A/A.M

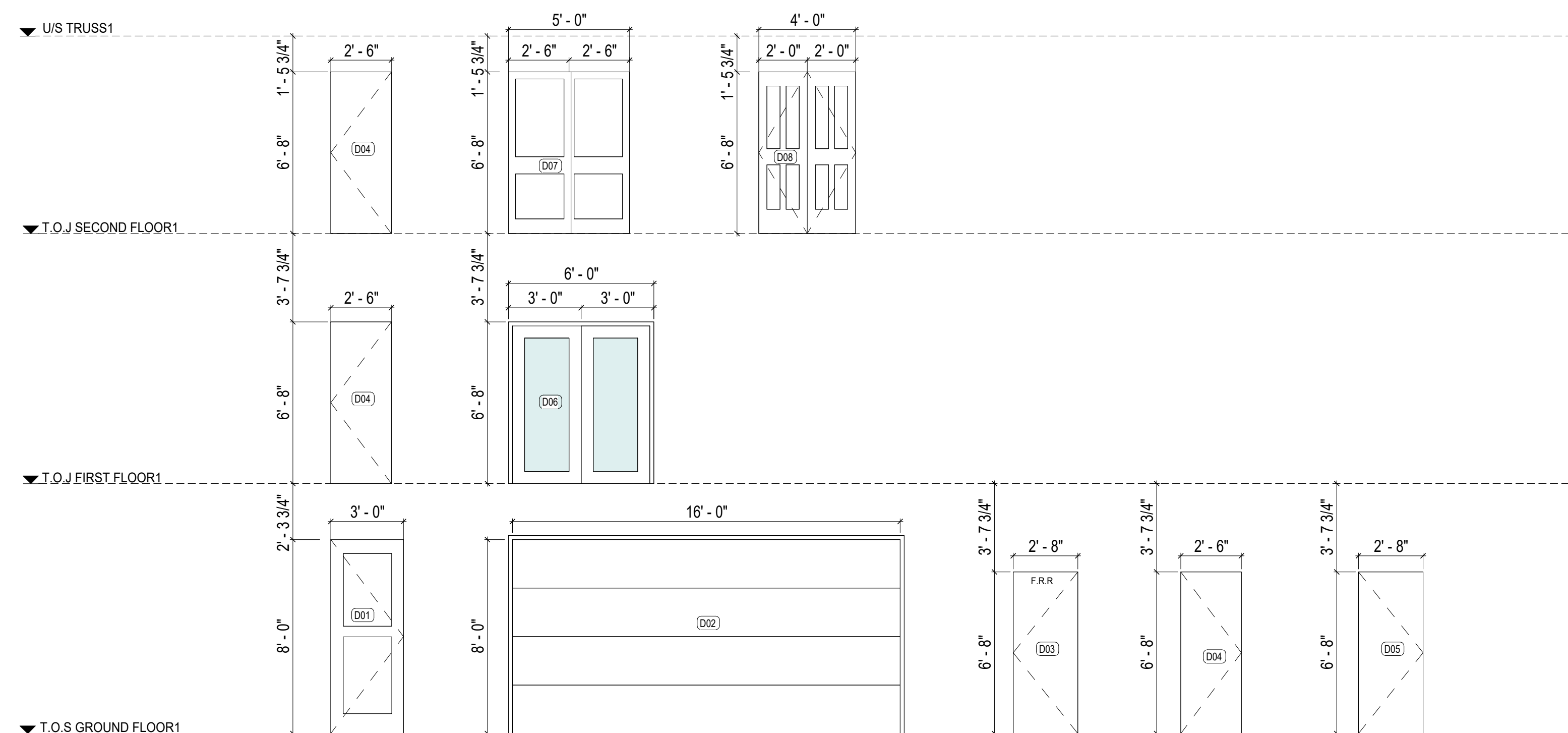
DATE:

25\_06\_14

SCALE: As indicated



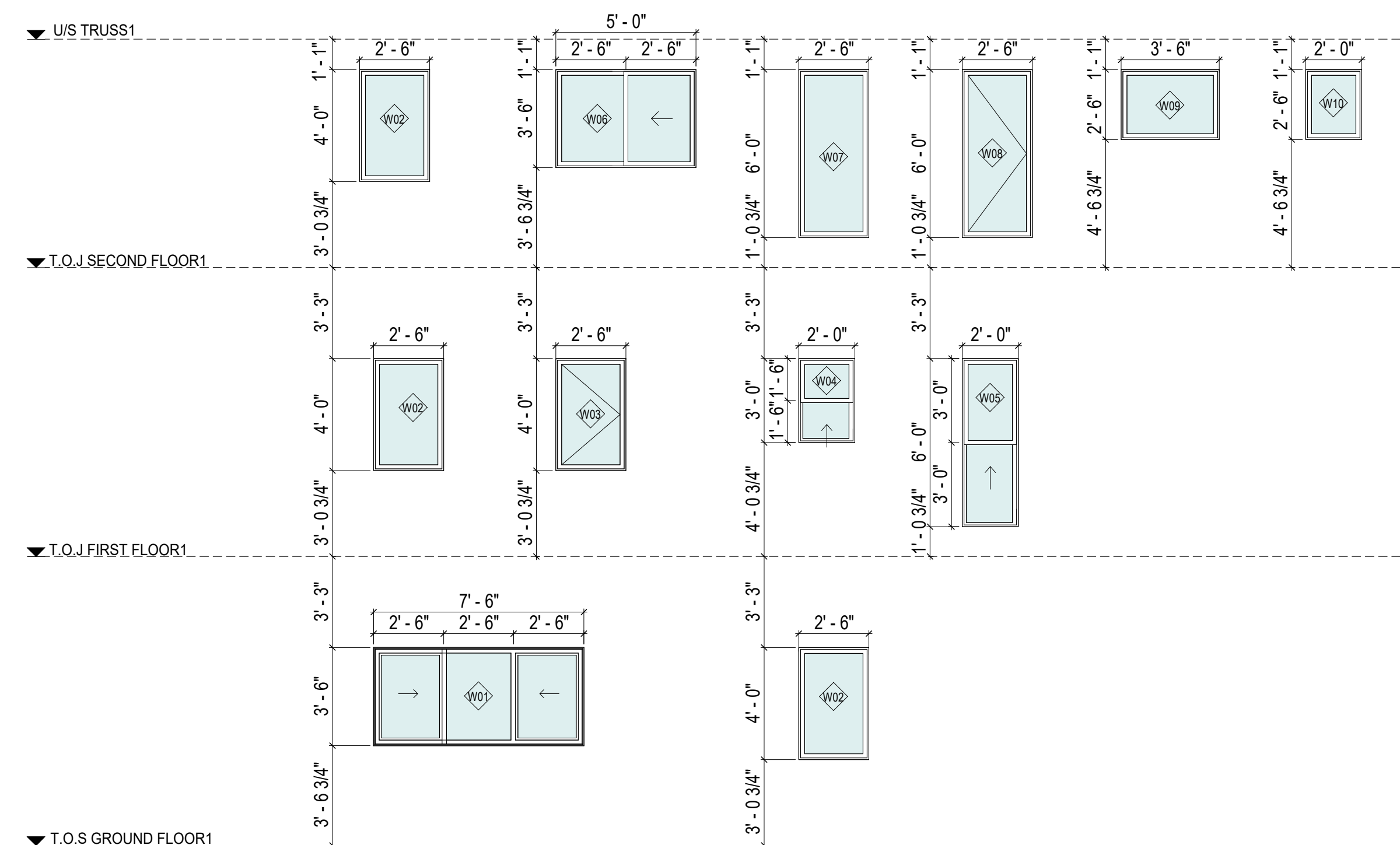
GARAGR DOOR CLOPAY MODERN  
STEEL W/ FULL GLAZING AND  
VERTICAL STACK



## 1 DOORS TYPES

$$1/4'' = 1'-0''$$

W08 :WILL BE (WOCD).



## WINDOWS TYPES

---

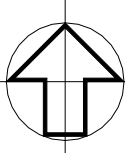
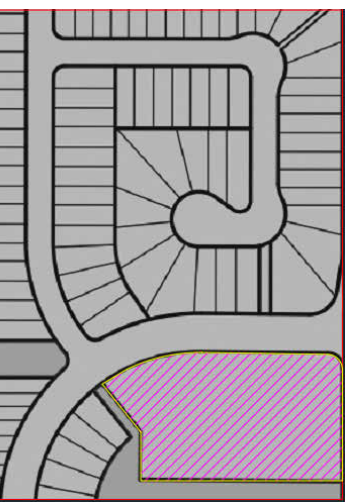
1/4" = 1'-0"



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### PLAN



ES

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CTIONS:

DATE	DESCRIPTION	DRAWN BY	CHKD BY
25_01_12	TRAFFIC REVIEW SCOPE	N.S/H.M/K.H	E.Z
25_03_10	DTR	H.H/M.M	E.Z
25_05_14	DTR 2	H.I/M.M	E.Z

IES:

DATE	DESCRIPTION	DRAWN BY	CH
------	-------------	----------	----

DATE	DESCRIPTION	DRAWN BY	CHECKED BY
24_10_07	DEVELOPMENT PERMIT	N.S/H.M/K.H	E
25_04_30	BUILDING PERMIT	Z.R	E

CLIENT :

**LUXURIA HOMES**  
**AIRDRIE, AB**

**SUBJECT NAME & ADDRESS :**

**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

WING SET :

## DEVELOPMENT PERMIT SET

WORKING TITLE :

## DOORS & WINDOWS TYPES

WING NO.

**A-056**

OWN BY:	CHECKED BY:	DATE:
---------	-------------	-------

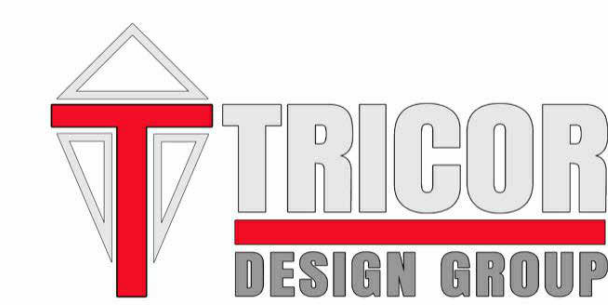
M/K.H/H.H/M.M/Z.R	E.Z/H.A/A.M	25_05_14
-------------------	-------------	----------

E:  $1/4'' = 1'-0''$





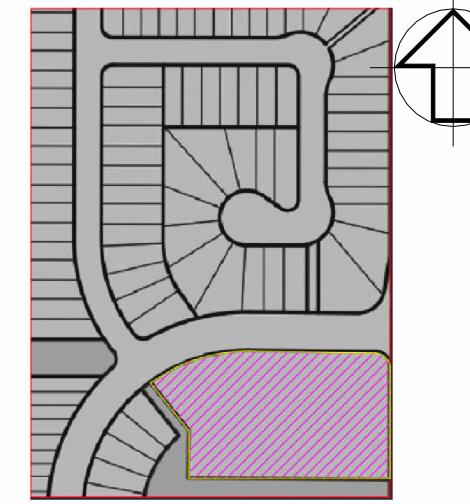
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING (5)

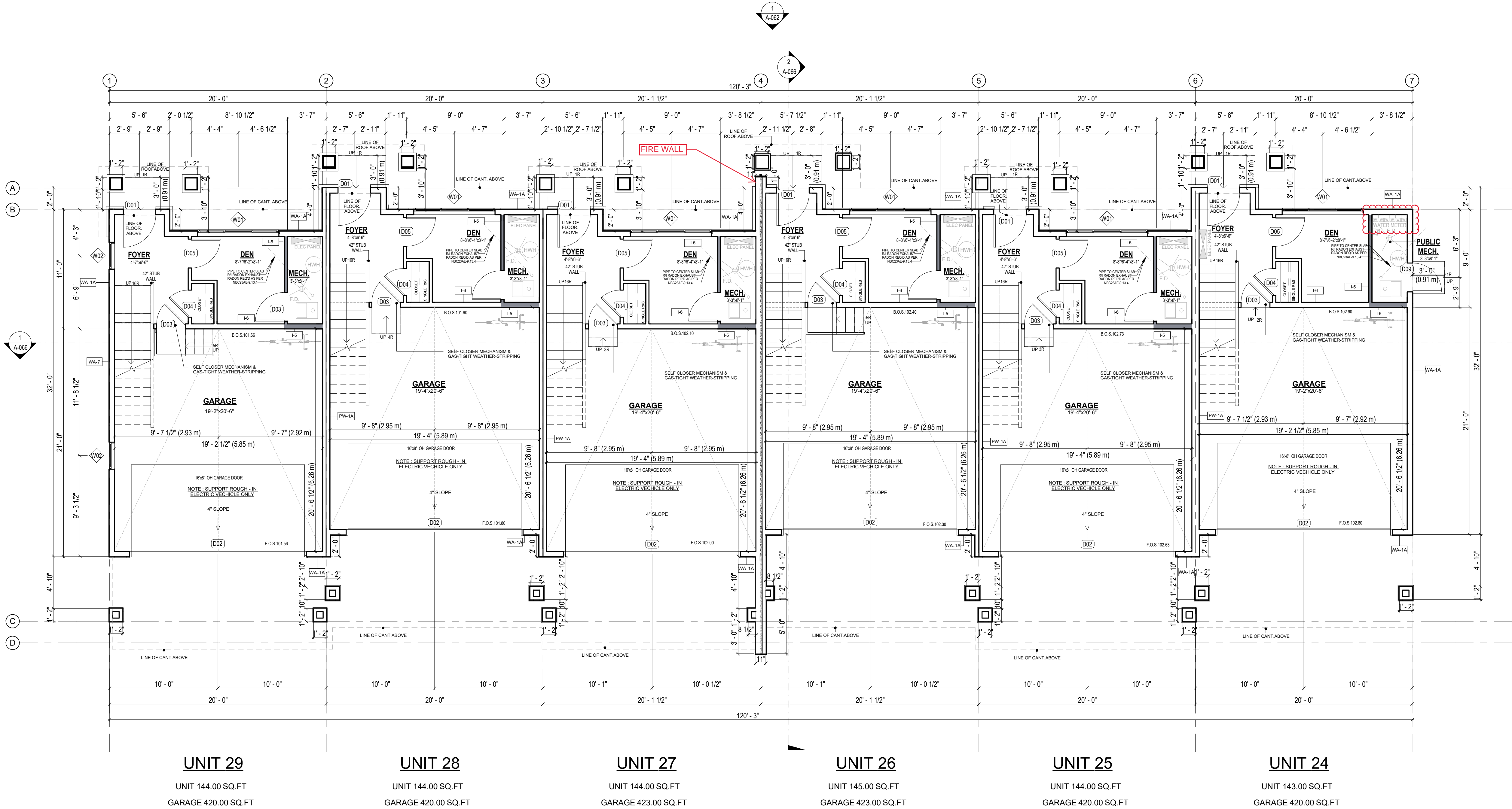
DRAWING NO.

A-057

DRAWN BY: N.S.K./H.H.M./H.E.Z./R.H./H.H.M./M  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_14  
SCALE:

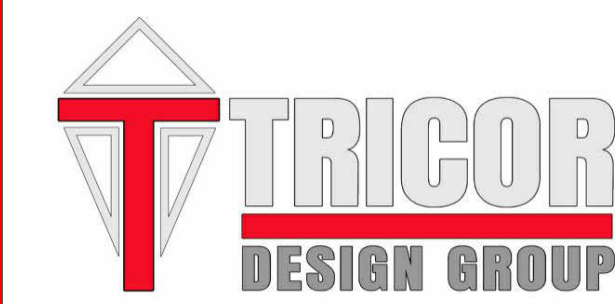


W08 :WILL BE (W0CD).  
GROUND FLOOR NOTE : (W0CD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN SILL HEIGHT  
AND OUTSIDE GRADE IS MORE  
THAN (72") , AND THE OPENING  
PORTION WINDOW IS LESS THAN  
(36") ,THAT WILL ALLOW THE  
WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

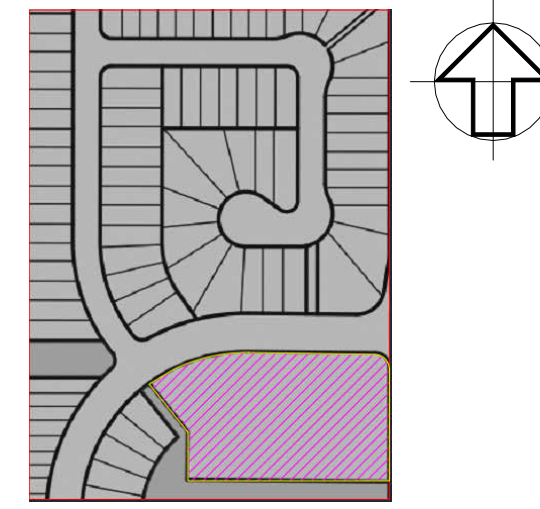
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./M
03	25_05_14	DTR 2	Z.R.	E.Z.H.A./M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./ K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING (5)

DRAWING NO.

A-058

DRAWN BY: N.S.K.H.H.M./ H.E.Z.R.H.H.H.M.M

CHECKED BY: E.Z.H.A./M

DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

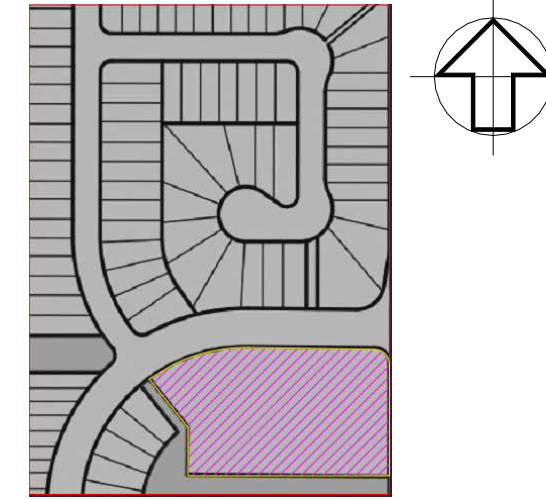
DESIGNED BY:



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KEY PLAN



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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	Z.R.	E.Z.A.M.
ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY	
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING (5)

DRAWING NO.

A-059

DRAWN BY:  
N.S.K.H.H.M.  
H.E.Z.Z.H.H.H.M.M.

CHECKED BY:  
E.Z.H.A./A.M.

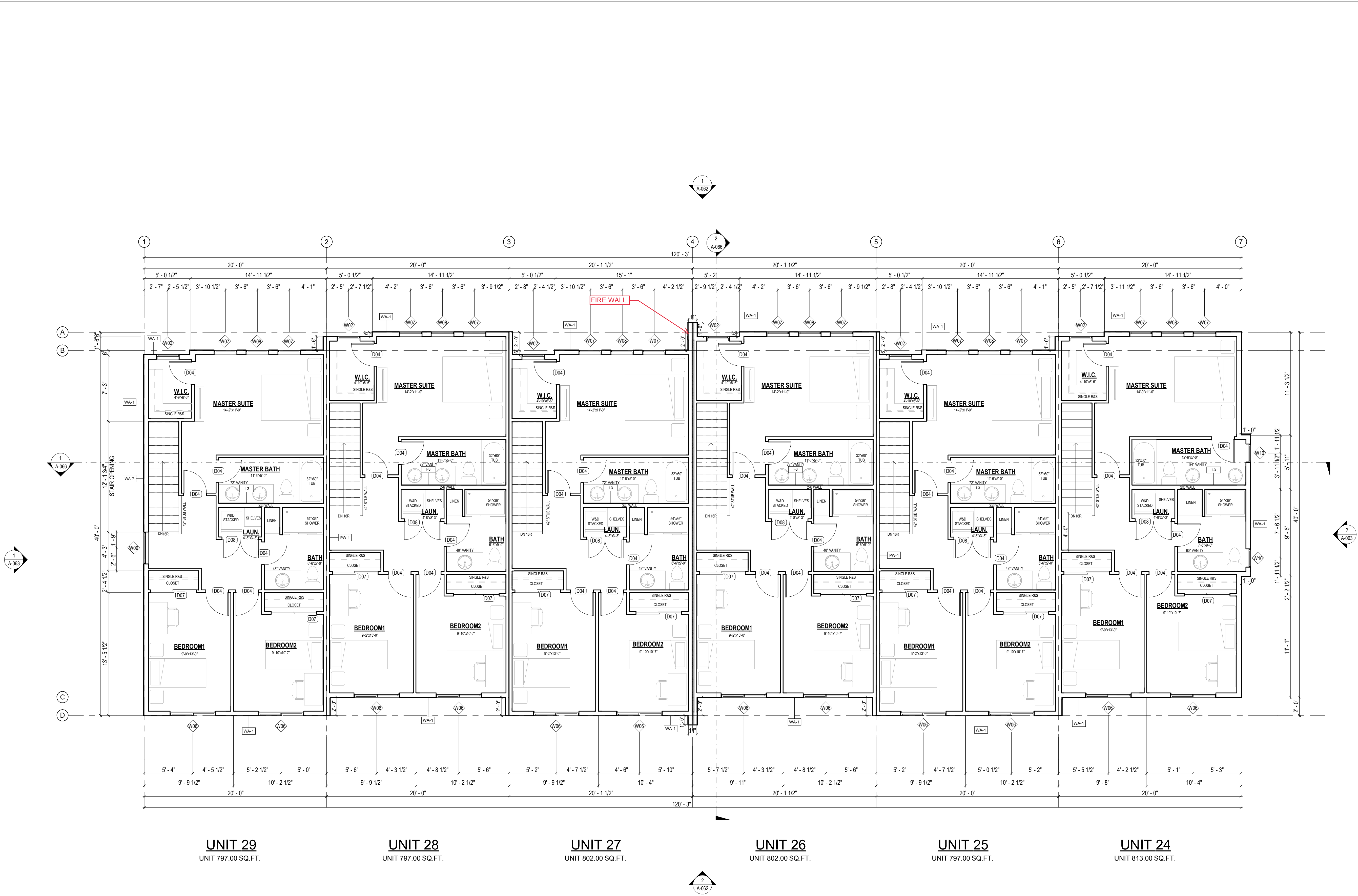
DATE:  
25\_06\_14

SCALE: 3/16" = 1'-0"



W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36"), THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



1 SECOND FLOOR PLAN  
3/16" = 1'-0"

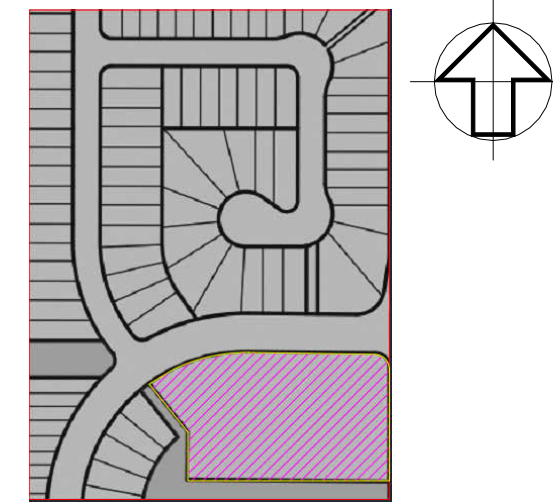
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3  
PHONE: (403)203-1970 FAX: (403)203-1990  
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M / K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING (5)

DRAWING NO.

A-060

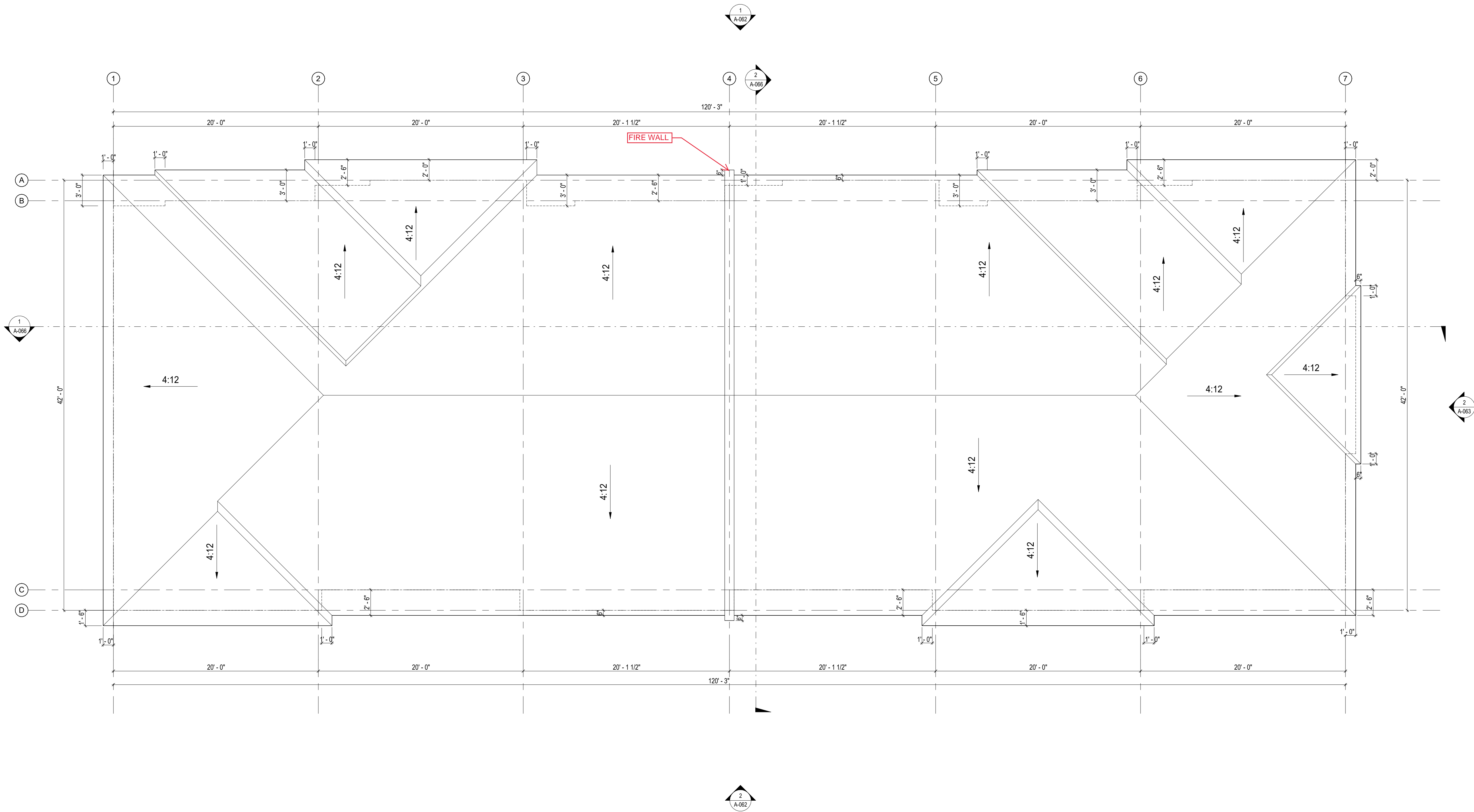
DRAWN BY:  
N.S.H.H.M /  
H.E.Z.Z.H.H.H.M.M

CHECKED BY:  
E.Z.H.A/M

DATE:  
25\_06\_14

SCALE: 3/16" = 1'-0"





1 ROOF FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:  
  
RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com  
#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3  
PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN

NOTES  
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REVISIONS:  

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02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z.I.A.M

ISSUES:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :  
LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :  
MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :  
DEVELOPMENT PERMIT SET

DRAWING TITLE :  
ROOF FLOOR PLAN  
BUILDING (5)

DRAWING NO.  
A-061

DRAWN BY: N.S.K.H.H.M/ H.E.Z.Z.H.H.H.M.M	CHECKED BY: E.Z.H.A/A.M	DATE: 25_05_14
--	----------------------------	-------------------

  
SCALE: 3/16" = 1'-0"



MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 : WILL BE (WOCD).

GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING

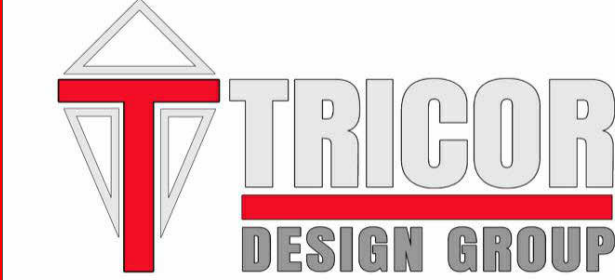


1 FRONT (SOUTH) ELEVATION  
3/16" = 1'-0"



2 REAR (NORTH) ELEVATION  
3/16" = 1'-0"

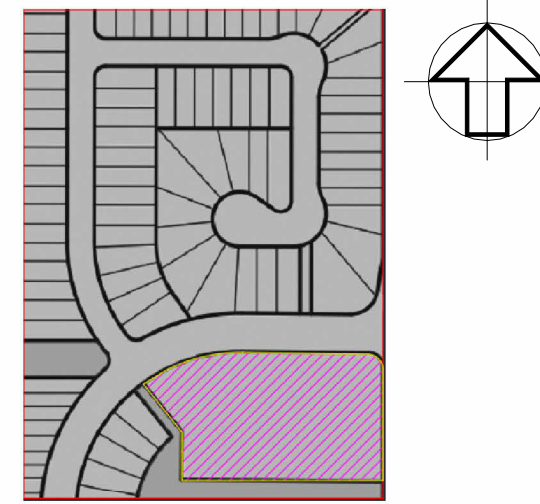
DESIGNED BY:



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tricordesigns.com

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	Z.R.	E.Z.H.A.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING (5)

DRAWING NO.

A-062

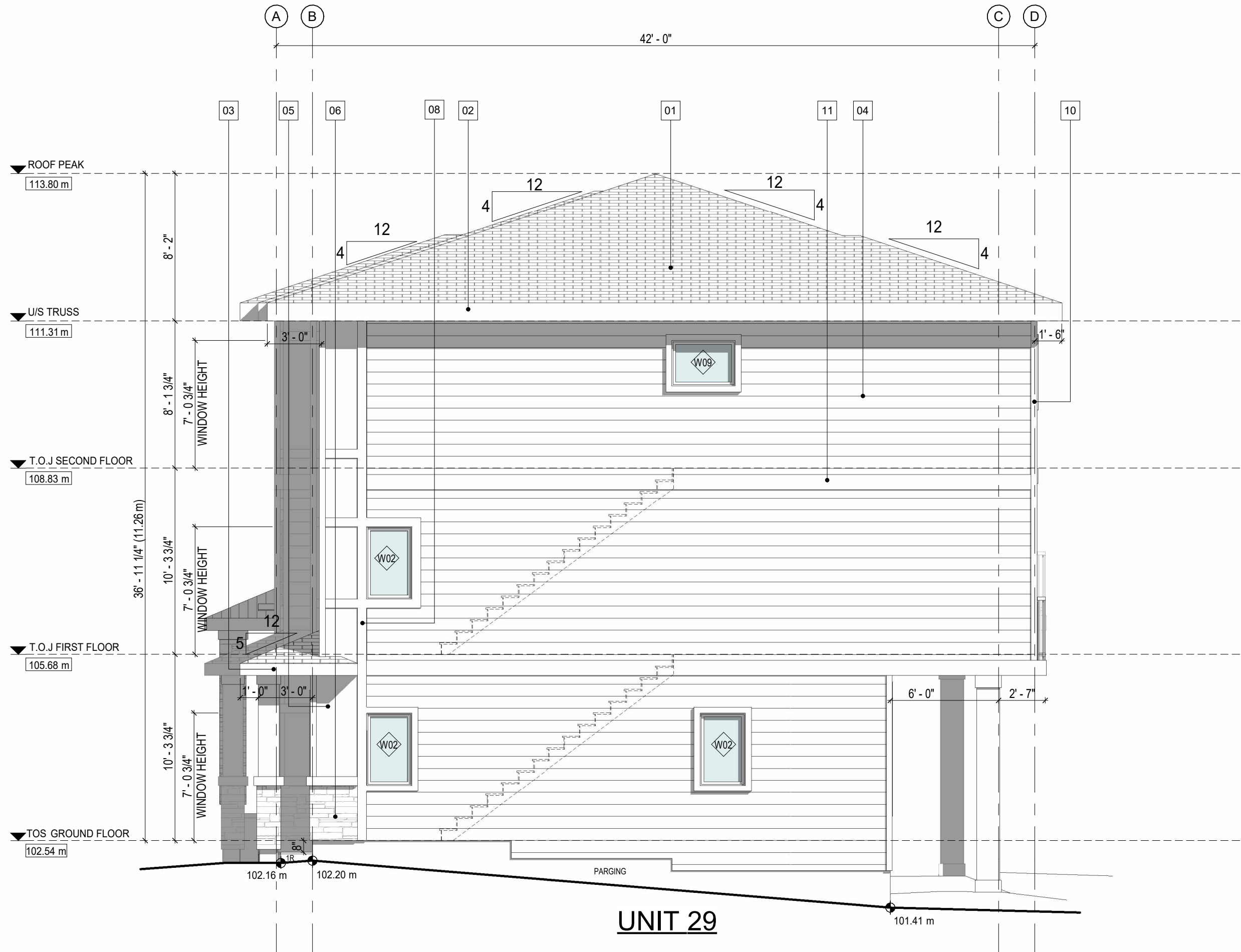
DRAWN BY: N.S.H.M./H.E.Z.Z.R.H.H.M.M.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"

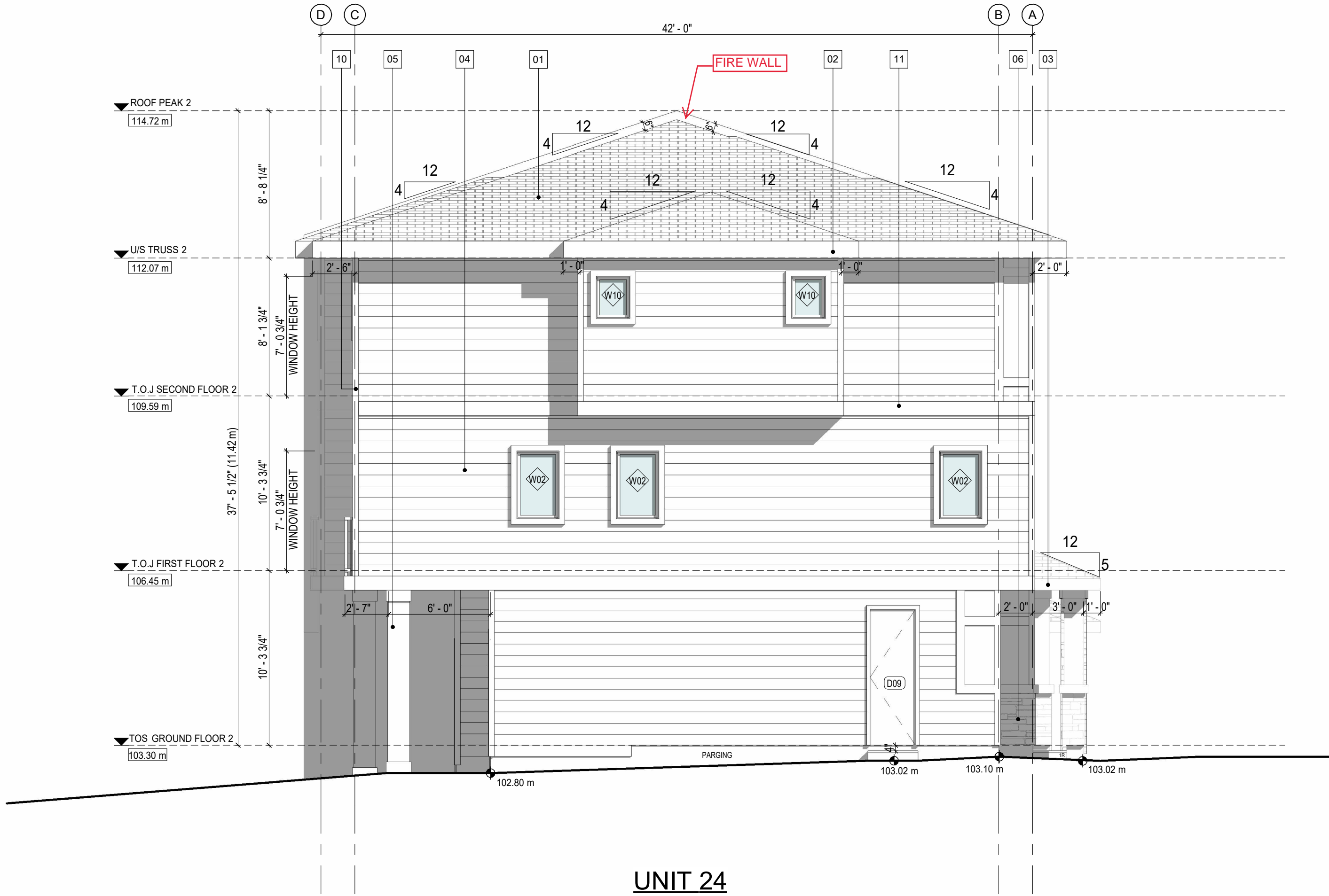


MATERIAL LEGEND	
NO.	NAME
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02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

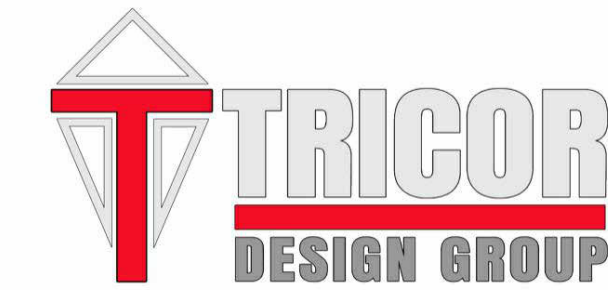


1 RIGHT (EAST) ELEVATION  
3/16" = 1'-0"



2 LEFT (WEST) ELEVATION  
3/16" = 1'-0"

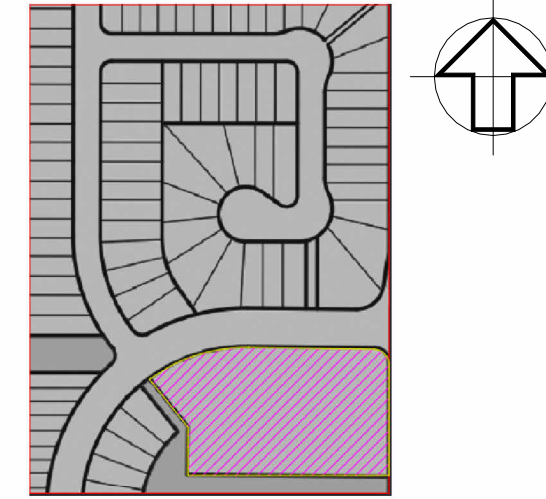
DESIGNED BY:



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02	25_03_24	DTR	H.H.M.M.M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	Z.R.	E.Z.A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING (5)

DRAWING NO.

A-063

DRAWN BY: N.S.K.H.H.M./H.E.Z.Z.H.H.H.H.M.M.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

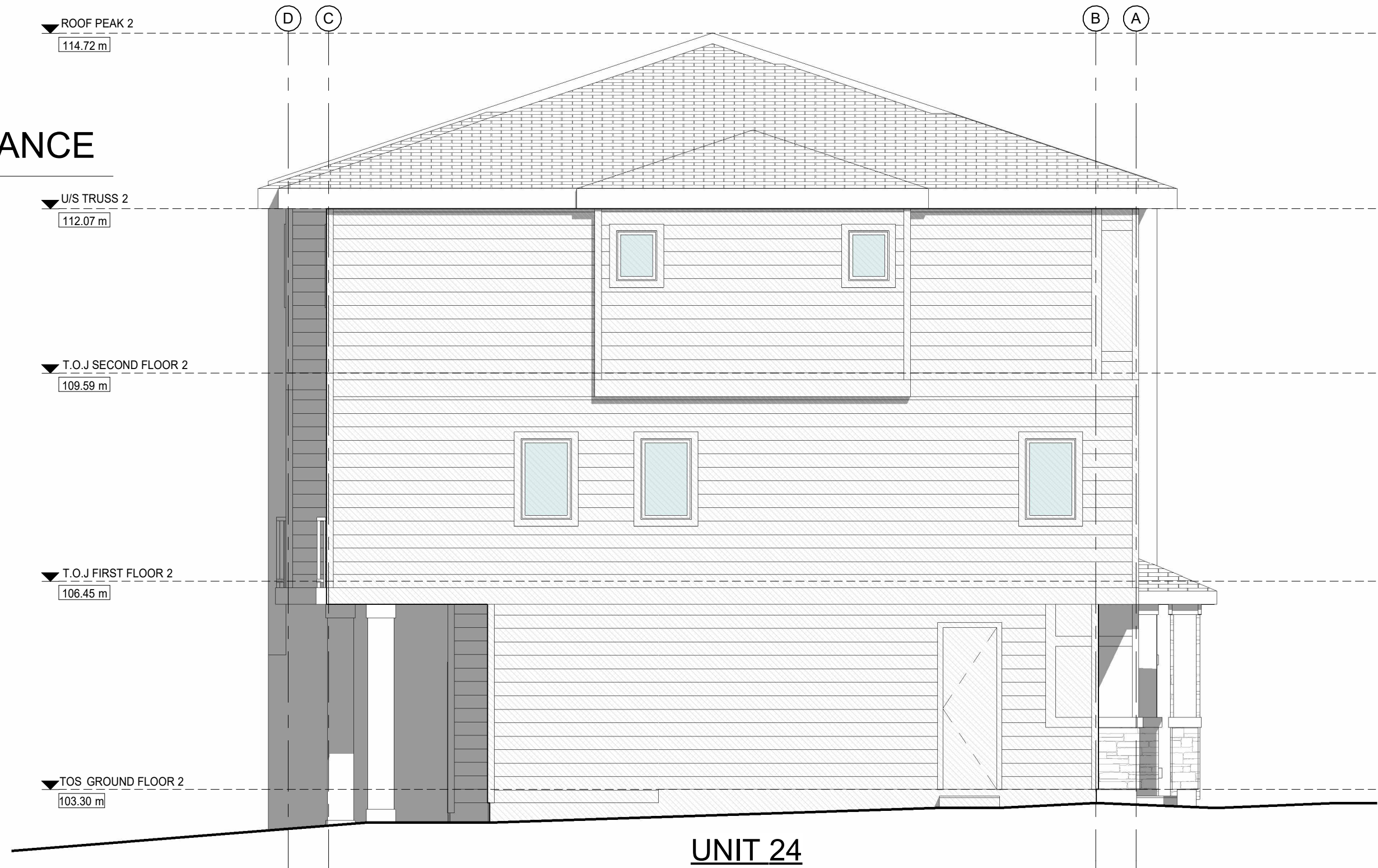
SCALE: 3/16" = 1'-0"





UNPROTECTED OPENINGS	UNIT 24		UNIT 25		UNIT 26		UNIT 27		UNIT 28		UNIT 29	
CODE CHECK EXPOSED BUILDING FACE	613 SQ.FT	56.94 SQ.M	569 SQ.FT	52.86 SQ.M	635 SQ.FT	58.95 SQ.M	569 SQ.FT	52.90 SQ.M	625 SQ.FT	58.10 SQ.M	592 SQ.FT	54.99 SQ.M
SETBACK	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	30.01%		35.2%		29.54%		35.19%		29.74%		38.91%	
SQ.FT.OF ALLOWED OPENING	183.94 SQ.FT	17.09 SQ.M	200.28 SQ.FT	18.61 SQ.M	187.44 SQ.FT	17.41 SQ.M	200.39 SQ.FT	18.62 SQ.M	186.00 SQ.FT	17.28 SQ.M	230.31 SQ.FT	21.40 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	91.97 SQ.FT	8.54 SQ.M	100.14 SQ.FT	9.30 SQ.M	93.72 SQ.FT	8.71 SQ.M	100.20 SQ.FT	9.31 SQ.M	93.00 SQ.FT	8.64 SQ.M	115.15 SQ.FT	10.70 SQ.M

1 FRONT (SOUTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 24	
CODE CHECK EXPOSED BUILDING FACE	1101 SQ.FT	102.28 SQ.M
SETBACK	42' - 6"	12.96 m
PERCENTAGE OF ALLOWED OPENINGS	63.88%	
SQ.FT.OF ALLOWED OPENING	703.25 SQ.FT	65.33 SQ.M
ACTUAL SQ.FT.OF OPENINGS	40.00 SQ.FT	3.72 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	351.62 SQ.FT	32.67 SQ.M

2 LEFT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

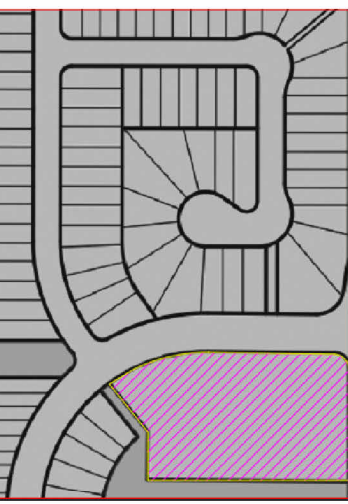
DESIGNED BY:



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tricordesigns.com

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PHONE: (403)203-1970 FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M/ K.H.H.E	E.Z.H.A
02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS(1)  
BUILDING (5)

DRAWING NO.

A-064

DRAWN BY:

N.S.K.H.H.M/  
H.E.Z.Z.H.H.H.M.M

CHECKED BY:

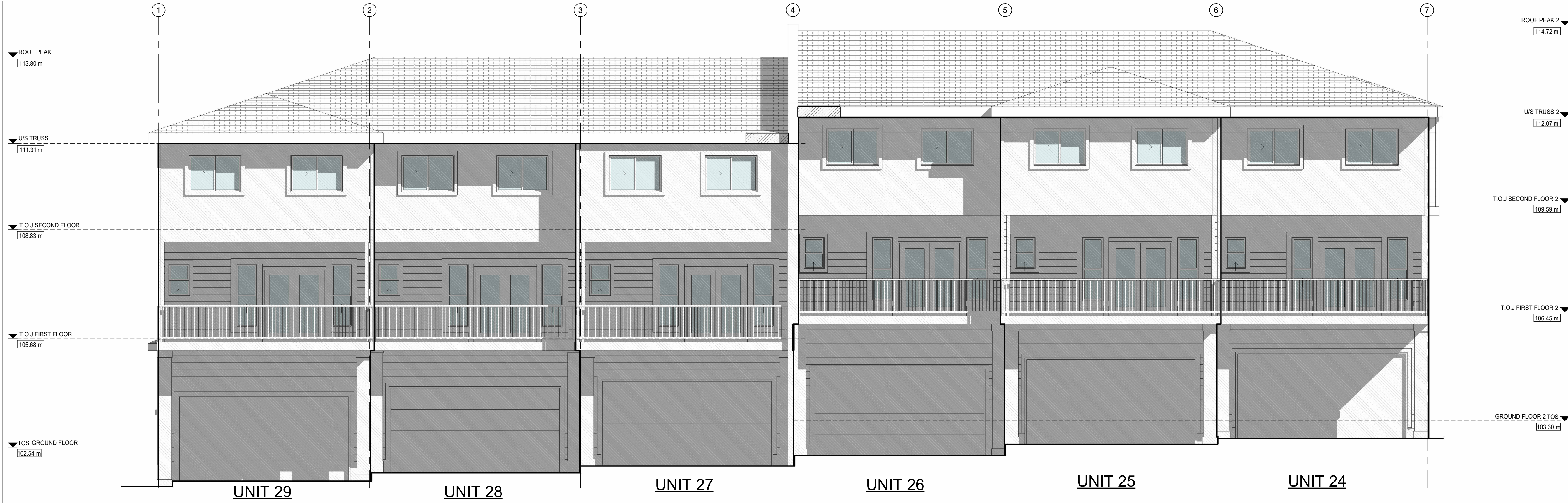
E.Z.H.A/A.M

DATE:

25\_06\_14

SCALE: 3/16" = 1'-0"






UNPROTECTED OPENINGS	UNIT 29		UNIT 28		UNIT 27		UNIT 26		UNIT 25		UNIT 24	
CODE CHECK EXPOSED BUILDING FACE	650 SQ.FT	60.37 SQ.M	605 SQ.FT	56.21 SQ.M	634 SQ.FT	58.87 SQ.M	625 SQ.FT	58.05 SQ.M	638 SQ.FT	59.32 SQ.M	602 SQ.FT	55.96 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m	15' - 1"	4.60 m	13' - 11"	4.24 m
PERCENTAGE OF ALLOWED OPENINGS	44.73%		50.58%		45.31%		49.8%		34.11%		30.1%	
SQ.FT.OF ALLOWED OPENING	290.64 SQ.FT	27.00 SQ.M	306.04 SQ.FT	28.43 SQ.M	287.13 SQ.FT	26.68 SQ.M	311.15 SQ.FT	28.91 SQ.M	217.78 SQ.FT	20.23 SQ.M	181.32 SQ.FT	16.85 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	145.32 SQ.FT	13.50 SQ.M	153.02 SQ.FT	14.22 SQ.M	143.56 SQ.FT	13.34 SQ.M	155.58 SQ.FT	14.45 SQ.M	108.89 SQ.FT	10.12 SQ.M	90.66 SQ.FT	8.42 SQ.M

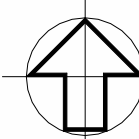
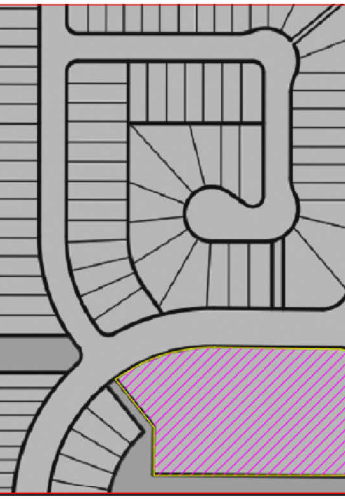
1 REAR (NORTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



UNPROTECTED OPENINGS	UNIT 29	
CODE CHECK EXPOSED BUILDING FACE	1143 SQ.FT	106.18 SQ.M
SETBACK	4' - 1"	1.25 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	80.00 SQ.FT	7.43 SQ.M
ACTUAL SQ.FT.OF OPENINGS	38.75 SQ.FT	3.60 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	40.00 SQ.FT	3.72 SQ.M

2 RIGHT (EAST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

DESIGNED BY:  
  
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tricordesigns.com  
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02	25_03_24	DTR	H.H.M.M.M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	Z.R	E.Z.A.M

ISSUES:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M / K.H.H.E	E.Z.H.A

THE CLIENT :  
LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :  
MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :  
DEVELOPMENT PERMIT SET

DRAWING TITLE :  
UNPROTECTED OPENINGS(2)  
BUILDING (5)

DRAWING NO.  
A-065

DRAWN BY:  
N.S.H.M / K.H.H.M  
H.E.Z.Z.H.M / H.H.M.M

CHECKED BY:  
E.Z.H.A/A.M

DATE:  
25\_06\_14

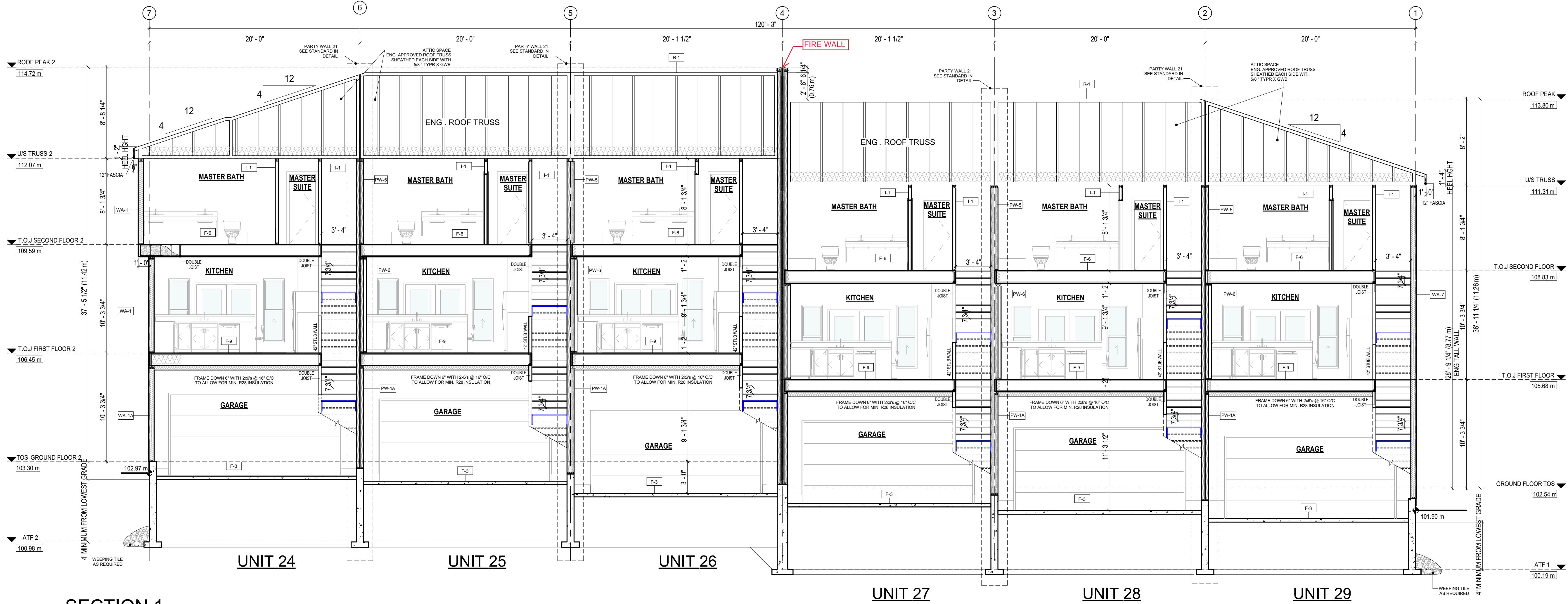
SCALE: 3/16" = 1'-0"



NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

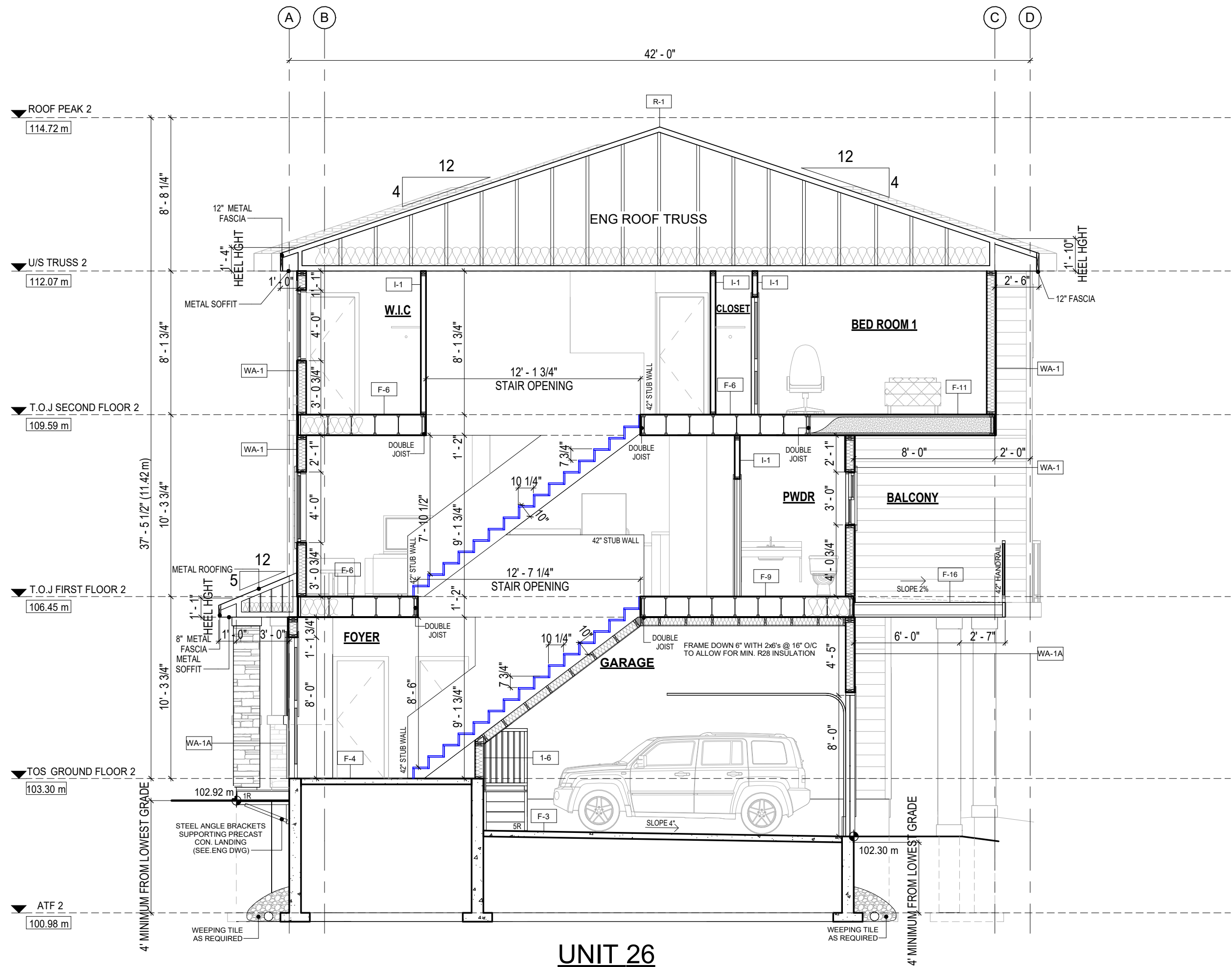
ATF LEVEL IS 4" MINIMUM FROM  
LOWEST GRADE



1

SECTION 1

3/16" = 1'-0"

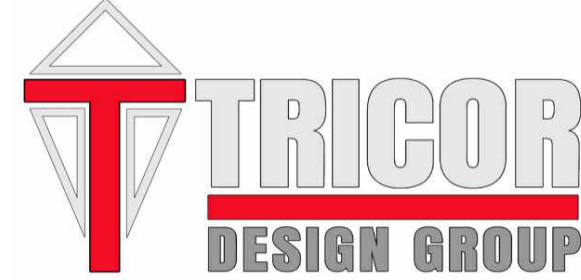


2

SECTION 2

3/16" = 1'-0"

DESIGNED BY:

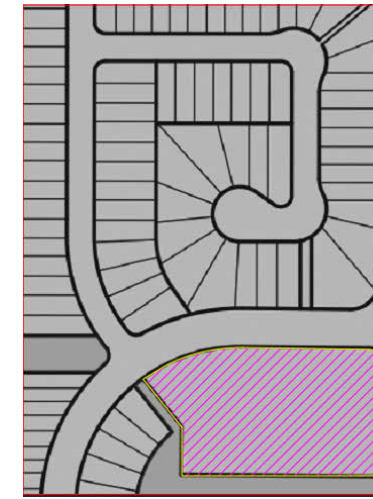


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03	25_05_14	DTR 2	Z.R. E.Z.H.A

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
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THE CLIENT:

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS:

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

SECTION 1 & SECTION 2  
BUILDING (5)

DRAWING NO.

A-066

DRAWN BY:

CHECKED BY:

DATE:

N.S.H.M./K.H.H.E.

E.Z.H.A/A.M

25\_06\_14

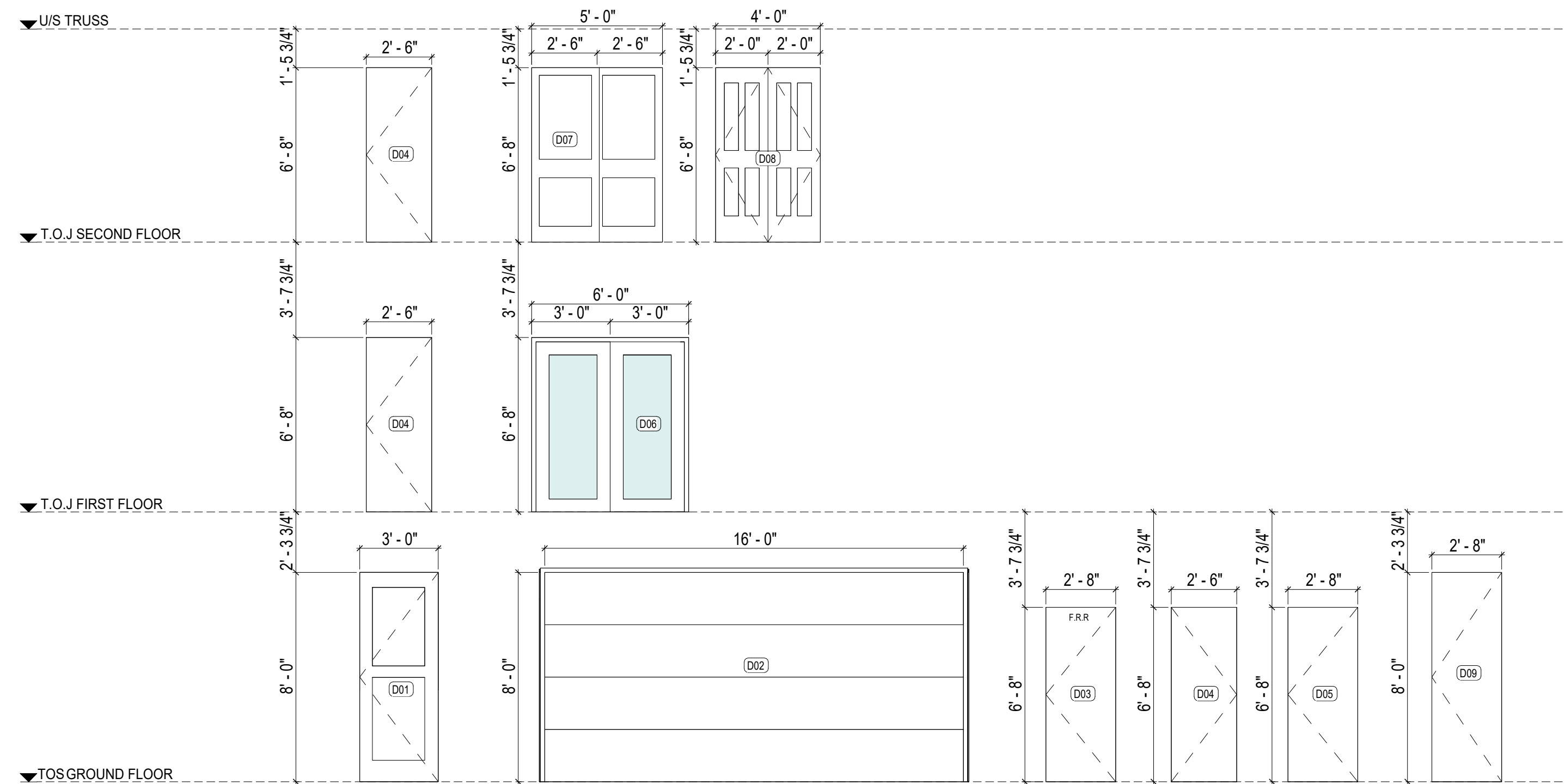
SCALE: 3/16" = 1'-0"





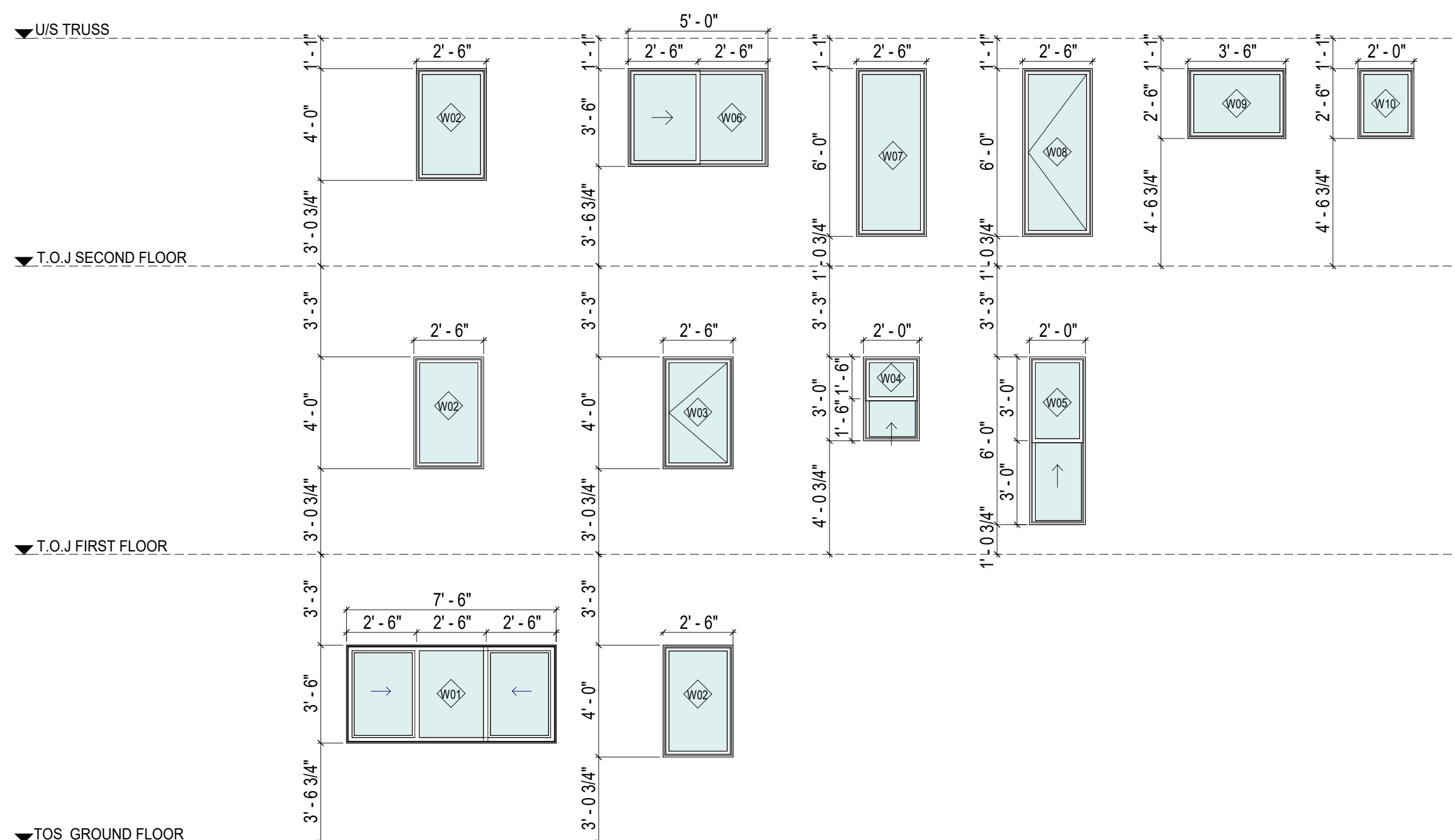


GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING

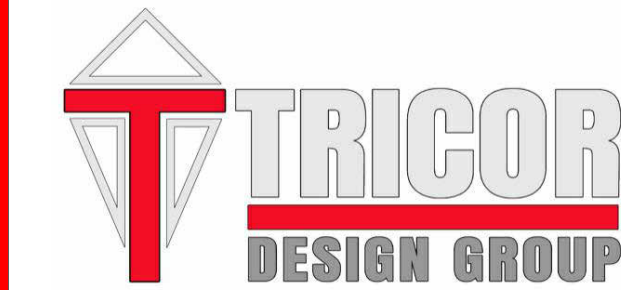


## 1 DOORS TYPES

W08 :WILL BE (WOCD).



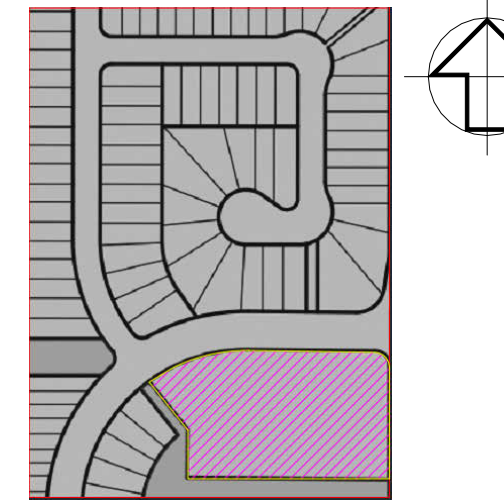
## 2 WINDOWS TYPES



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## KEY PLAN



NOTES

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N S/H/M K H/H/E	E Z/H/A
02	25_03_24	DTR	H/H/M/M/R	E Z/H/A/I
03	25_05_14	DTR 2	Z R	E Z/H/A/M

## ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M/ K.H.H.E	E.Z.H.A

**THE CLIENT :**

**LUXURIA HOMES**  
**AIRDRIE, AB**

PROJECT NAME &amp; ADDRESS :

**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

## DOORS AND WINDOWS TYPES BUILDING (5)

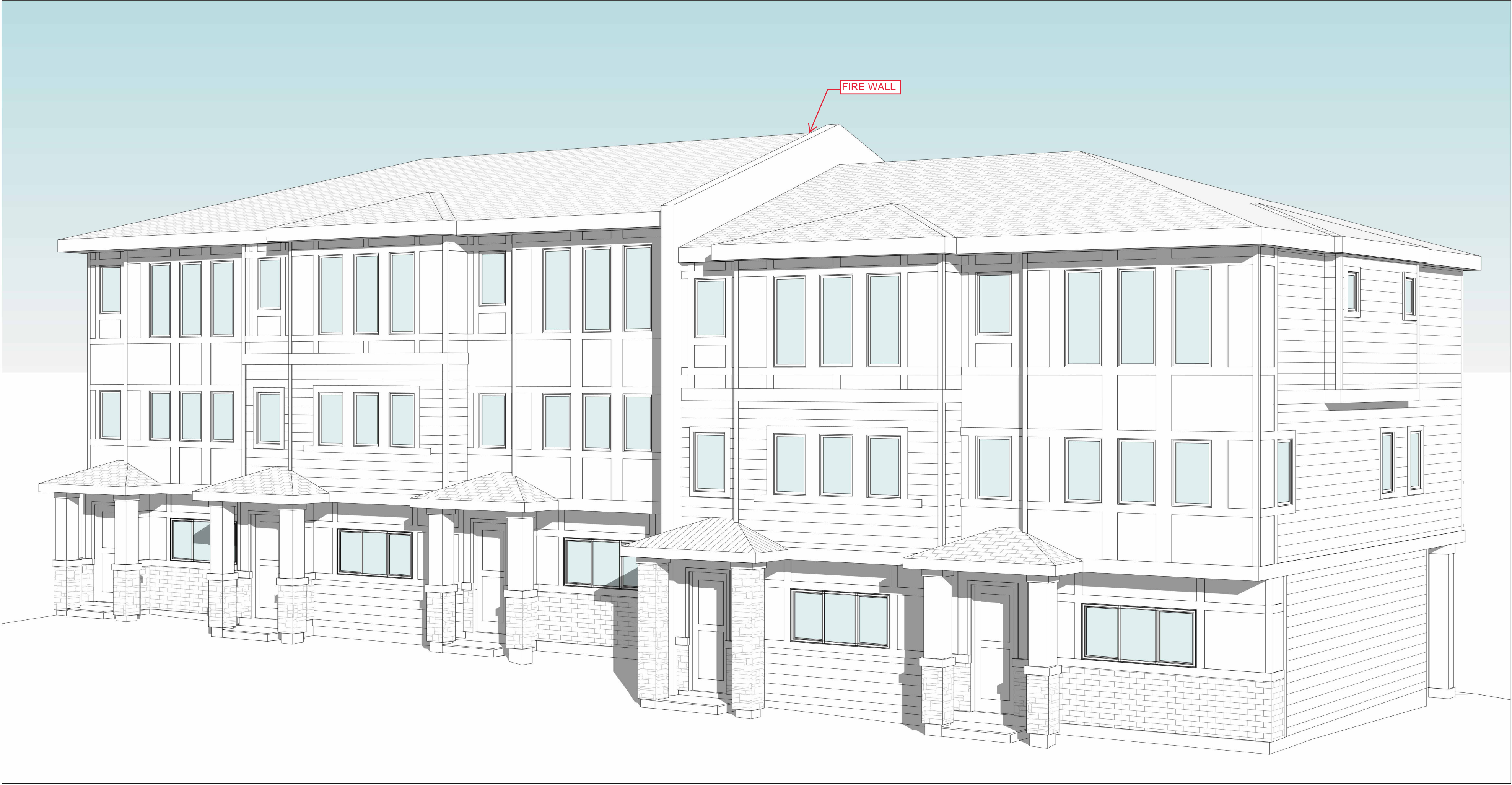
DRAWING NO.

**A-068**

DRAWN BY: N.S./K.H./H.M/	CHECKED BY: E.Z/H.A/A.M	DATE: 25.05.14
-----------------------------	----------------------------	-------------------

SCALE: 1/4" = 1'-0"





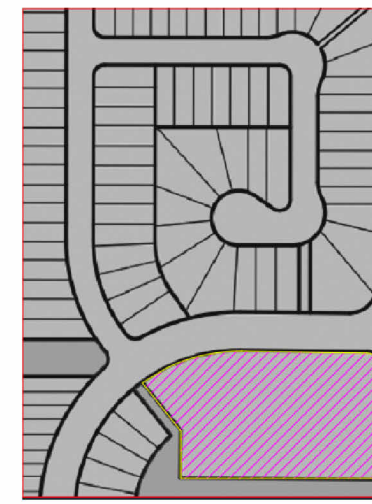
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE. PHONE: (403)203-1970  
CALGARY, AB. FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S. H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

**LUXURIA HOMES  
AIRDRIE ,AB**

PROJECT NAME & ADDRESS :

**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :

**DEVELOPMENT PERMIT SET**

DRAWING TITLE :

**3D VIEWS  
BUILDING 6**

DRAWING NO.

**A-069**

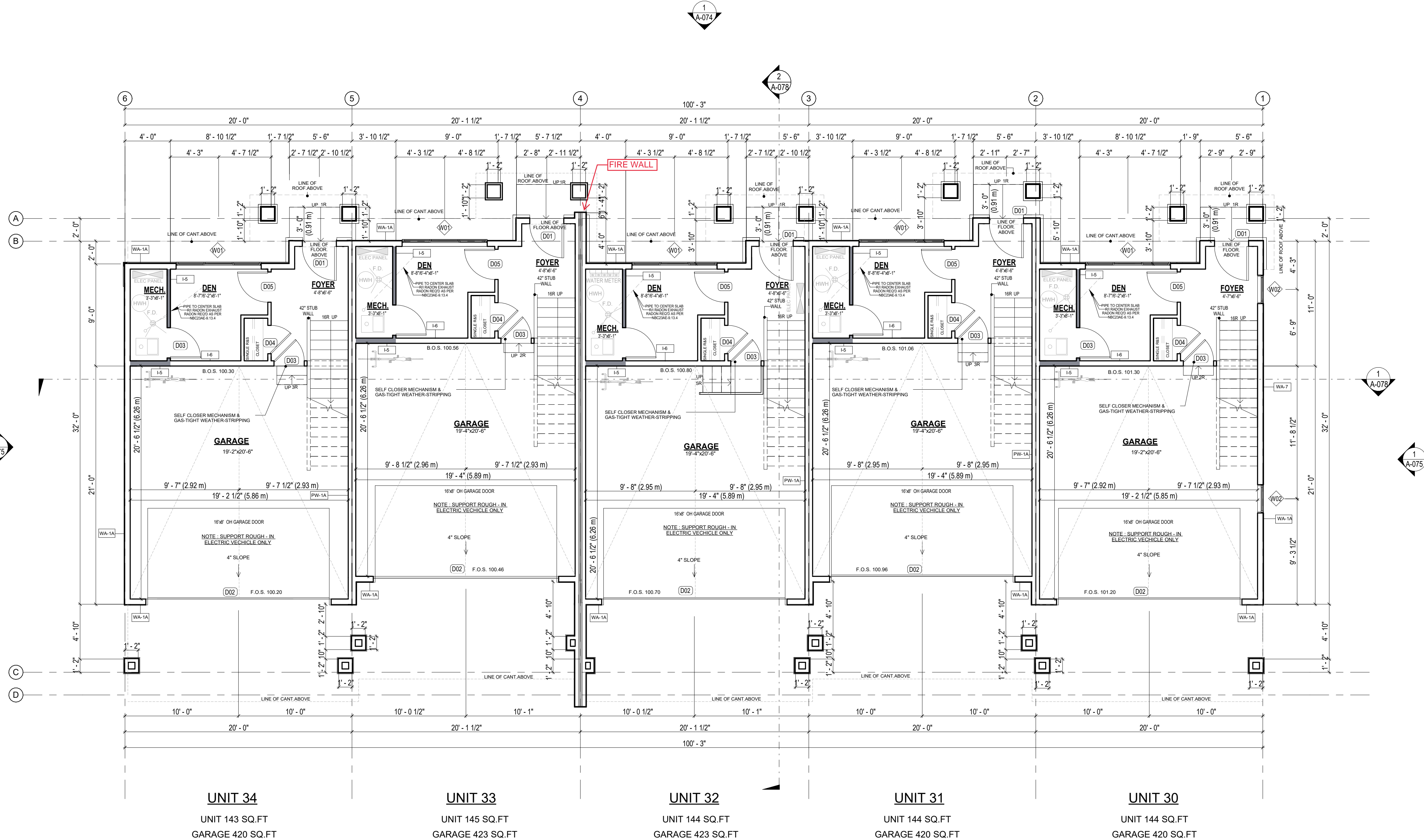
DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E/H.H.M.M. CHECKED BY: E.Z.H.A/A.M. DATE: 25\_06\_14

SCALE:



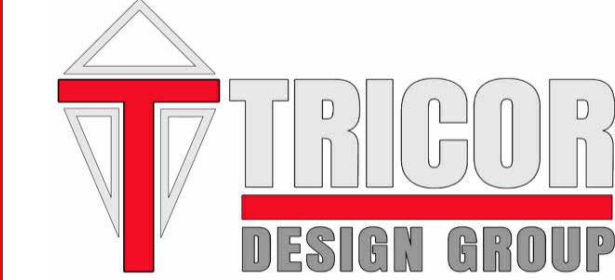
W8 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN SILL HEIGHT AND OUTSIDE GRADE IS MORE THAN (72") , AND THE OPENING PORTION WINDOW IS LESS THAN (36") ,THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 GROUND FLOOR PLAN  
3/16" = 1'-0"

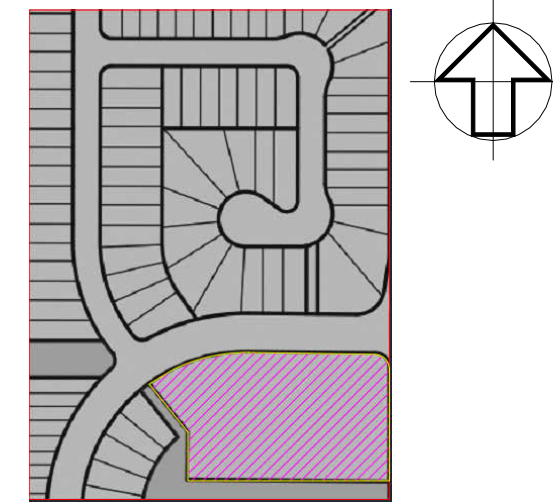
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING 6

DRAWING NO.

A-070

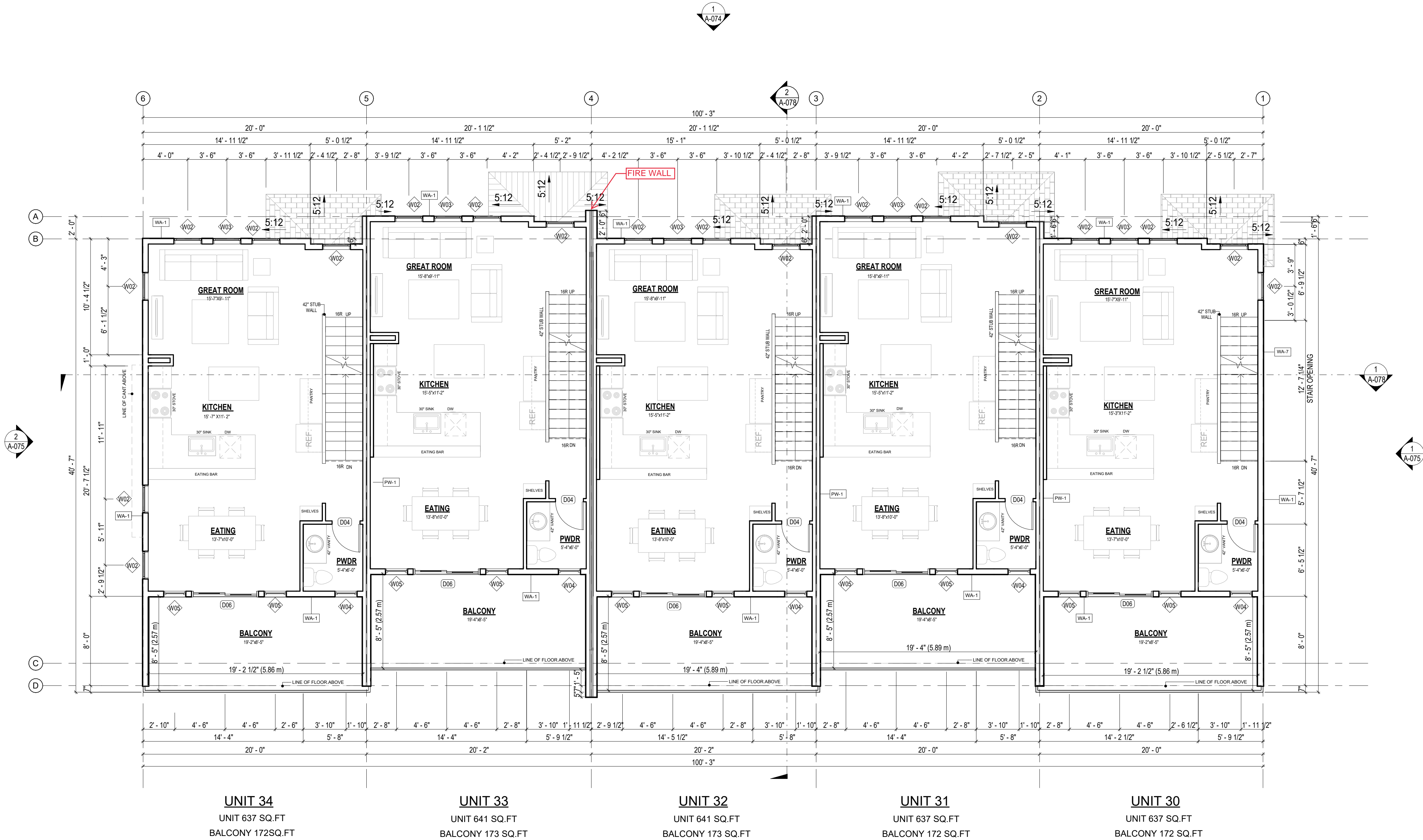
DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H.H.M.  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



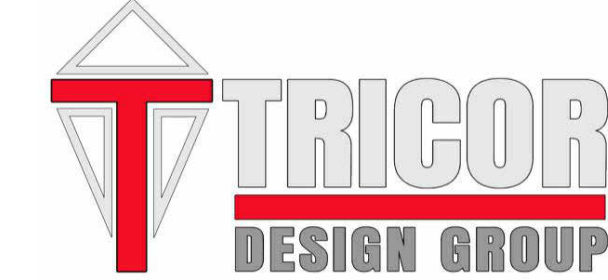
W8 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

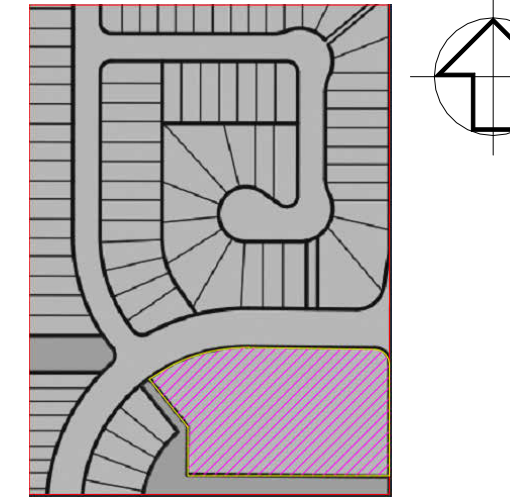
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T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E. E.Z.H.A
02	25_03_27	DTR	H.H.E.M. E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M. E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E. E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A. E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING 6

DRAWING NO.

A-071

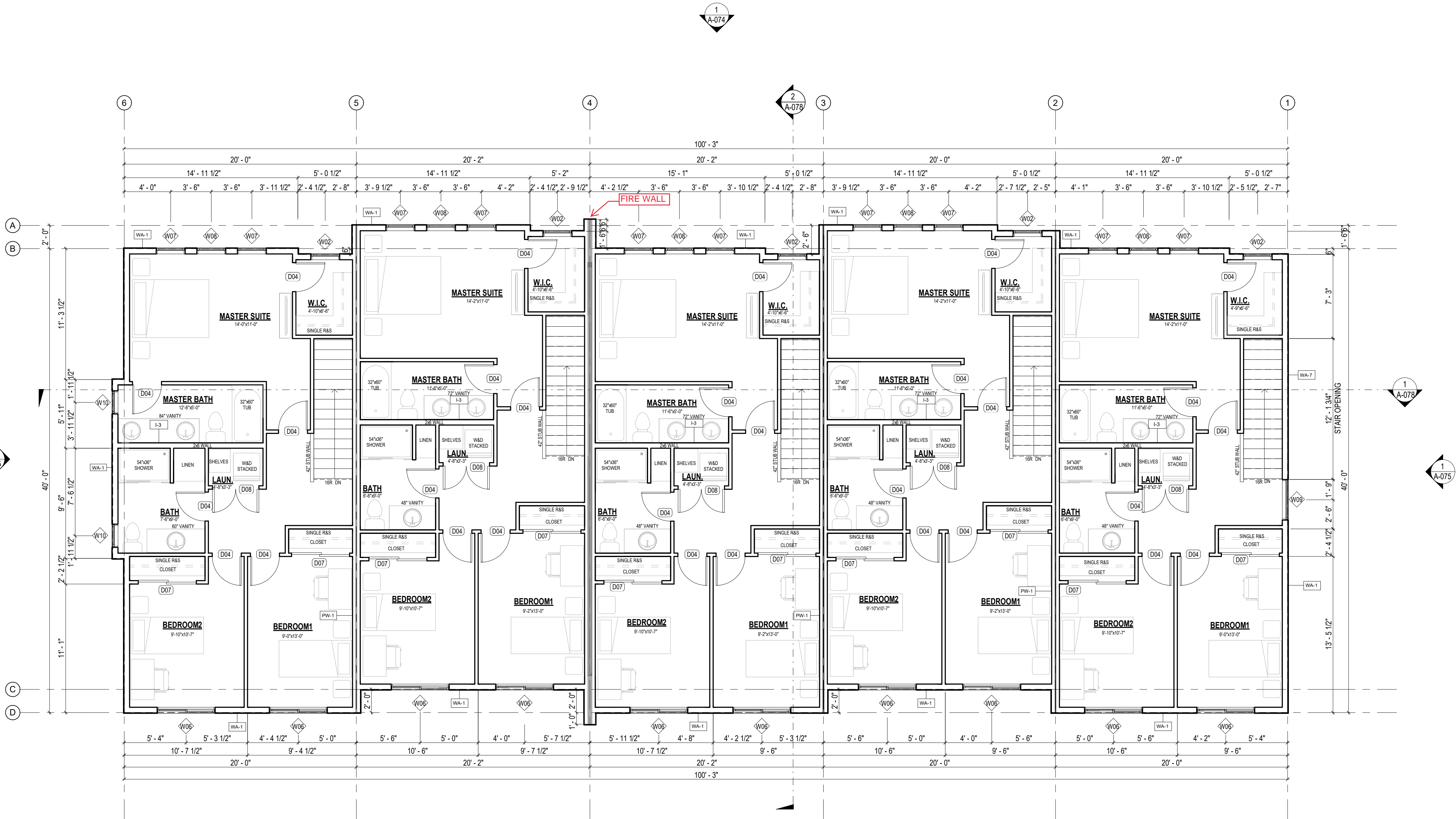
DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H.M.M. CHECKED BY: E.Z.H.A/A.M. DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



W8 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



UNIT 34  
UNIT 813 SQ.FT

UNIT 33  
UNIT 802 SQ.FT

UNIT 32  
UNIT 802 SQ.FT

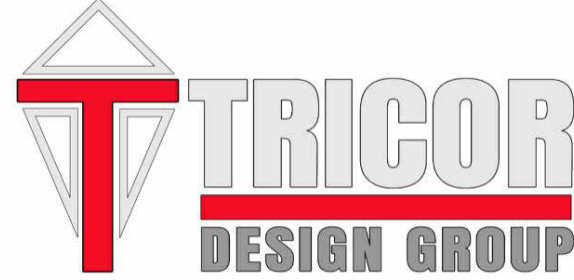
UNIT 31  
UNIT 797 SQ.FT

UNIT 30  
UNIT 797 SQ.FT

## 1 SECOND FLOOR PLAN

3/16" = 1'-0"

DESIGNED BY:

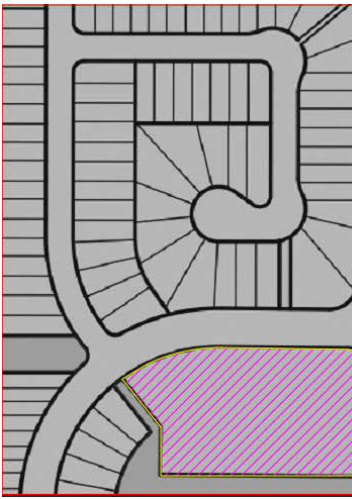


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T2E 6K3

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FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	N.S.M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING 6

DRAWING NO.

A-072

DRAWN BY:

N.S.K.H.S.S./

H.I.Z.R.H.E./H.M.M.

CHECKED BY:

E.Z.H.A./A.M.

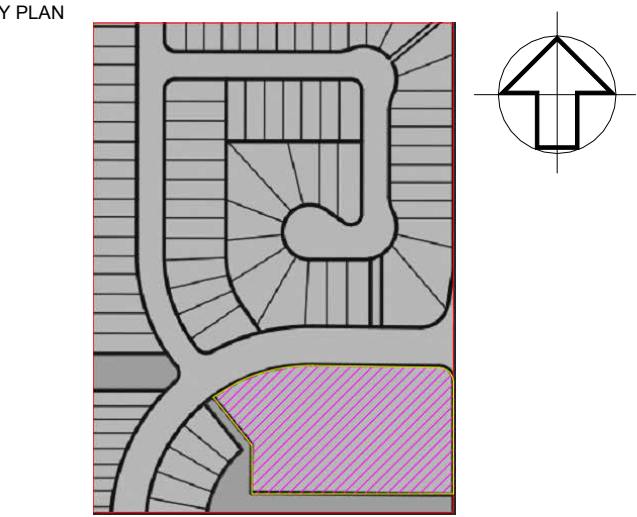
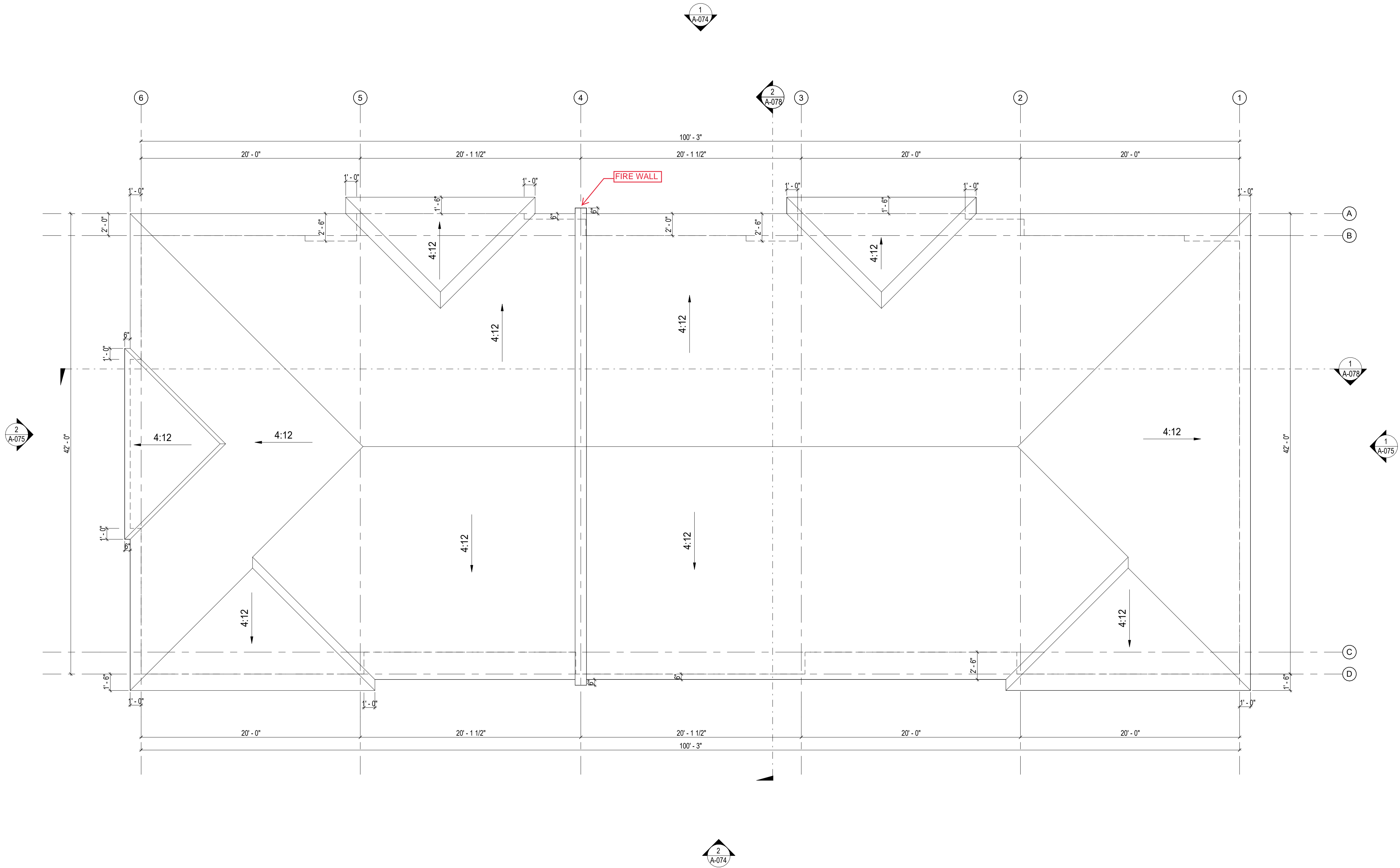
DATE:

25\_06\_14

SCALE: 3/16" = 1'-0"



1 ROOF FLOOR PLAN  
3/16" = 1'-0"



NOTES

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M	E.Z.H.A./A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A./A.M
ISSUES:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A.

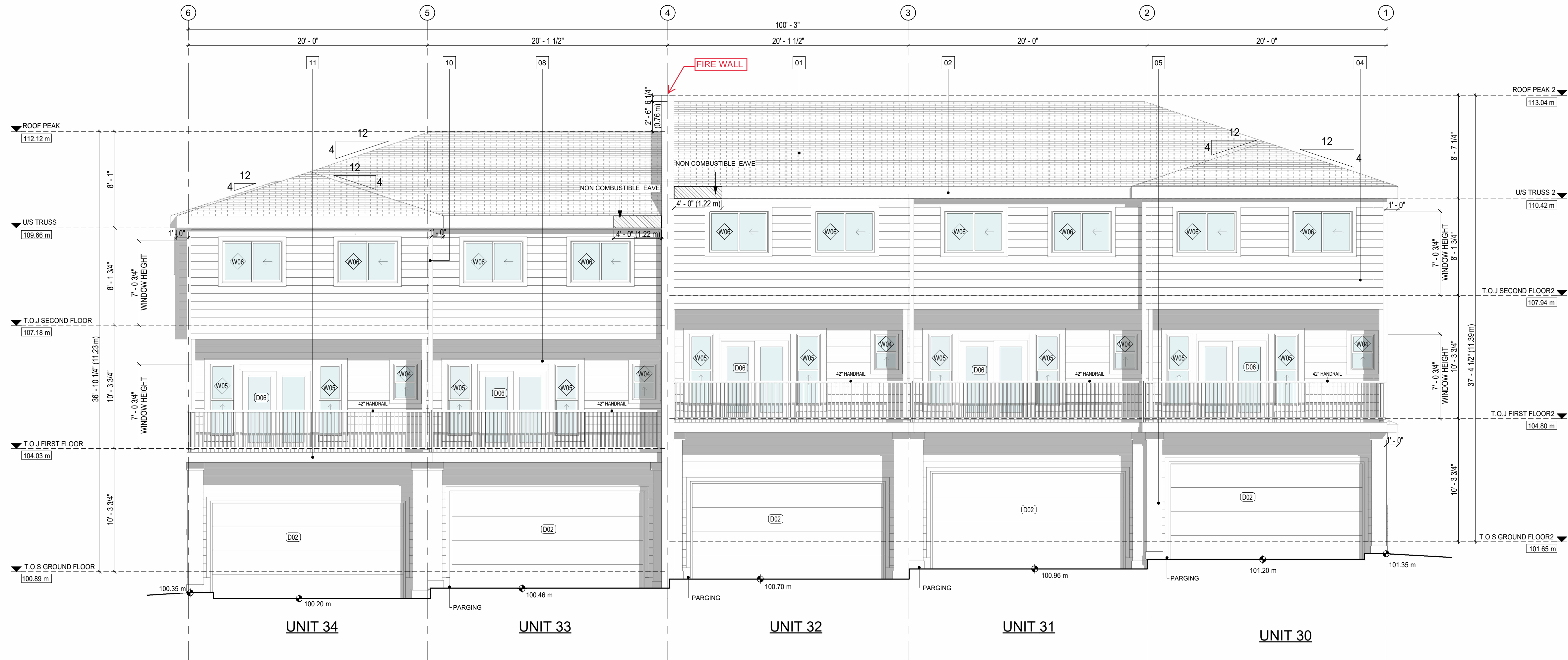


MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - VINYL
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"
20	STONE CAP

W08 :WILL BE (WOCD).  
GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING

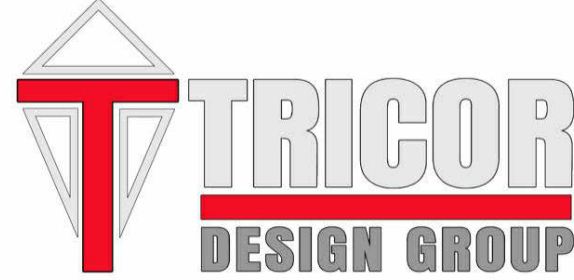


1 FRONT (SOUTH) ELEVATION  
3/16" = 1'-0"



2 REAR (NORTH)ELEVATION  
3/16" = 1'-0"

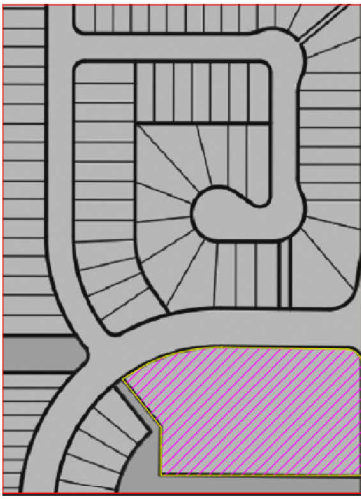
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	N.S.I.M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING 6

DRAWING NO.

A-074

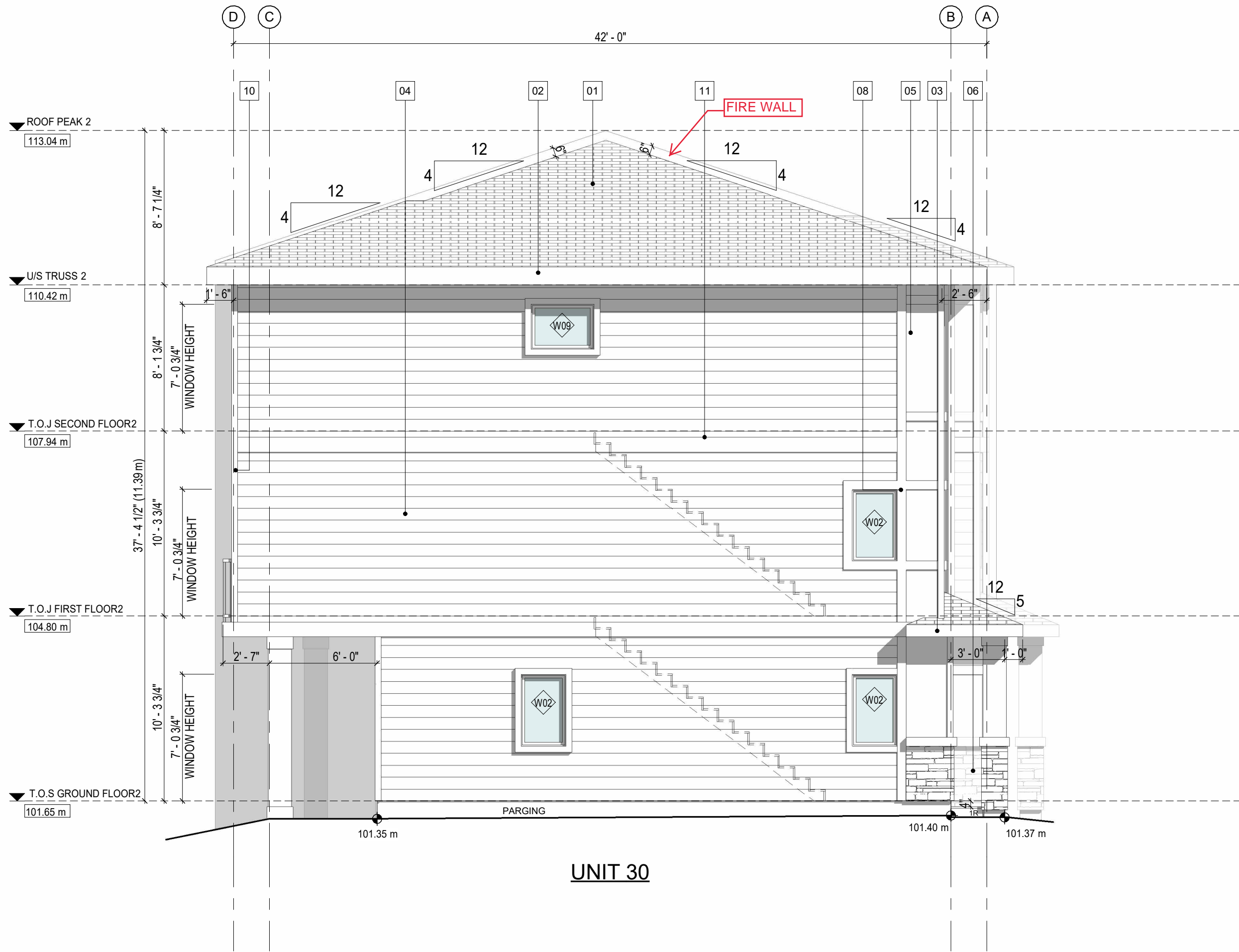
DRAWN BY: N.S.K/H.S.S./H.I.Z.R.H.E./H.H.M.M.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"

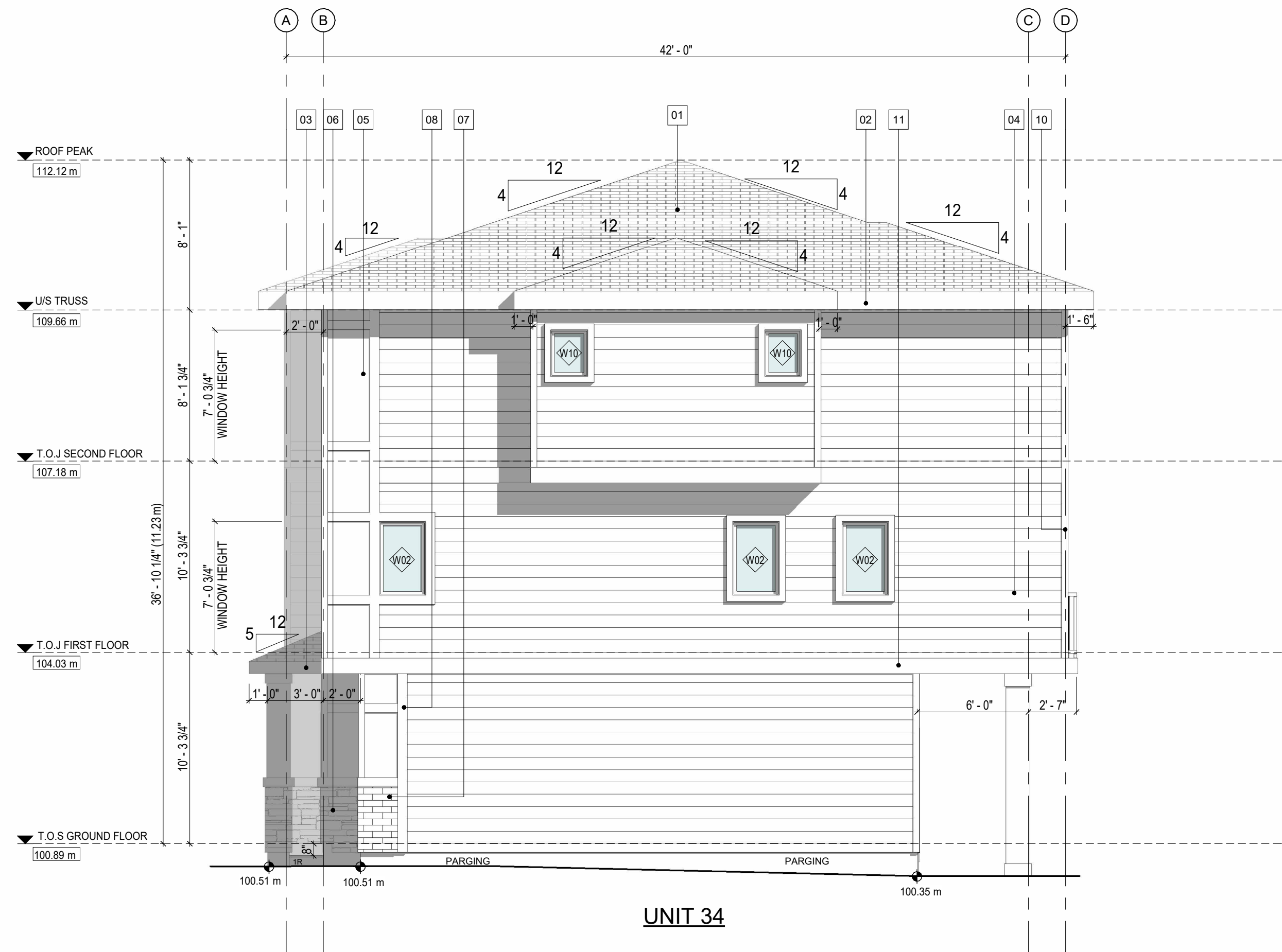


MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - VINYL
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"
20	STONE CAP
W08 :WILL BE (WOCD).	

1 LEFT (WEST) ELEVATION  
3/16" = 1'-0"



2 RIGHT (EAST) ELEVATION  
3/16" = 1'-0"



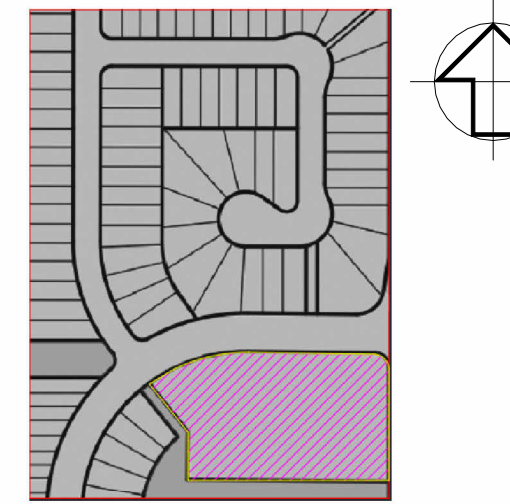
DESIGNED BY:



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PHONE: (403)203-1970  
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S./H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING 6

DRAWING NO.

A-075

DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.M.  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"





1 FRONT ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

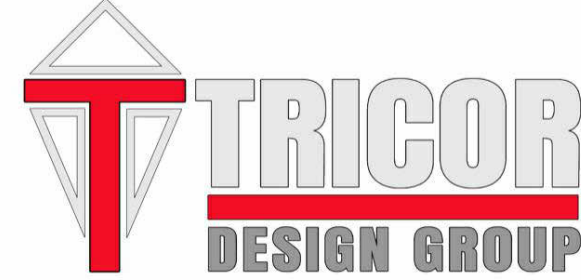


2 REAR ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 30		UNIT 31		UNIT 32		UNIT 33		UNIT 34	
CODE CHECK EXPOSED BUILDING FACE	586 SQ.FT	54.45 SQ.M	627 SQ.FT	58.27 SQ.M	574 SQ.FT	53.31 SQ.M	631 SQ.FT	58.85 SQ.M	590 SQ.FT	54.85 SQ.M
SETBACK	14' - 11"	4.55 m	13' - 11"	4.25 m	14' - 11"	4.55 m	13' - 11"	4.25 m	15' - 11"	4.86 m
PERCENTAGE OF ALLOWED OPENINGS	34.77%		29.7%		35.08%		29.61%		38.96%	
SQ.FT.OF ALLOWED OPENING	203.80 SQ.FT	18.93 SQ.M	186.27 SQ.FT	17.31 SQ.M	201.28 SQ.FT	18.70 SQ.M	186.94 SQ.FT	17.37 SQ.M	230.04 SQ.FT	21.37 SQ.M
ACTUAL SQ.FT.OF OPENINGS	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M	121.25 SQ.FT	11.26 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	101.90 SQ.FT	9.47 SQ.M	93.14 SQ.FT	8.65 SQ.M	100.64 SQ.FT	9.35 SQ.M	93.47 SQ.FT	8.68 SQ.M	115.02 SQ.FT	10.69 SQ.M

UNPROTECTED OPENINGS	UNIT 34		UNIT 33		UNIT 32		UNIT 31		UNIT 30	
CODE CHECK EXPOSED BUILDING FACE	633 SQ.FT	58.77 SQ.M	582 SQ.FT	54.10 SQ.M	668 SQ.FT	62.06 SQ.M	602 SQ.FT	55.92 SQ.M	617 SQ.FT	57.31 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	18' - 10"	5.74 m	19' - 10"	6.04 m	17' - 10"	5.43 m
PERCENTAGE OF ALLOWED OPENINGS	45.35%		51.48%		48.09%		55.09%		45.91%	
SQ.FT.OF ALLOWED OPENING	286.86 SQ.FT	26.65 SQ.M	299.76 SQ.FT	27.85 SQ.M	321.27 SQ.FT	29.85 SQ.M	331.60 SQ.FT	30.81 SQ.M	283.20 SQ.FT	26.31 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	143.43 SQ.FT	13.33 SQ.M	149.88 SQ.FT	13.92 SQ.M	160.63 SQ.FT	14.92 SQ.M	165.80 SQ.FT	15.40 SQ.M	141.60 SQ.FT	13.16 SQ.M

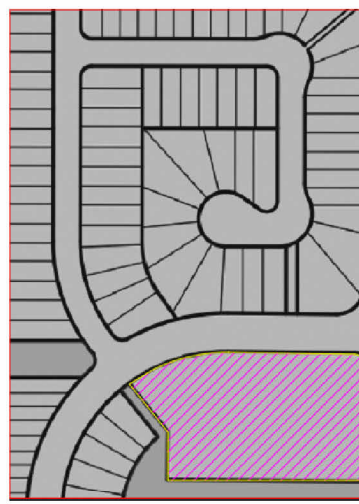
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202, 4216 10 STREET NE. PHONE: (403)203-1970  
CALGARY, AB. FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (1)  
BUILDING 6

DRAWING NO.

A-076

DRAWN BY:  
N.S.K/H.S.S./  
H.I.Z.R.H.E/H.H.M

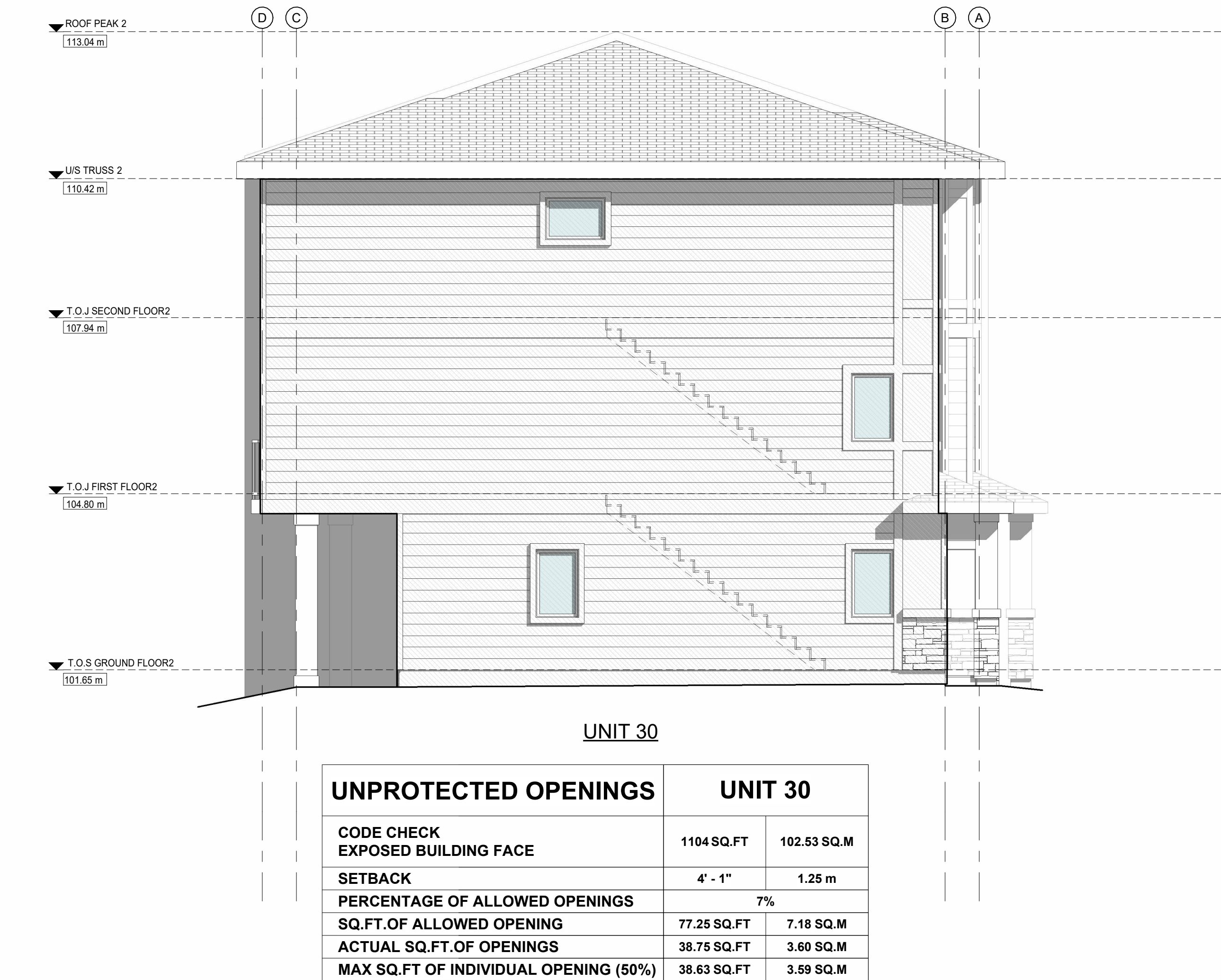
CHECKED BY:  
E.Z.H.A/A.M

DATE:  
25\_06\_14

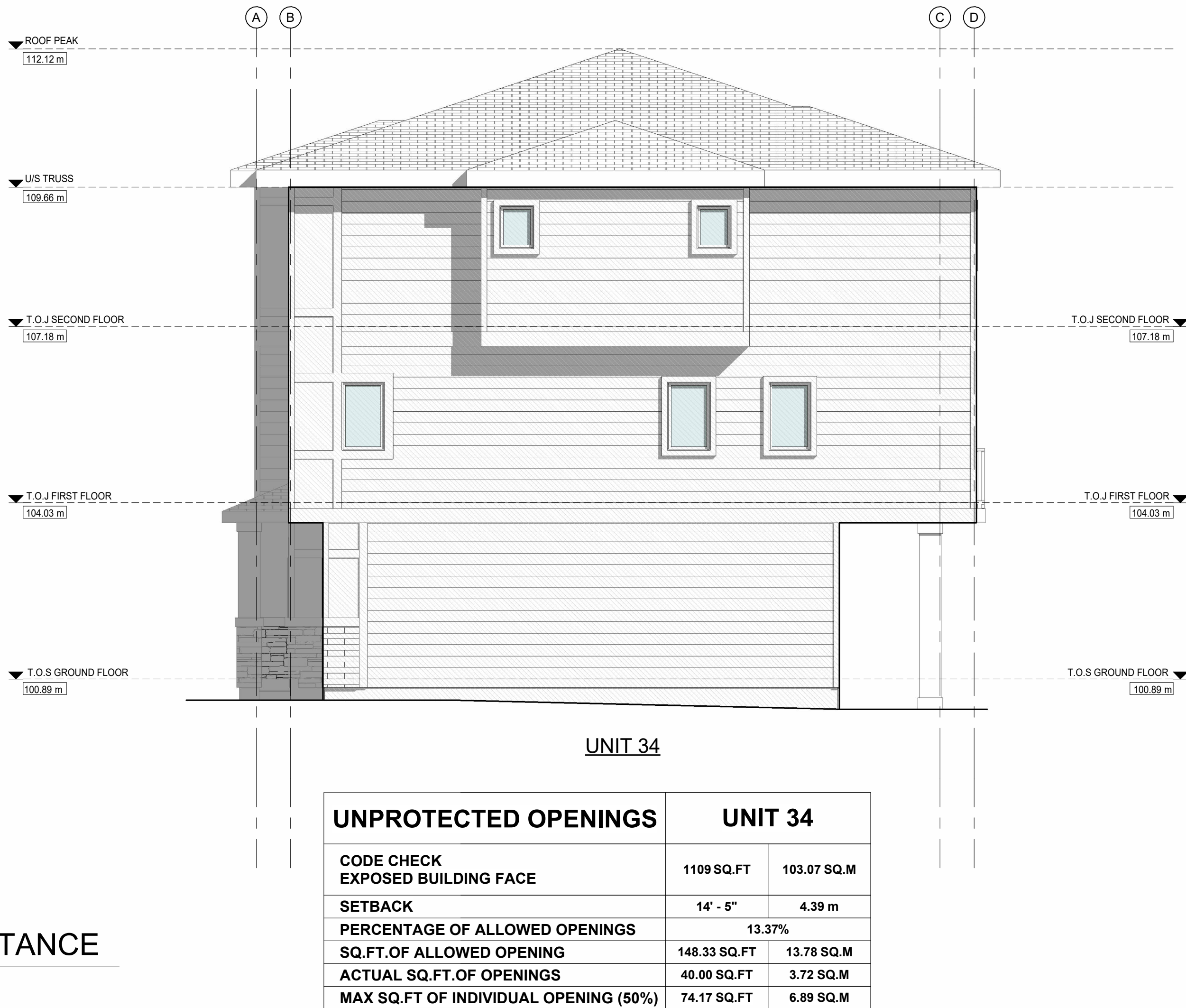
SCALE: 3/16" = 1'-0"




1 LEFT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



2 RIGHT (EAST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"



DESIGNED BY:



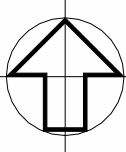
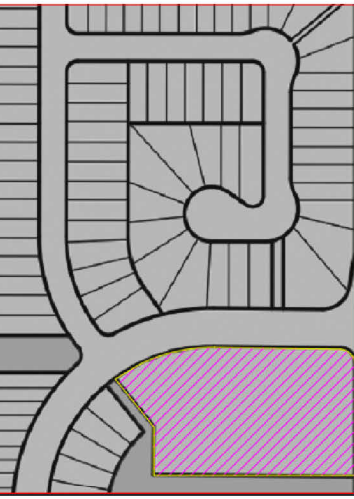
TRICOR  
DESIGN GROUP

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#202, 4216 10 STREET NE,  
CALGARY, AB,  
T2E 6K3

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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S /H.I.Z.R.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UNPROTECTED OPENINGS (2)  
BUILDING 6

DRAWING NO.

A-077

DRAWN BY:

N.S.K.H.S.S/  
H.I.Z.R.H.E/H.H.M.M

CHECKED BY:

E.Z.H.A/A.M

DATE:

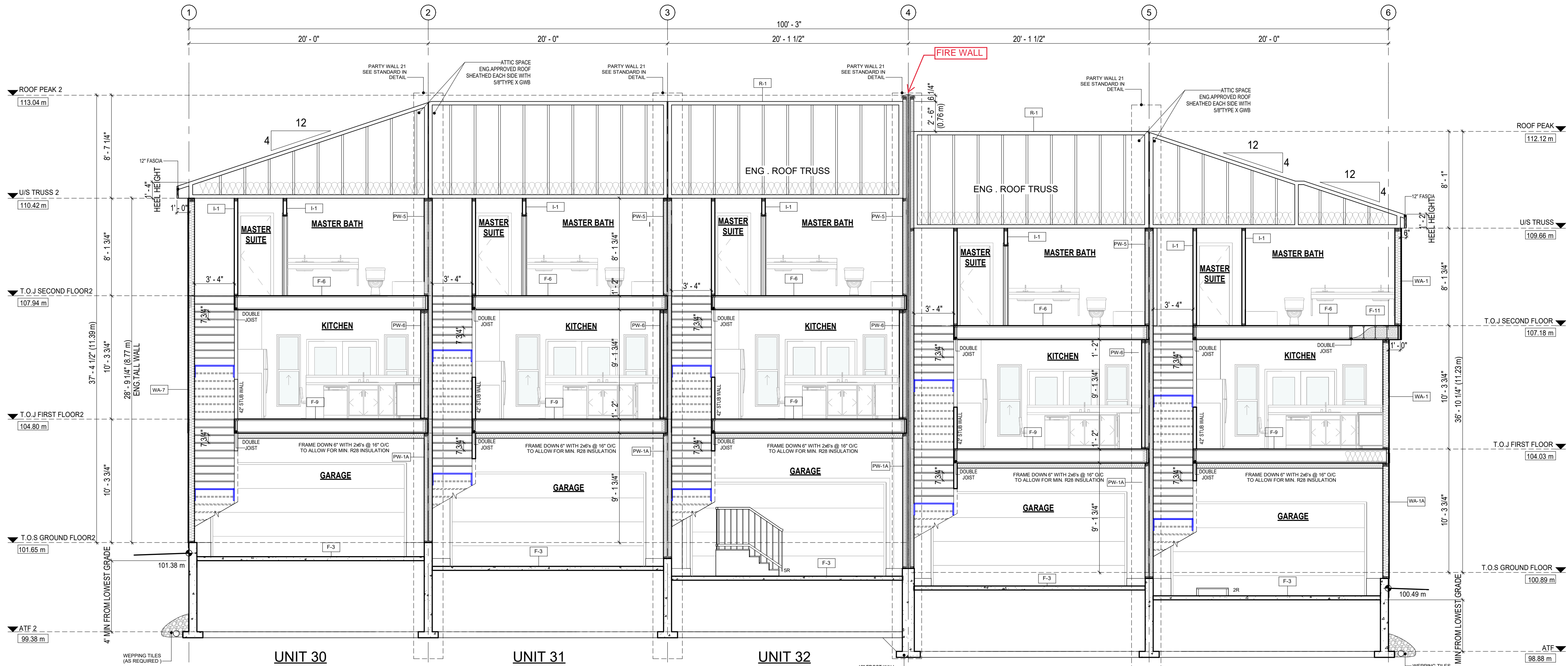
25\_06\_14

SCALE: 3/16" = 1'-0"

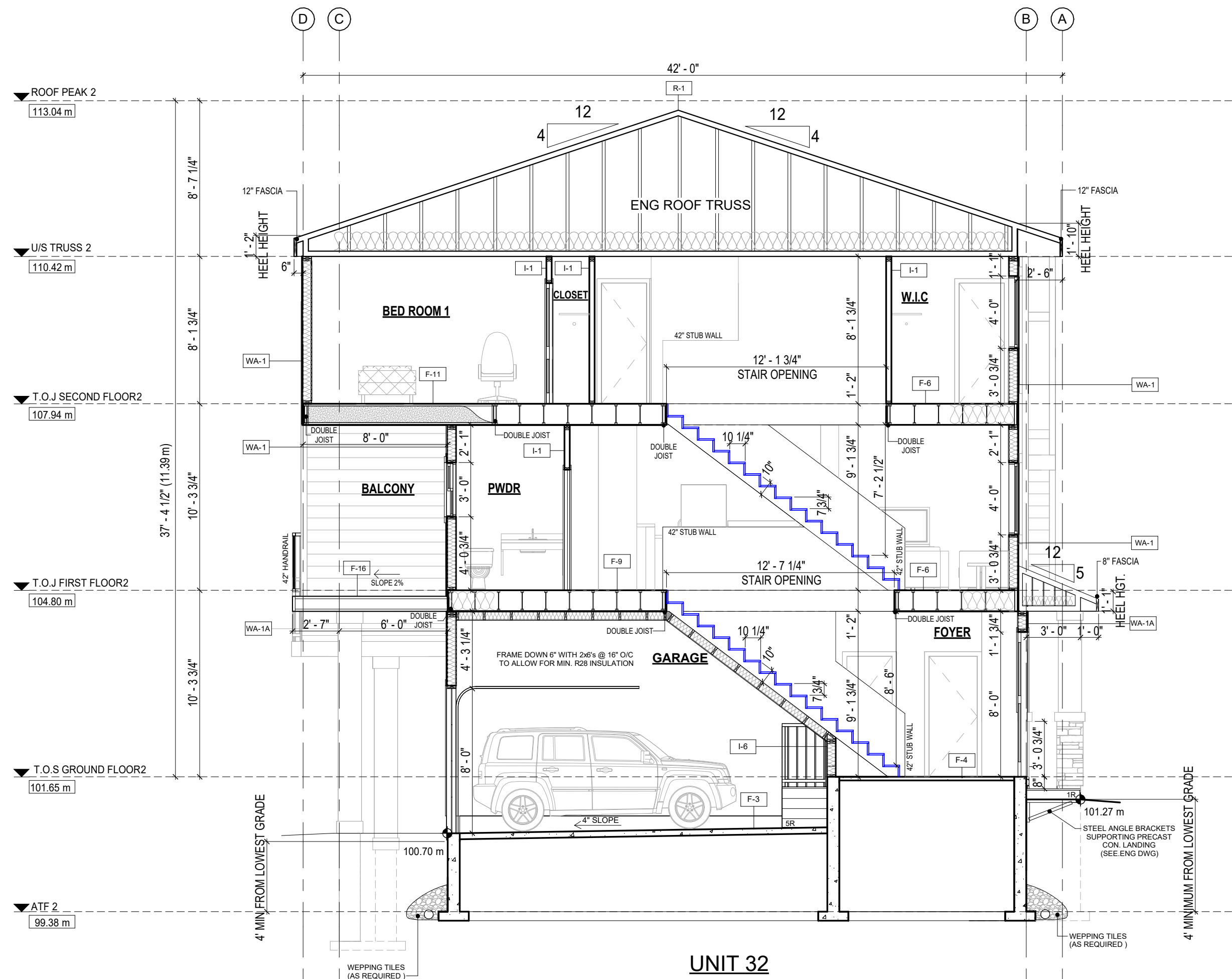


NOTES:  
" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM  
LOWEST GRADE

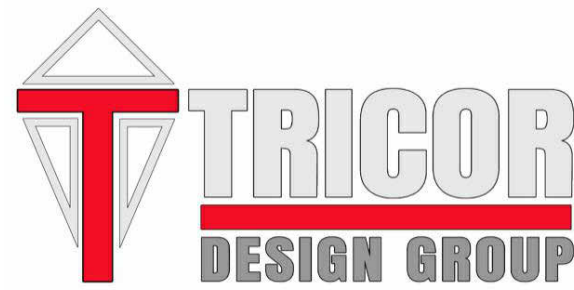


1 SECTION 1-1  
3/16" = 1'-0"



2 SECTION 2-2  
3/16" = 1'-0"

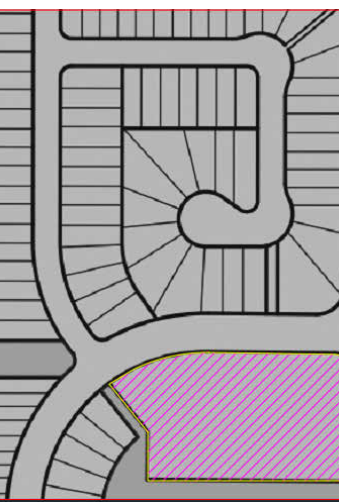
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REVISIONS:

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	N.S.I.M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

BUILDING SECTIONS (1)  
BUILDING 6

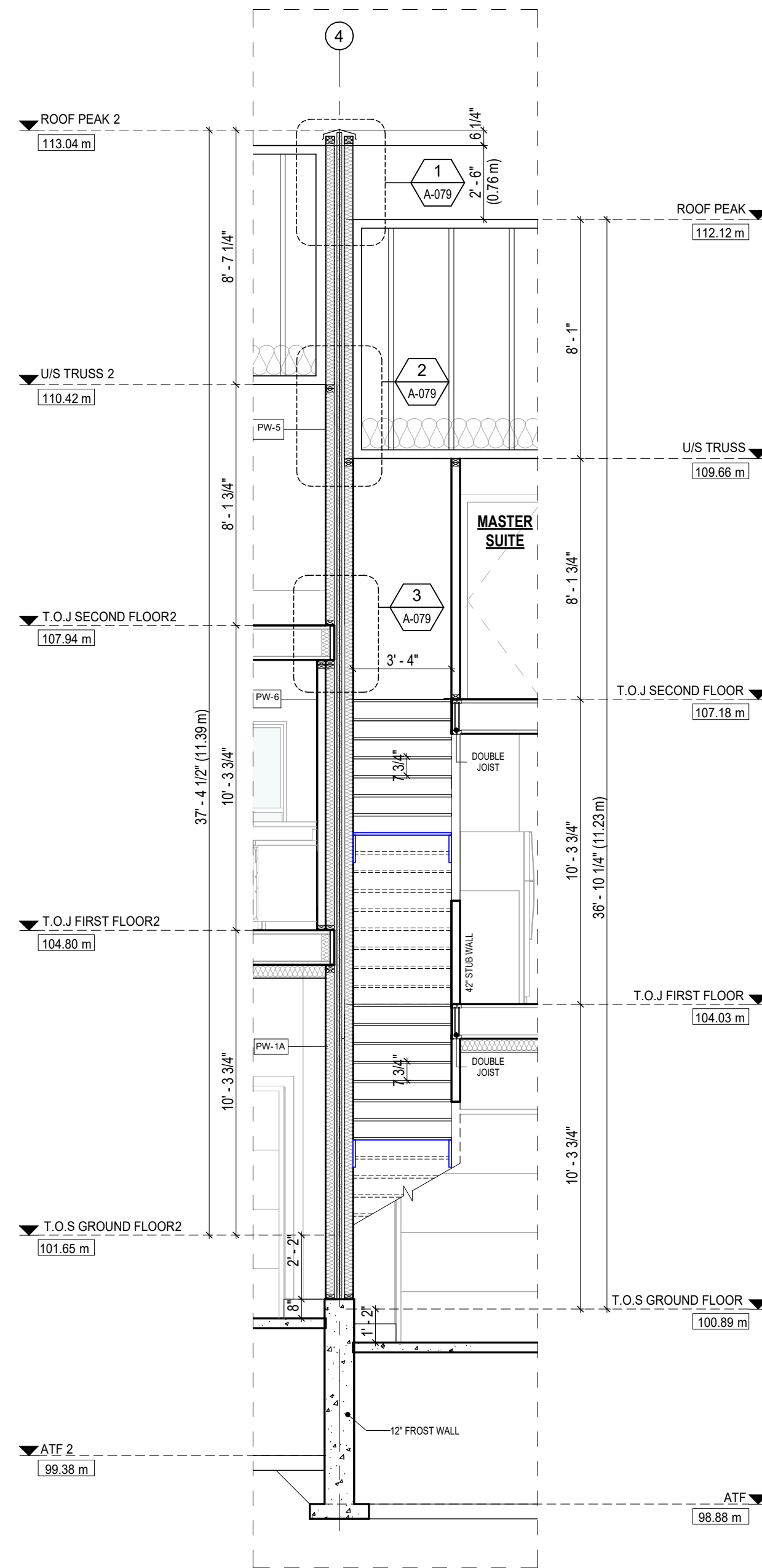
DRAWING NO.

A-078

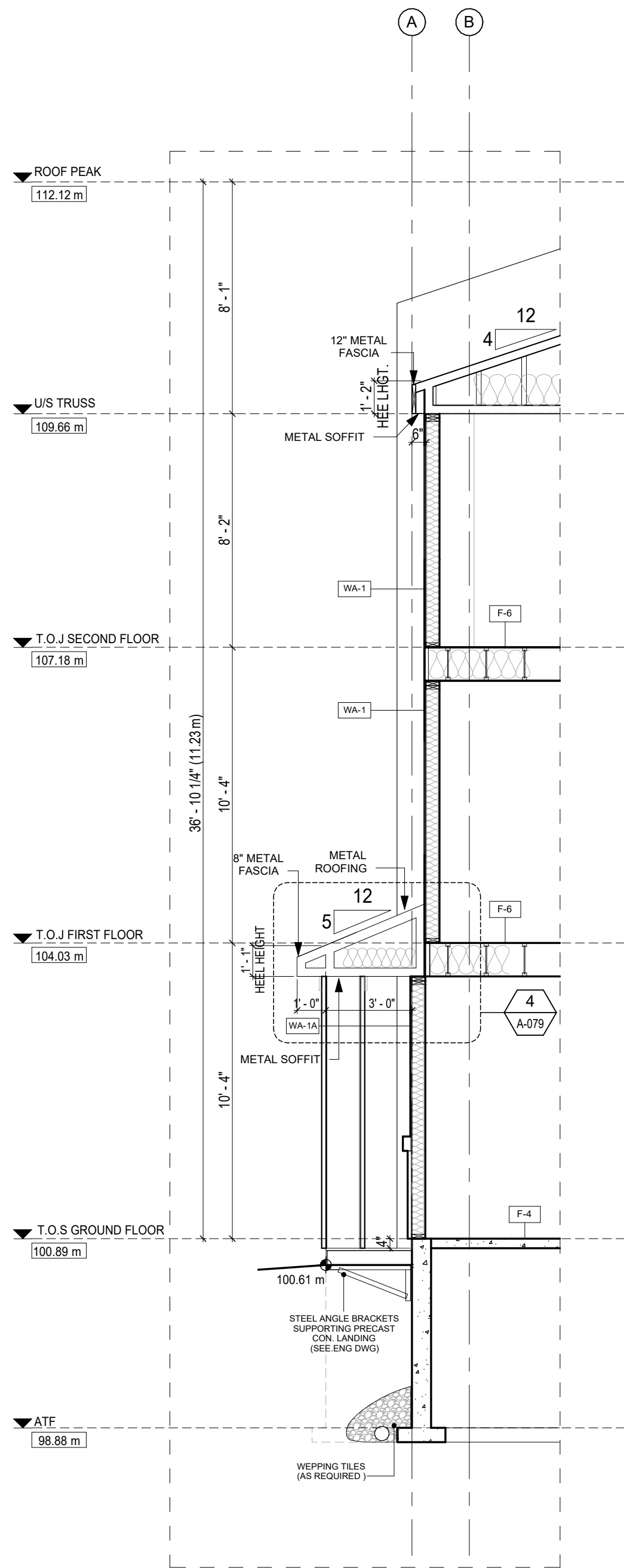
DRAWN BY: N.S.K.H.S./H.I.Z.R.H.E./H.H.M. CHECKED BY: E.Z.H.A./A.M. DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"

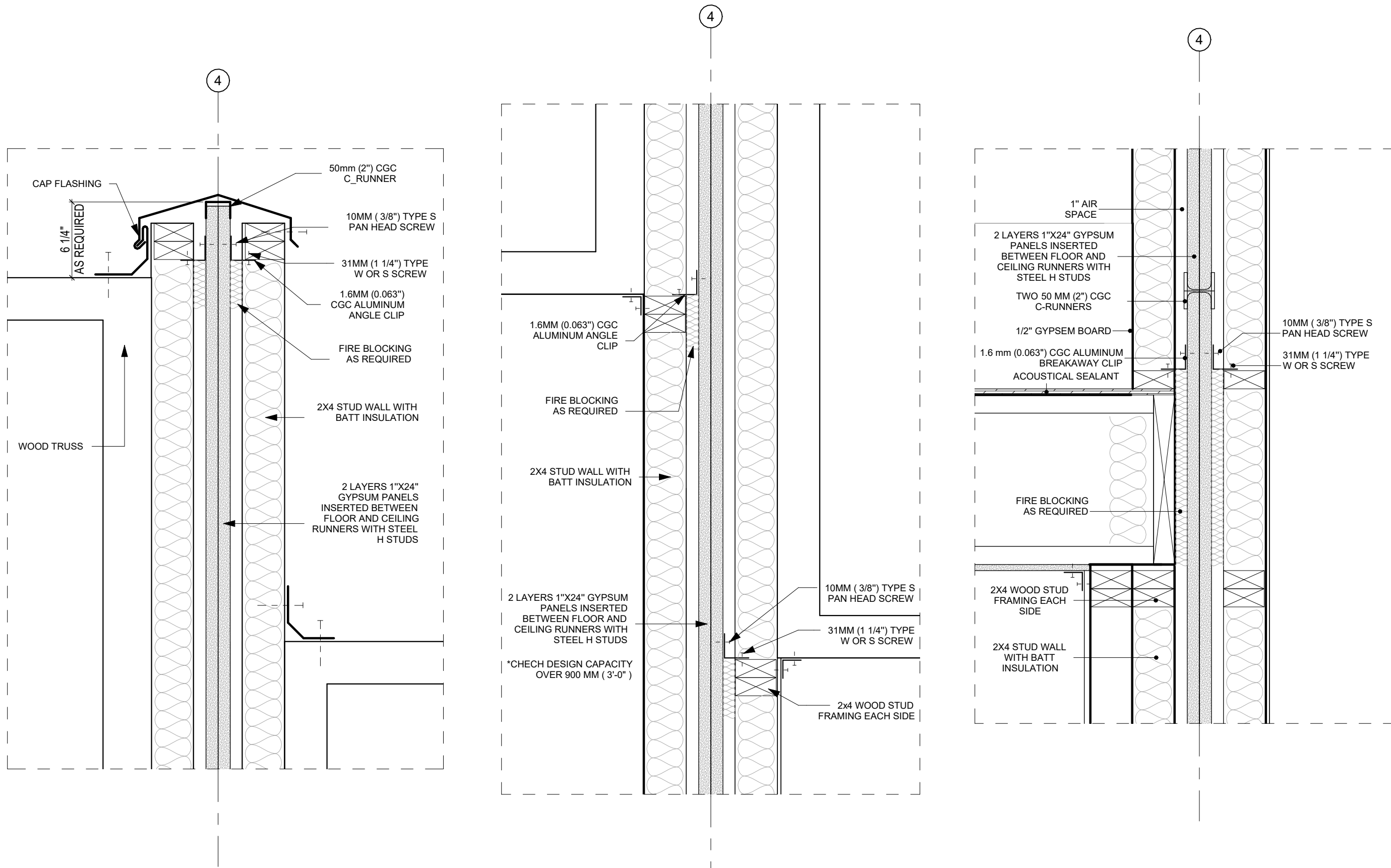




FIRE WALL SECTION  
1/4" = 1'-0"



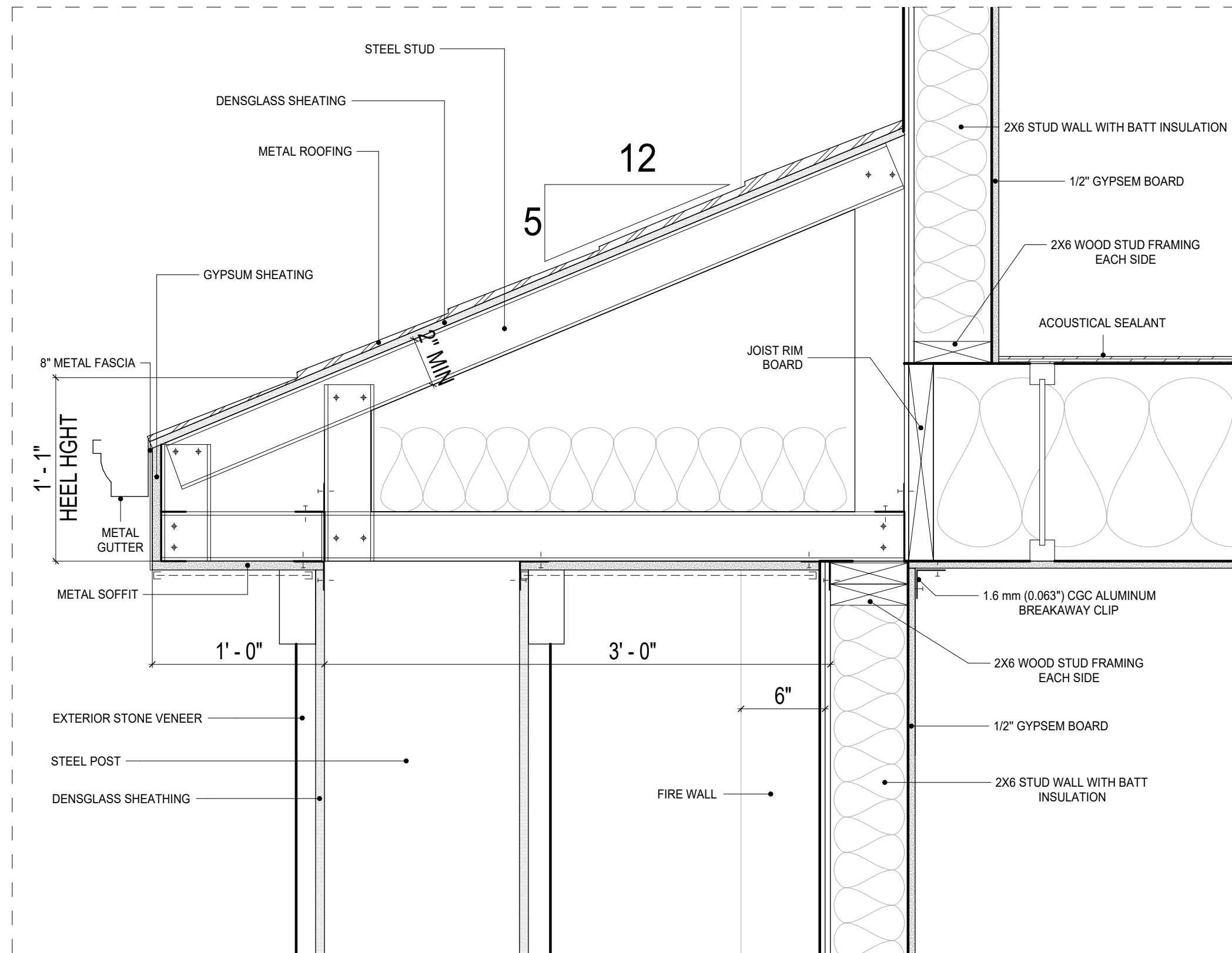
ENTRANCE WALL SECTION  
1/4" = 1'-0"



1 DETAIL 1  
1 1/2" = 1'-0"

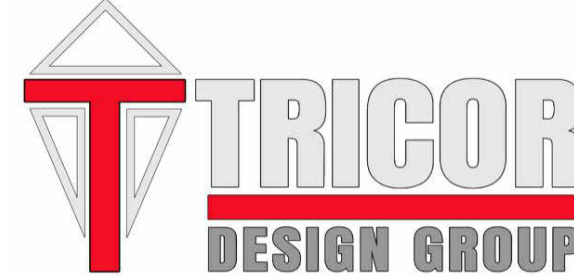
2 DETAIL 2  
1 1/2" = 1'-0"

3 DETAIL 3  
1 1/2" = 1'-0"



4 DETAIL 4  
1 1/2" = 1'-0"

DESIGNED BY:

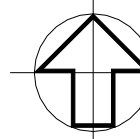


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tricordesigns.com

#202, 4216 10 STREET NE,  
CALGARY, AB,  
T2E 6K3

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01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_03_27	DTR	H.H.E.M.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	N.S.I.M.M.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H.S.S./H.I.Z.R.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION DETAILS  
BUILDING 6

DRAWING NO.

A-079

DRAWN BY:

CHECKED BY:

DATE:

N.S.K/H.S.S./H.I.Z.R.H.E./H.M.M.

E.Z.H.A./A.M.

25\_06\_14

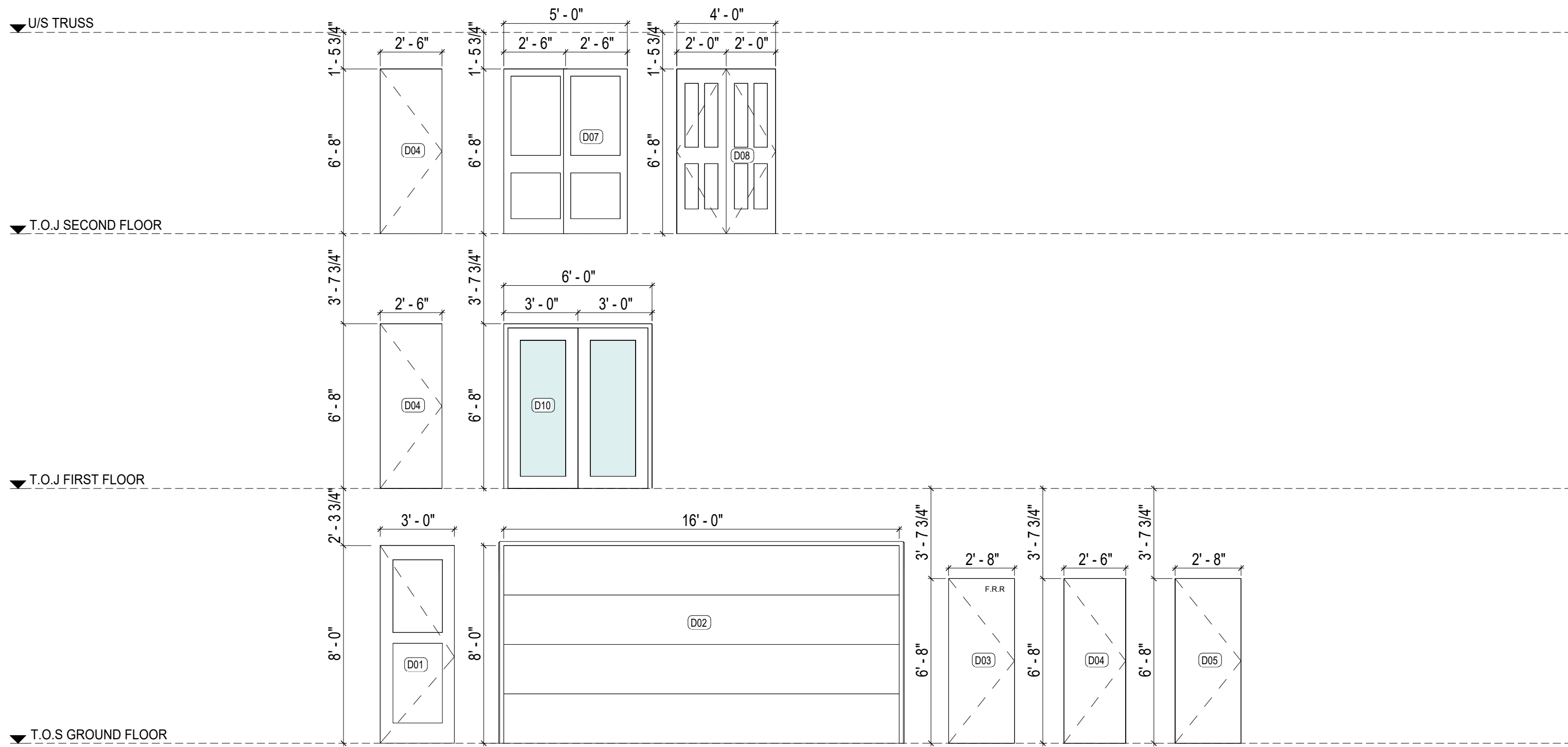
SCALE: As indicated



GARAGE DOOR MODEL:  
CLOPAYMODERN STEEL W/FULL  
GLAZING AND VERTICAL  
STACKGLAZING

## 1 DOORS TYPES

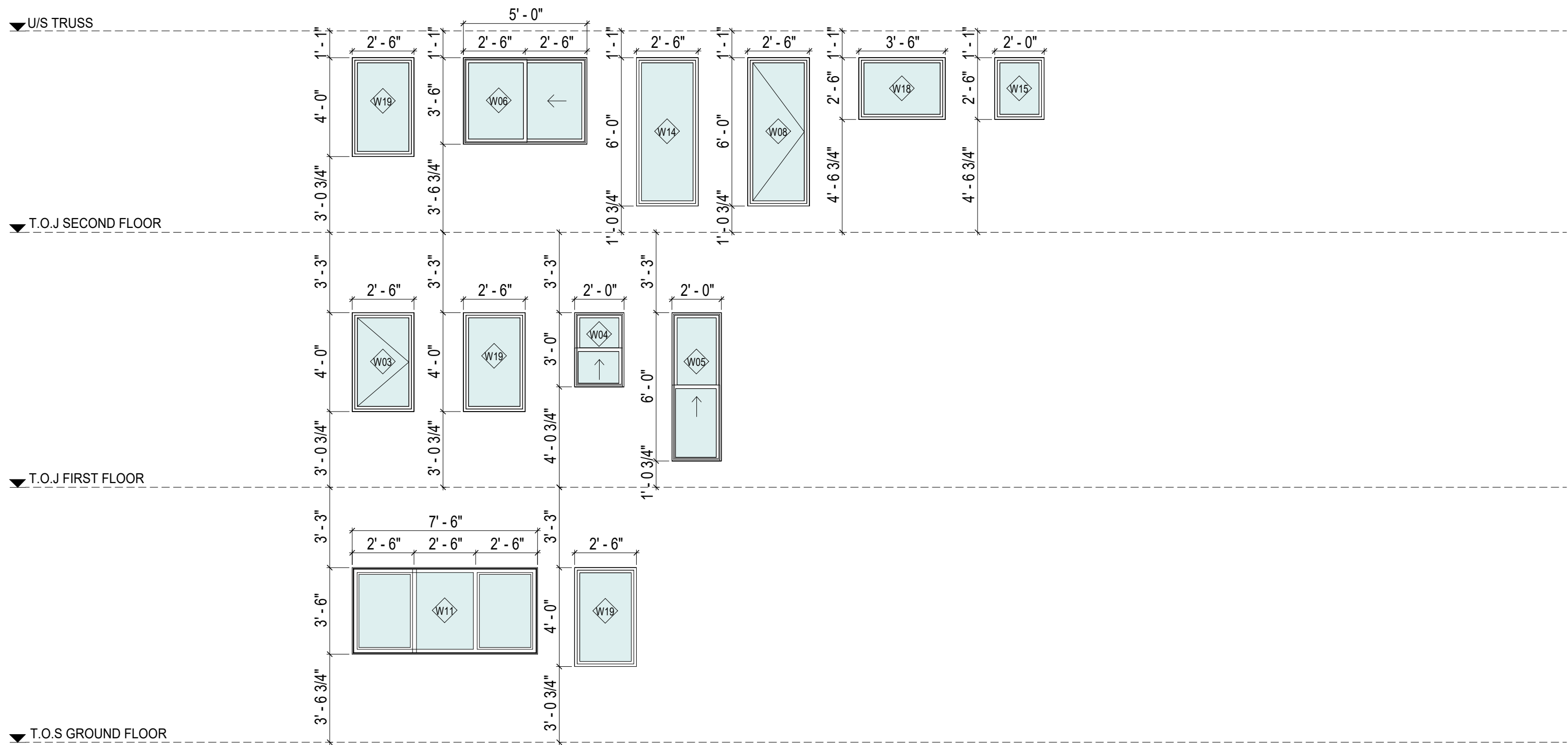
1/4" = 1'-0"



W08 :WILL BE (WOOD).

## 2 WINDOWS TYPES

1/4" = 1'-0"



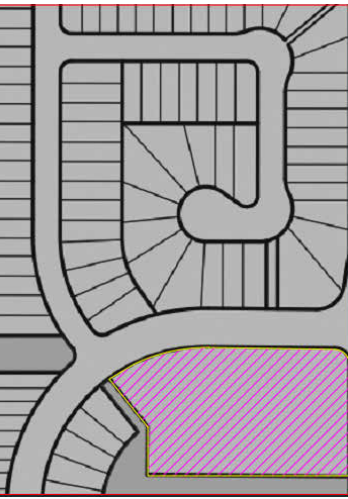
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02	25_03_27	DTR	H.H.E.M	E.Z.H.A/A.M
03	25_05_14	DTR 2	N.S.I.M.M	E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K.H.S.S. /H.I.Z.R.H.E.	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

WINDOWS & DOORS TYPES  
BUILDING 6

DRAWING NO.

A-080

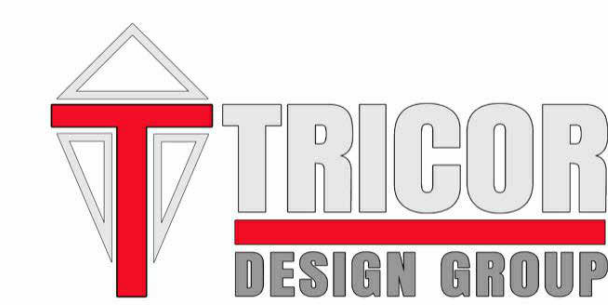
DRAWN BY: N.S.K.H.S.S./H.I.Z.R.H.E./H.H.M.M.  
CHECKED BY: E.Z.H.A/A.M  
DATE: 25\_06\_14

SCALE: 1/4" = 1'-0"





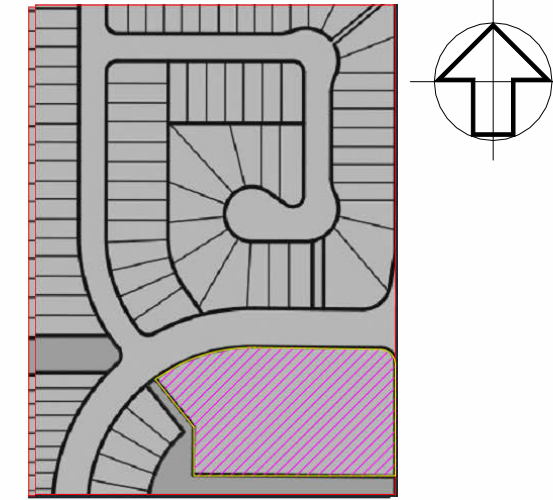
DESIGNED BY:



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01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.HH.E	E.ZH.A
02	25_03_24	DTR	H.HMM/ M.R	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.HH.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

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AIRDRIE, AB

PROJECT NAME & ADDRESS :

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TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING (7)

DRAWING NO.

A-081

DRAWN BY: N.SHM/MKH  
H.E/M.M.A.A  
CHECKED BY: E.ZH.A/A.M  
DATE: 25\_06\_14

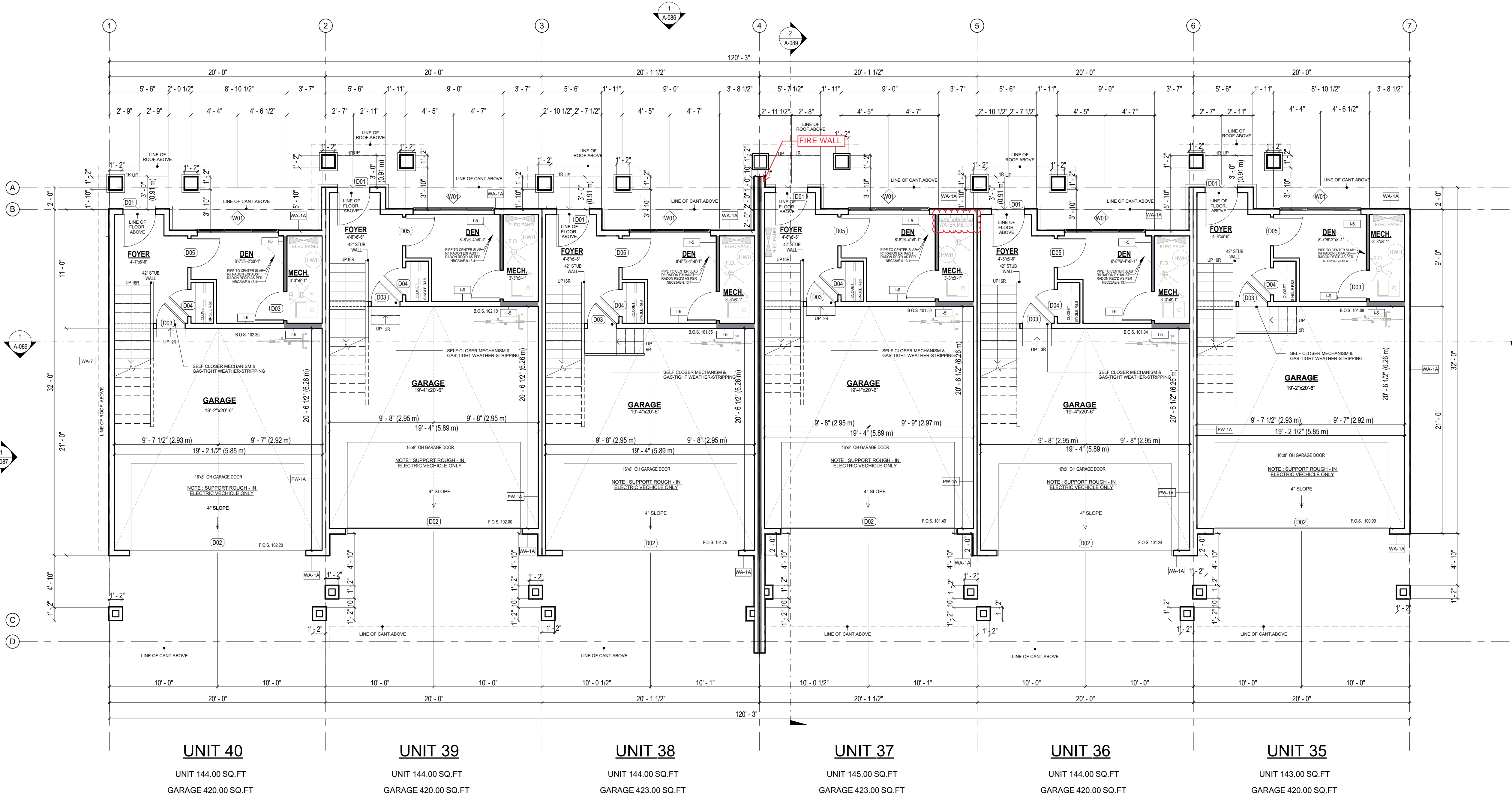
SCALE:



W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN SILL HEIGHT  
AND OUTSIDE GRADE IS MORE  
THAN (72") , AND THE OPENING  
PORTION WINDOW IS LESS THAN  
(36") ,THAT WILL ALLOW THE  
WINDOW ONLY TO OPEN TO (4")

GARAGE DOOR MODEL:CLOPAY  
MODERN STEEL WLFULL GLAZING  
AND VERTICAL STACK



## GROUND FLOOR PLAN

1  
3/16" = 1'-0"

DESIGNED BY:

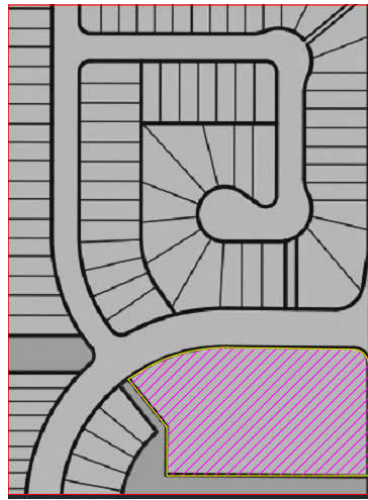


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02	25_03_24	DTR	N.H.M.M./ M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./ K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND FLOOR PLAN  
BUILDING (7)

DRAWING NO.

A-082

DRAWN BY:

CHECKED BY:

DATE:

N.S.H.M./  
H.E.M./A.A.

E.Z.H.A./A.M.

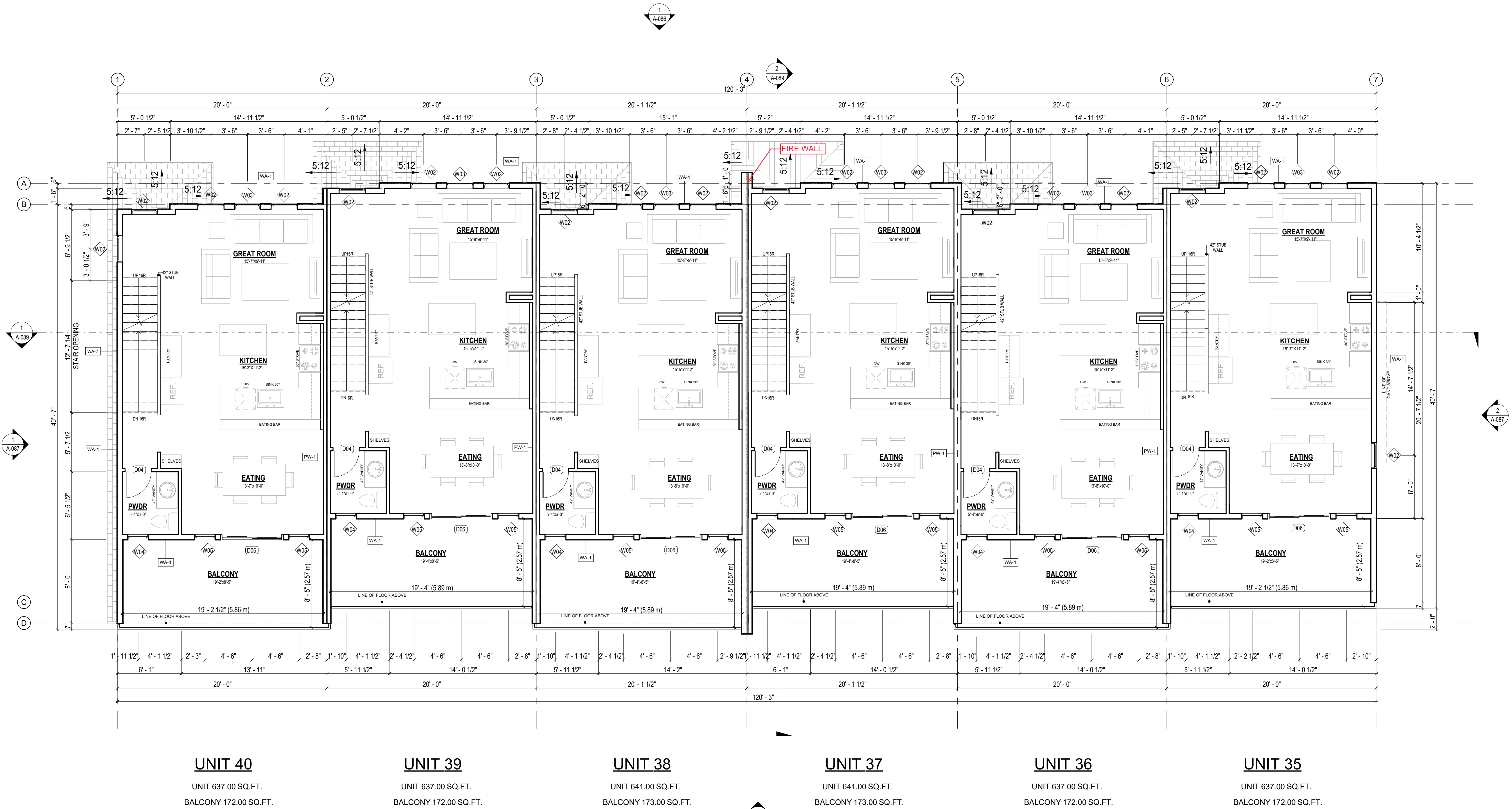
25\_06\_14

SCALE: 3/16" = 1'-0"



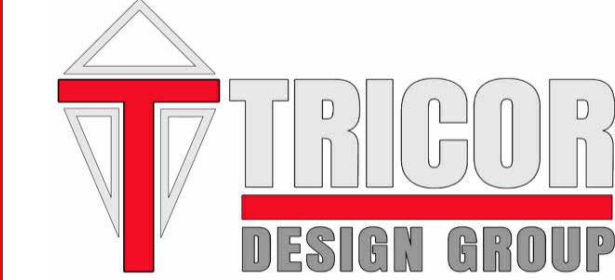
W08 :WILL BE (WOCD).

FIRST FLOOR NOTE : (WOCD) WILL BE USED WHEN THE DISTANCE BETWEEN TOJ AND SILL HEIGHT IS LESS THAN (36") , THAT WILL ALLOW THE WINDOW ONLY TO OPEN TO (4")



1 FIRST FLOOR PLAN  
3/16" = 1'-0"

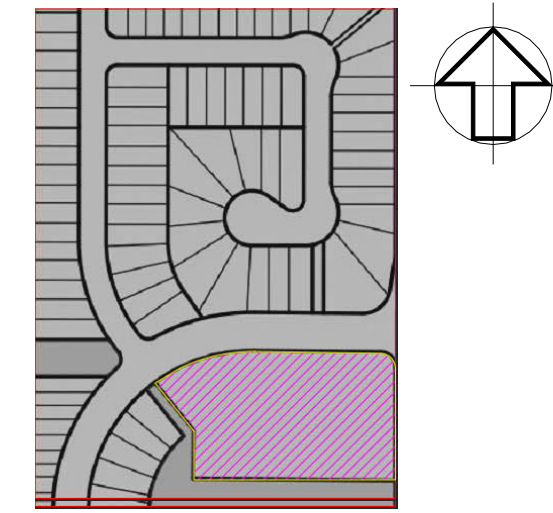
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3  
PHONE: (403)203-1970 FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES  
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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E. E.Z.H.A
02	25_03_24	DTR	H.H.M.M./M.R. E.Z.H.A/A.M
03	25_05_14	DTR 2	A.A. E.Z.H.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E. E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A. E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FIRST FLOOR PLAN  
BUILDING (7)

DRAWING NO.

A-083

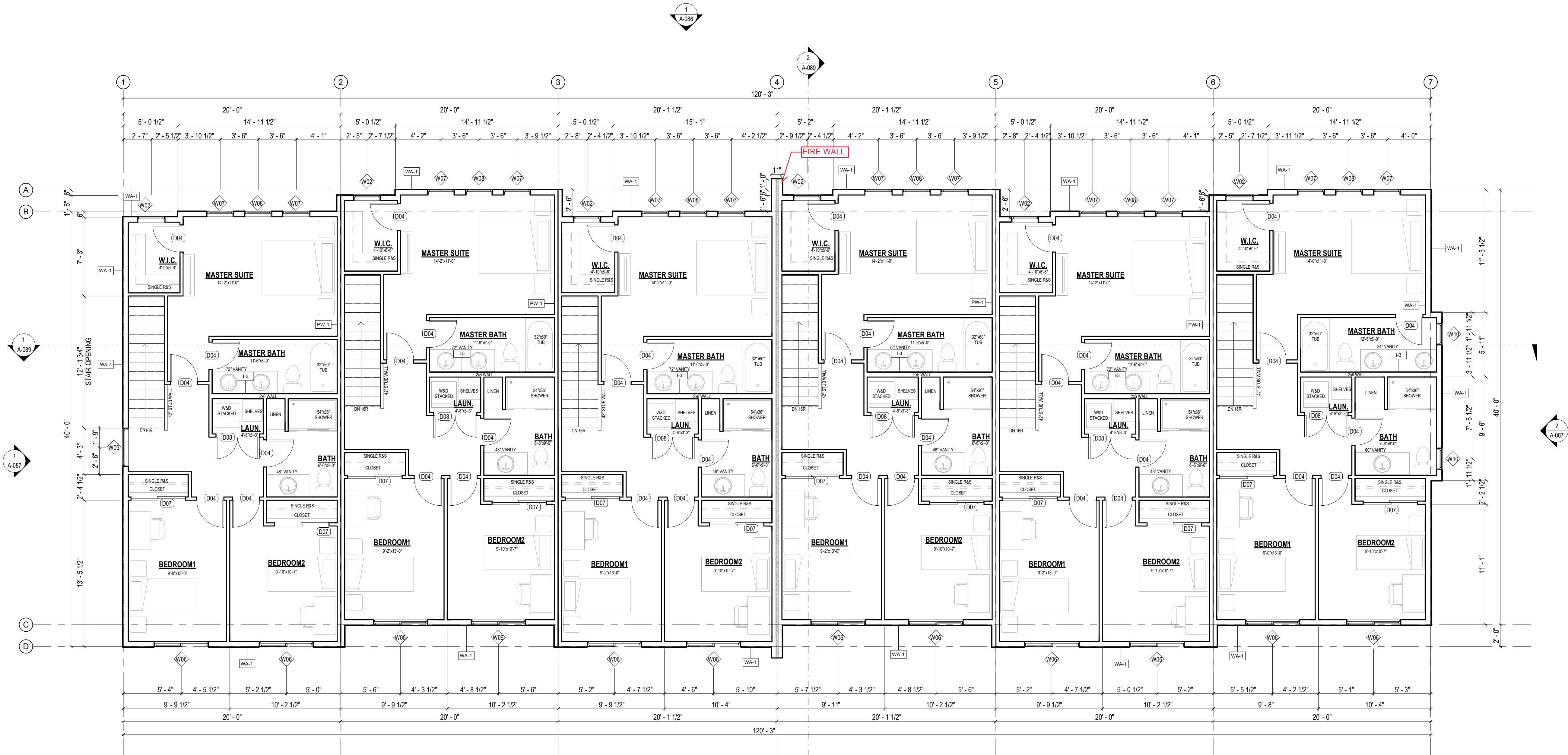
DRAWN BY: N.S.H.M./K.H.H.E. H.E.M./A.A.  
CHECKED BY: E.Z.H.A/A.M.  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"



W08 :WILL BE (WOCD).

SECOND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")



UNIT 40

UNIT 797.00 SQ.FT.

UNIT 39

UNIT 797.00 SQ.FT.

UNIT 38

UNIT 802.00 SQ.FT.

UNIT 37

UNIT 802.00 SQ.FT.

UNIT 36

UNIT 797.00 SQ.FT.

UNIT 35

UNIT 813.00 SQ.FT.

1 SECOND FLOOR PLAN  
3/16" = 1'-0"

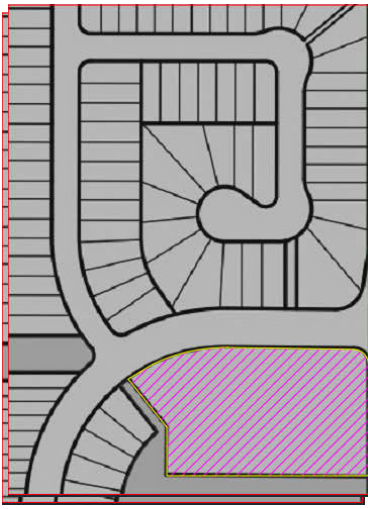
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, PHONE: (403)203-1970  
CALGARY, AB. FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



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AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.HH.E	E.ZH.A
02	25_03_24	DTR	H.HMM/ M.R.	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.HH.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND FLOOR PLAN  
BUILDING (7)

DRAWING NO.

A-084

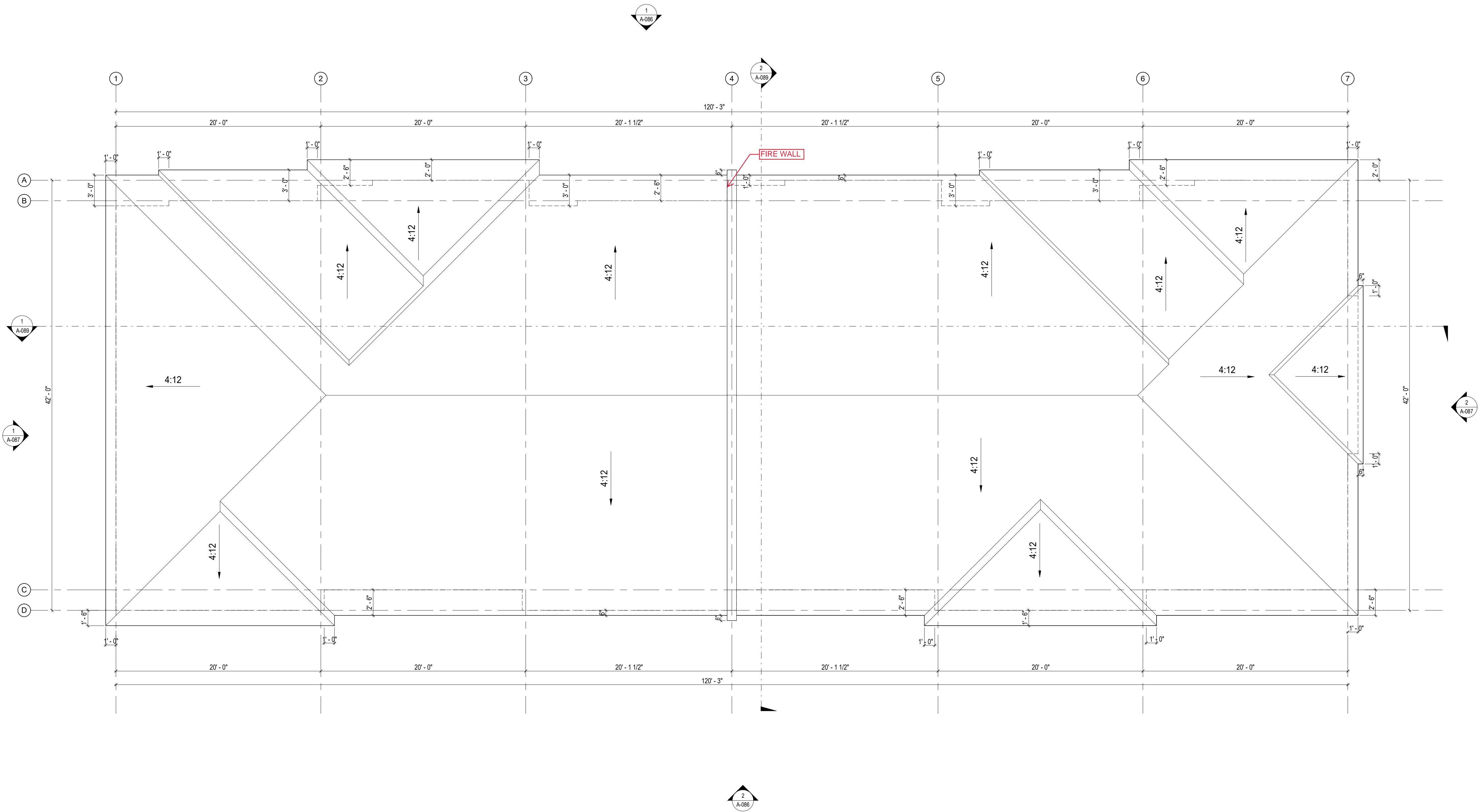
DRAWN BY: N.SHM/MKH  
H.E/M.M.A/A

CHECKED BY: E.ZH.A/A.M

DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"





1 ROOF FLOOR PLAN  
3/16" = 1'-0"

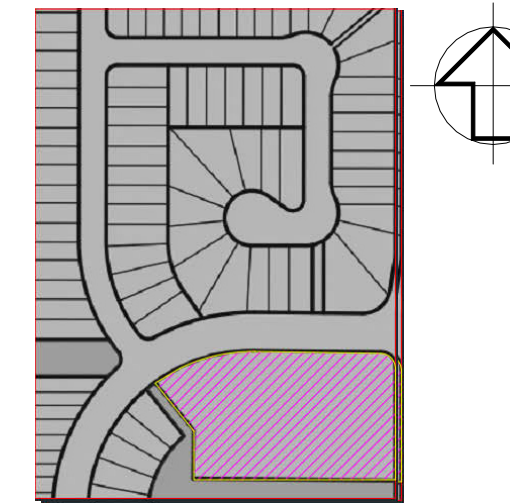
DESIGNED BY:



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REVISIONS:

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02	25_03_24	DTR	H.H.M.M./M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ROOF FLOOR PLAN  
BUILDING (7)

DRAWING NO.

A-085

DRAWN BY: N.S.H.M./K.H.H.E./M.M.A.A.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"



MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

GARAGE DOOR MODEL:CLOPAY  
MODERN STEEL WLFULL GLAZING  
AND VERTICAL STACK



FRONT (NORTH)ELEVATION

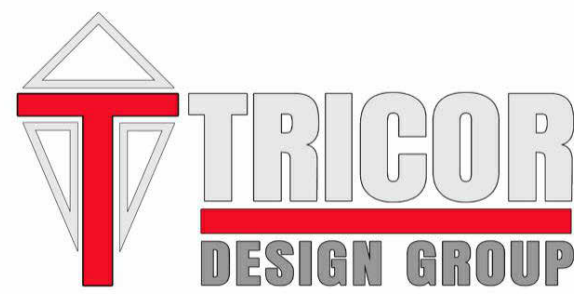
1  
3/16" = 1'-0"



REAR(SOUTH) ELEVATION

2  
3/16" = 1'-0"

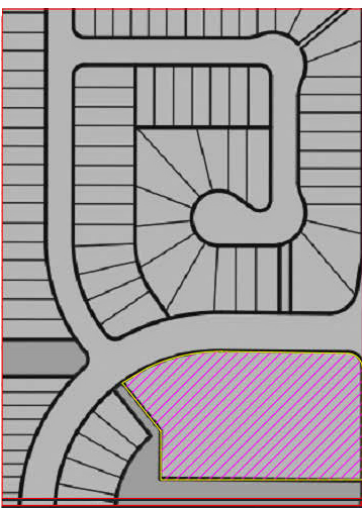
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE,  
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T2E 6K3  
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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.H.E	E.ZHA
02	25_03_24	DTR	N.HMM/ M.R	E.ZHA/A/M
03	25_05_14	DTR 2	A.A	E.ZHA/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZHA
02	25_04_30	BUILDING PERMIT	A.A	E.ZHA

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT-REAR ELEVATIONS  
BUILDING (7)

DRAWING NO.

A-086

DRAWN BY: N.SHM/MKH  
H.E/M.M.A.A  
CHECKED BY: E.ZHA/A/M  
DATE: 25\_06\_14

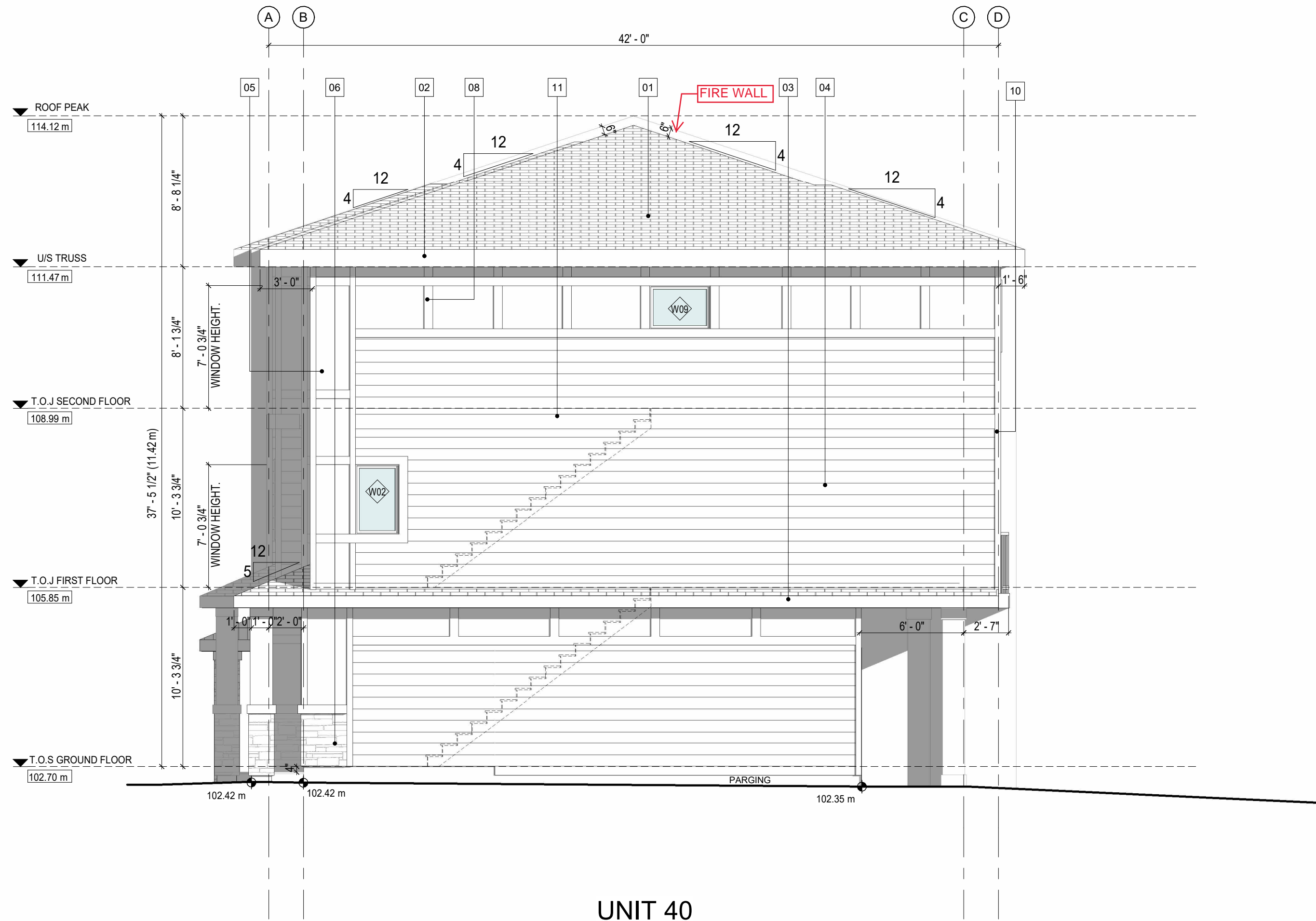
SCALE: 3/16" = 1'-0"



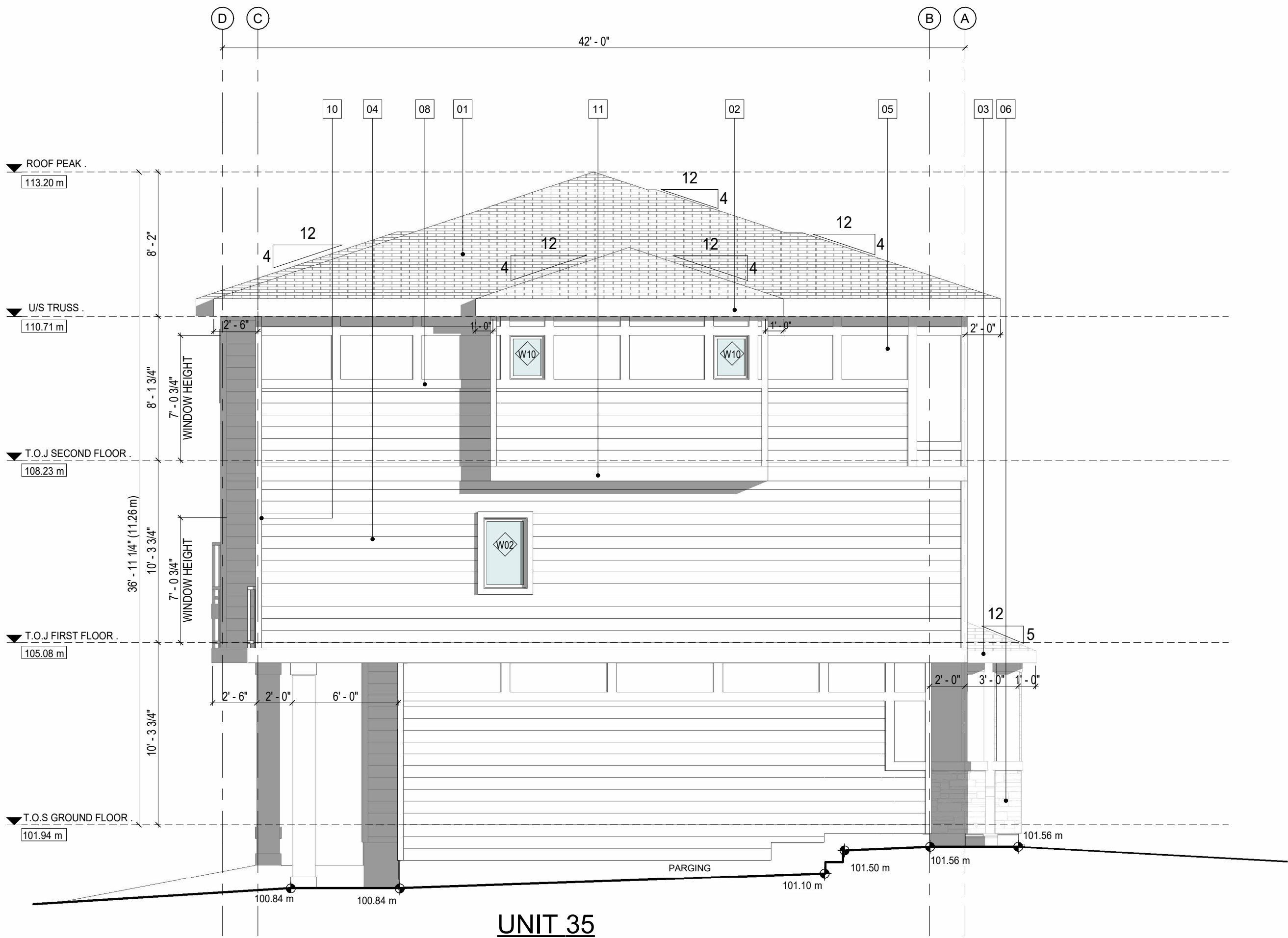
MATERIAL LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W08 :WILL BE (WOCD).

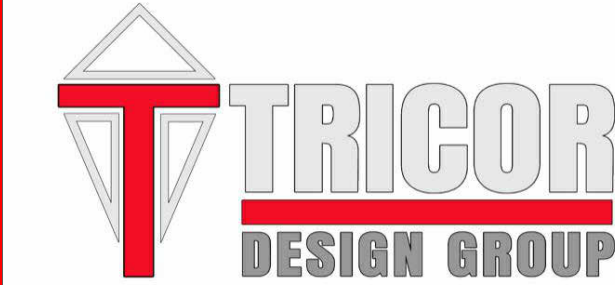
1 RIGHT (WEST)ELEVATION  
3/16" = 1'-0"



2 LEFT(EAST) ELEVATION  
3/16" = 1'-0"



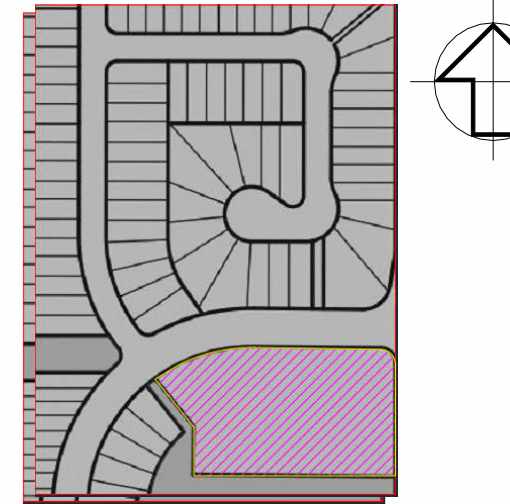
DESIGNED BY:



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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.H.E	E.ZH.A
02	25_03_24	DTR	H.H.M.M/ M.R.	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

RIGHT-LEFT ELEVATIONS  
BUILDING (7)

DRAWING NO.

A-087

DRAWN BY: N.SHM/M.K.H.  
H.E.M.M/A.A

CHECKED BY: E.ZH.A/A.M

DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"





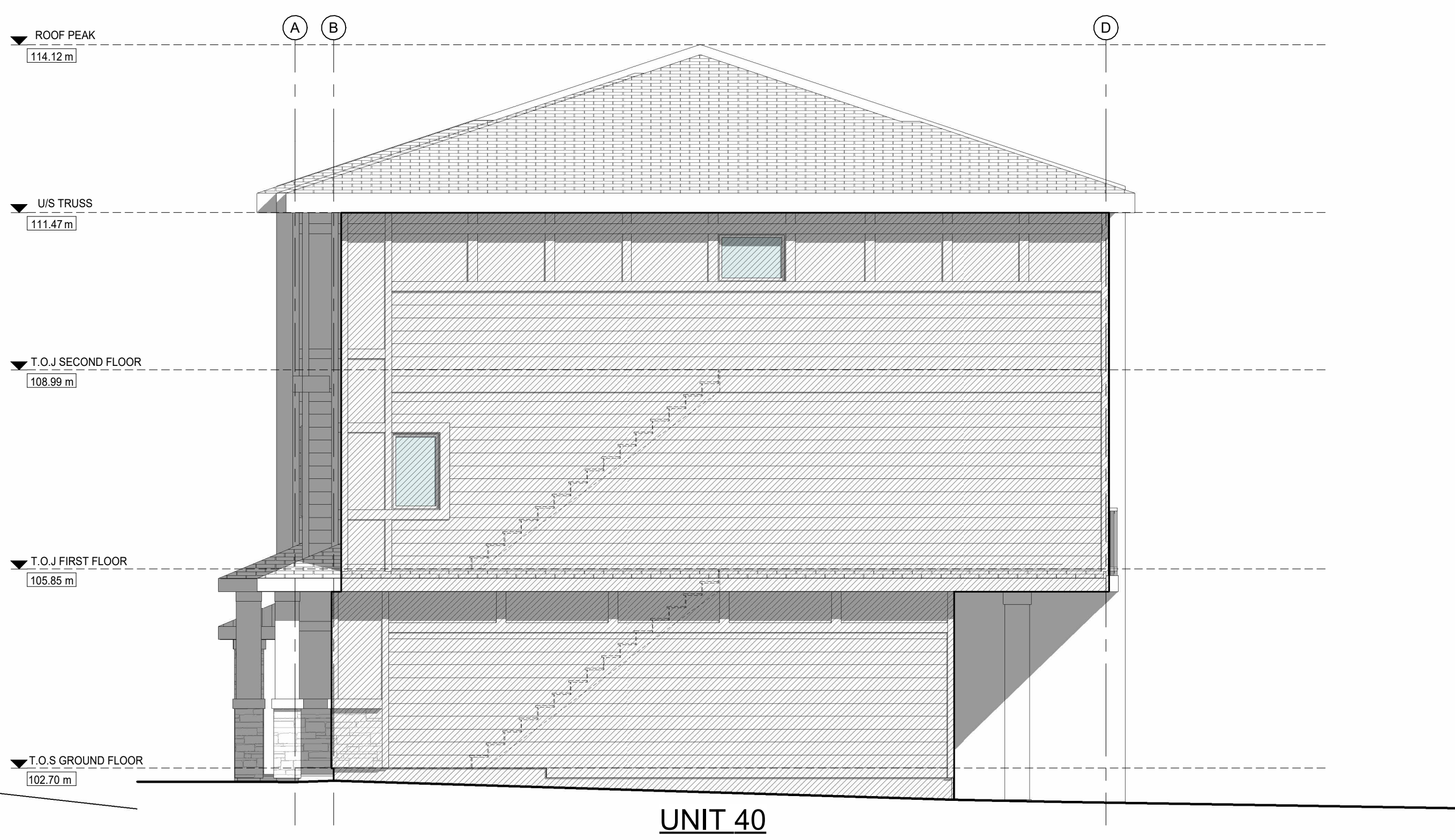
1 REAR(SOUTH) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 40		UNIT 39		UNIT 38		UNIT 37		UNIT 36		UNIT 35	
CODE CHECK EXPOSED BUILDING FACE	619 SQ.FT	57.52 SQ.M	603 SQ.FT	56.06 SQ.M	667 SQ.FT	62.00 SQ.M	589 SQ.FT	54.67 SQ.M	639 SQ.FT	59.35 SQ.M	632 SQ.FT	58.71 SQ.M
SETBACK	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m	17' - 10"	5.43 m	18' - 10"	5.74 m
PERCENTAGE OF ALLOWED OPENINGS	45.83%		50.65%		44.1%		51.24%		45.13%		49.52%	
SQ.FT.OF ALLOWED OPENING	283.74 SQ.FT	26.36 SQ.M	305.63 SQ.FT	28.39 SQ.M	294.30 SQ.FT	27.34 SQ.M	301.55 SQ.FT	28.01 SQ.M	288.28 SQ.FT	26.78 SQ.M	312.92 SQ.FT	29.07 SQ.M
ACTUAL SQ.FT.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	141.87 SQ.FT	13.18 SQ.M	152.82 SQ.FT	14.20 SQ.M	147.15 SQ.FT	13.67 SQ.M	150.77 SQ.FT	14.01 SQ.M	144.14 SQ.FT	13.39 SQ.M	156.46 SQ.FT	14.54 SQ.M



2 LEFT(EAST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 35	
CODE CHECK EXPOSED BUILDING FACE	1151 SQ.FT	106.95 SQ.M
SETBACK	16' - 1"	4.90 m
PERCENTAGE OF ALLOWED OPENINGS	15.15%	
SQ.FT.OF ALLOWED OPENING	174.41 SQ.FT	16.20 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	87.21 SQ.FT	8.10 SQ.M



3 RIGHT (WEST) ELEVATION LIMITING DISTANCE  
3/16" = 1'-0"

UNPROTECTED OPENINGS	UNIT 40	
CODE CHECK EXPOSED BUILDING FACE	1112 SQ.FT	103.34 SQ.M
SETBACK	4' - 0"	1.22 m
PERCENTAGE OF ALLOWED OPENINGS	7%	
SQ.FT.OF ALLOWED OPENING	77.87 SQ.FT	7.23 SQ.M
ACTUAL SQ.FT.OF OPENINGS	18.75 SQ.FT	1.74 SQ.M
MAX SQ.FT OF INDIVIDUAL OPENING (50%)	38.93 SQ.FT	3.62 SQ.M

DESIGNED BY:  
  
RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com  
#202, 4216 10 STREET NE, CALGARY, AB T2E 6K3  
PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN

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REVISIONS:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E	E.Z.H.A
02	25_03_24	DTR	N.S.H.M./M.R	E.Z.H.A/A.M
03	25_05_14	DTR 2	A.A	E.Z.H.A/A.M

ISSUES:  

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E	E.Z.H.A
02	25_04_30	BUILDING PERMIT	A.A	E.Z.H.A

THE CLIENT :  
**LUXURIA HOMES  
AIRDRIE, AB**

PROJECT NAME & ADDRESS :  
**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET :  
**DEVELOPMENT PERMIT SET**

DRAWING TITLE :  
**UNPROTECTED OPENINGS  
BUILDING (7)**

DRAWING NO.  
**A-088**

DRAWN BY:  
C.N.S.H.M.K.H.  
H.E.M.M.A.A

CHECKED BY:  
E.Z.H.A/A.M

DATE:  
25\_06\_14

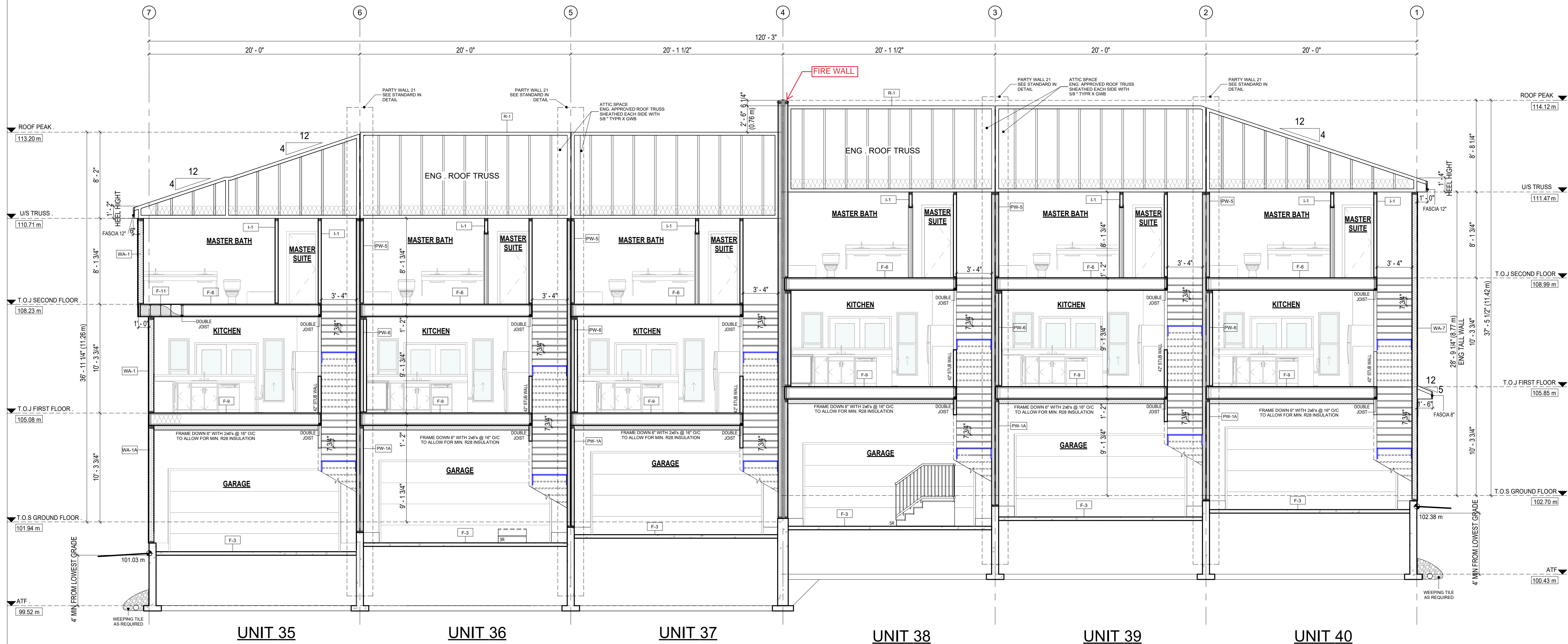
SCALE: 3/16" = 1'-0"



## NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM  
LOWEST GRADE



UNIT 35

UNIT 36

UNIT 37

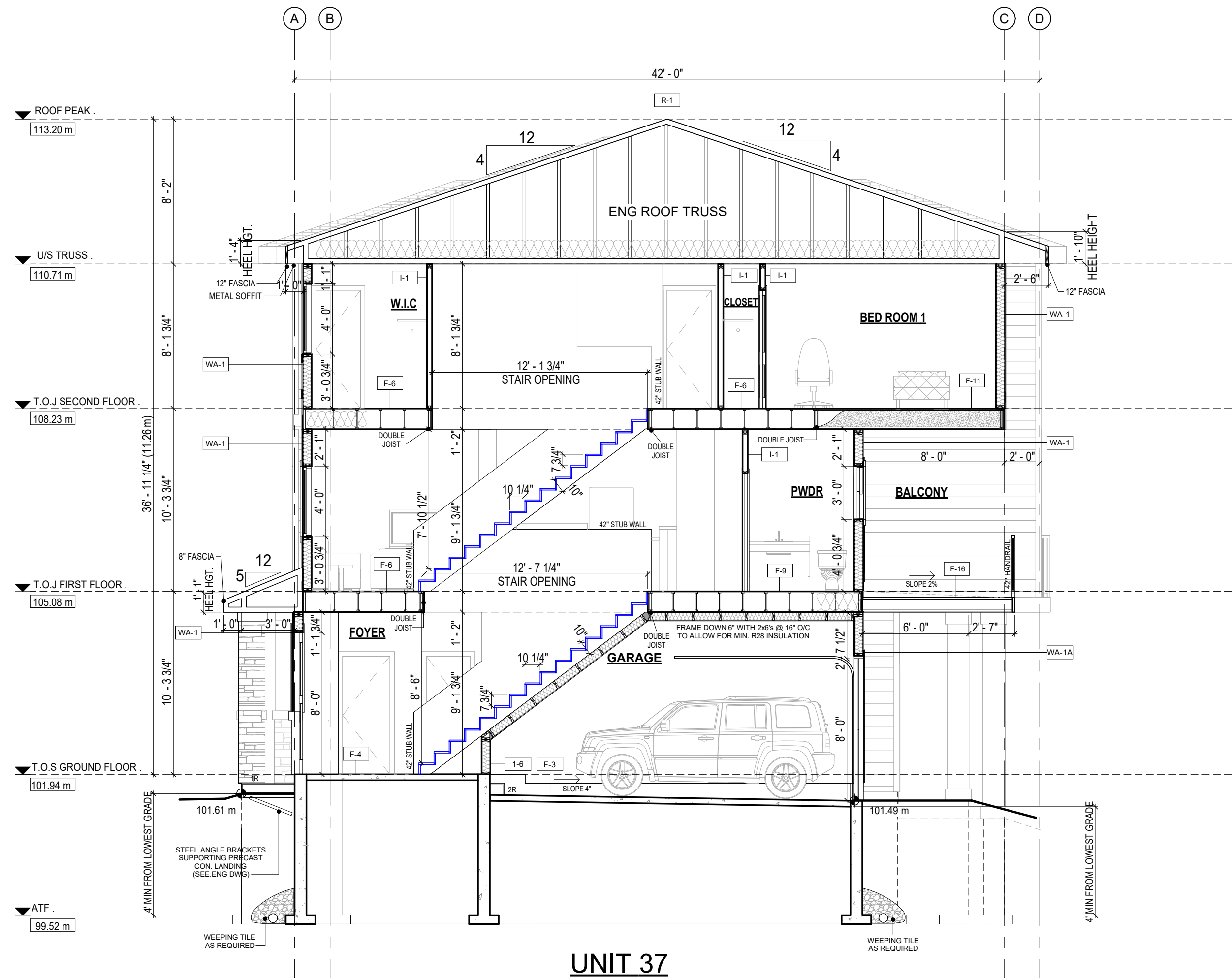
UNIT 38

UNIT 39

UNIT 40

## SECTION 1-1

1  
3/16" = 1'-0"

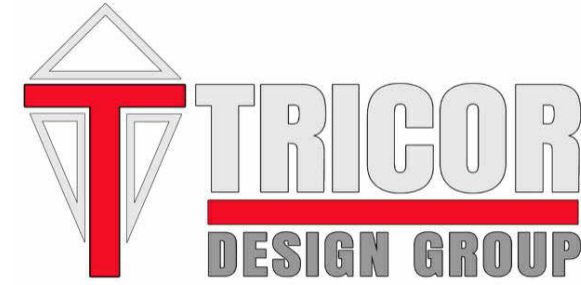


UNIT 37

## SECTION 2-2

2  
3/16" = 1'-0"

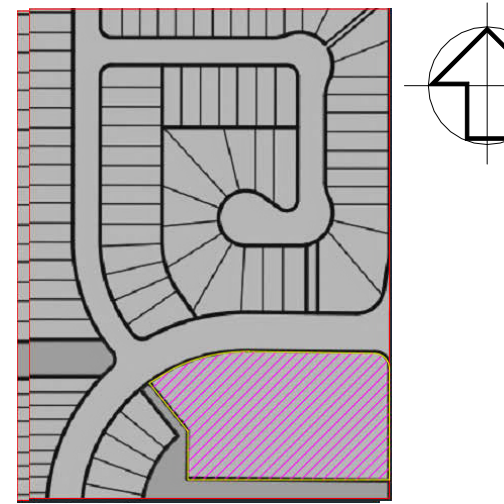
DESIGNED BY:



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## KEY PLAN



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## REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M./M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

## ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

## THE CLIENT:

LUXURIA HOMES  
AIRDRIE, AB

## PROJECT NAME &amp; ADDRESS:

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

## DRAWING SET:

DEVELOPMENT PERMIT SET

## DRAWING TITLE:

BUILDING SECTIONS  
BUILDING (7)

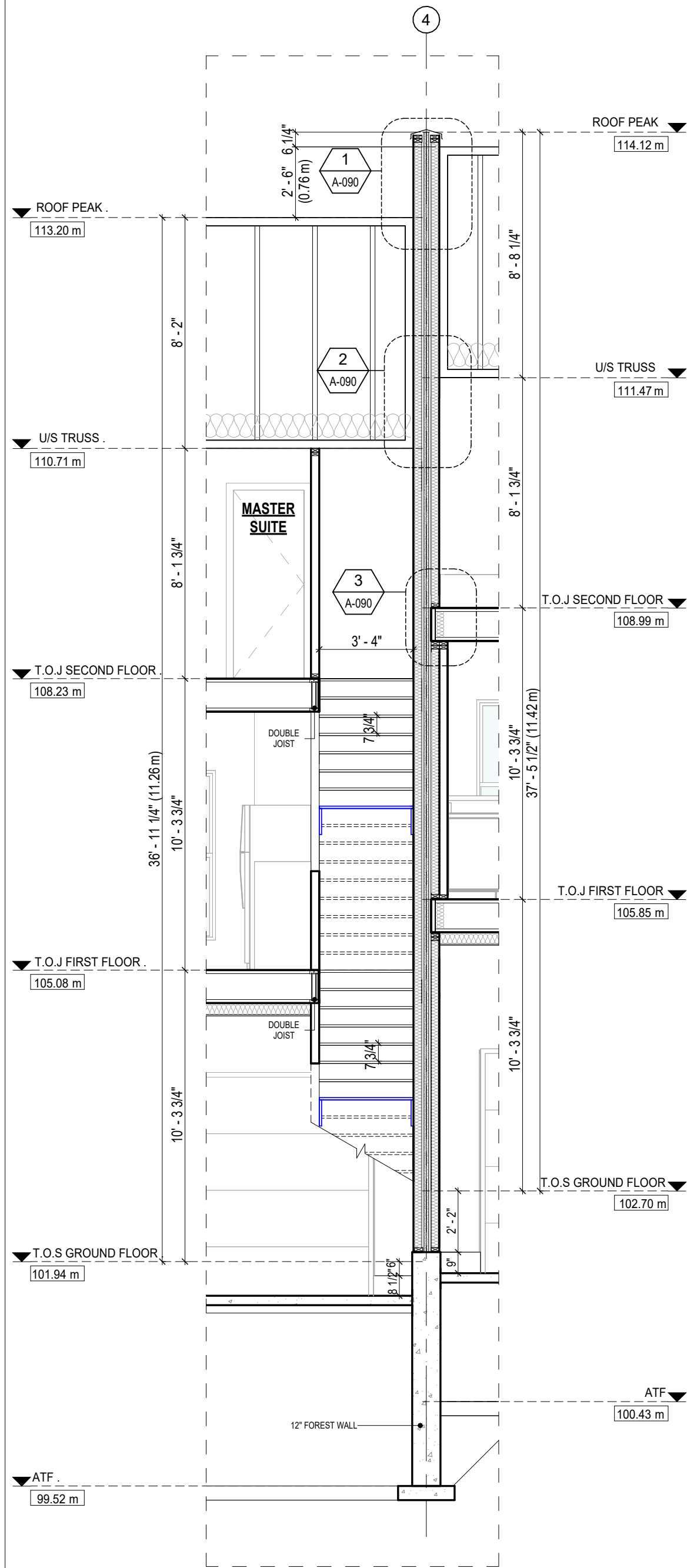
## DRAWING NO.

A-089

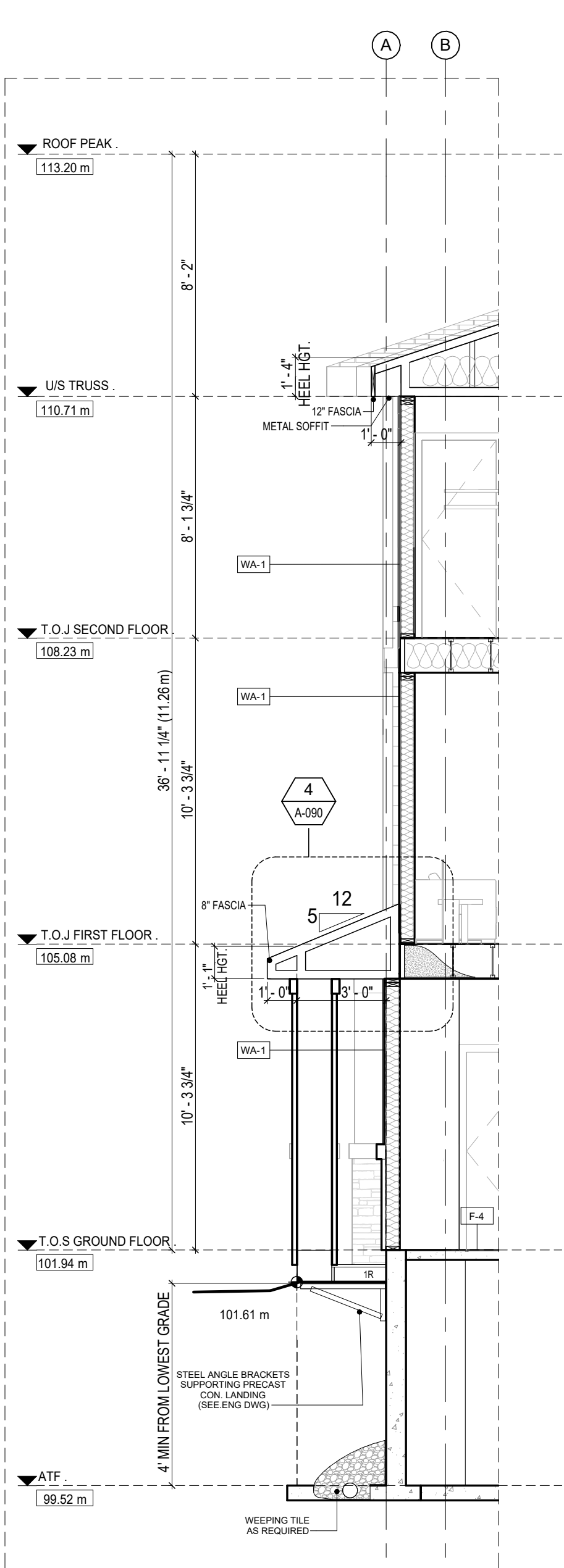
DRAWN BY: N.S.H.M./K.H.H.E.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"

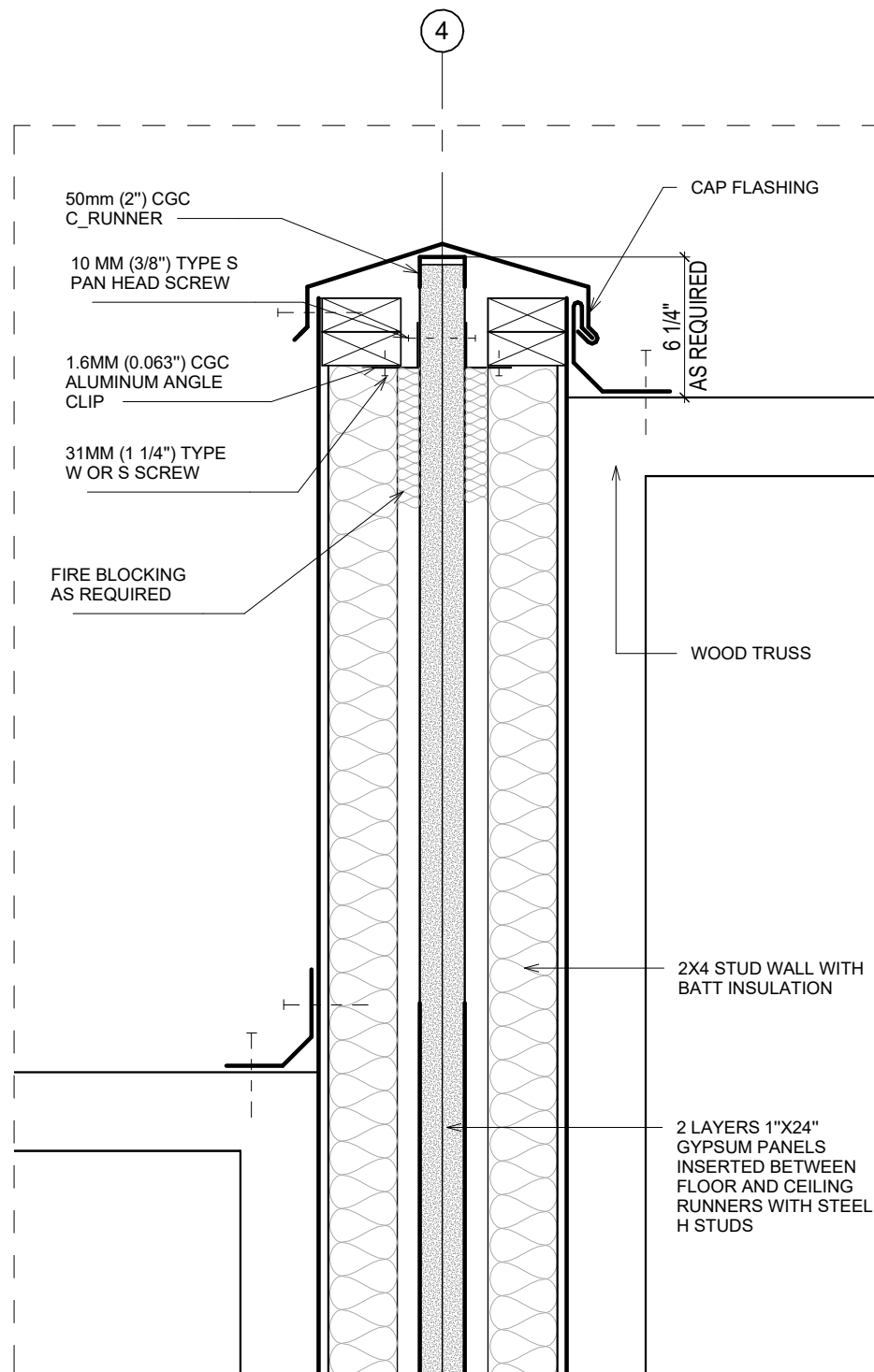




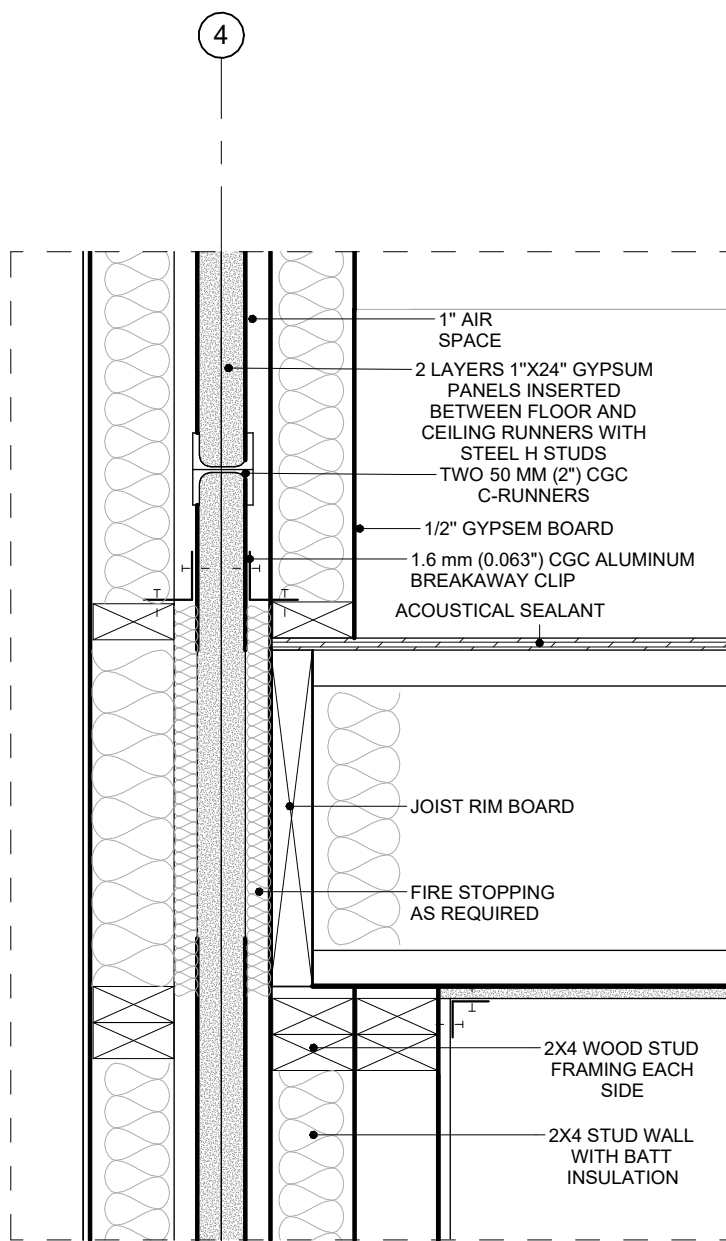
FIRE WALL SECTION  
1/4" = 1'-0"



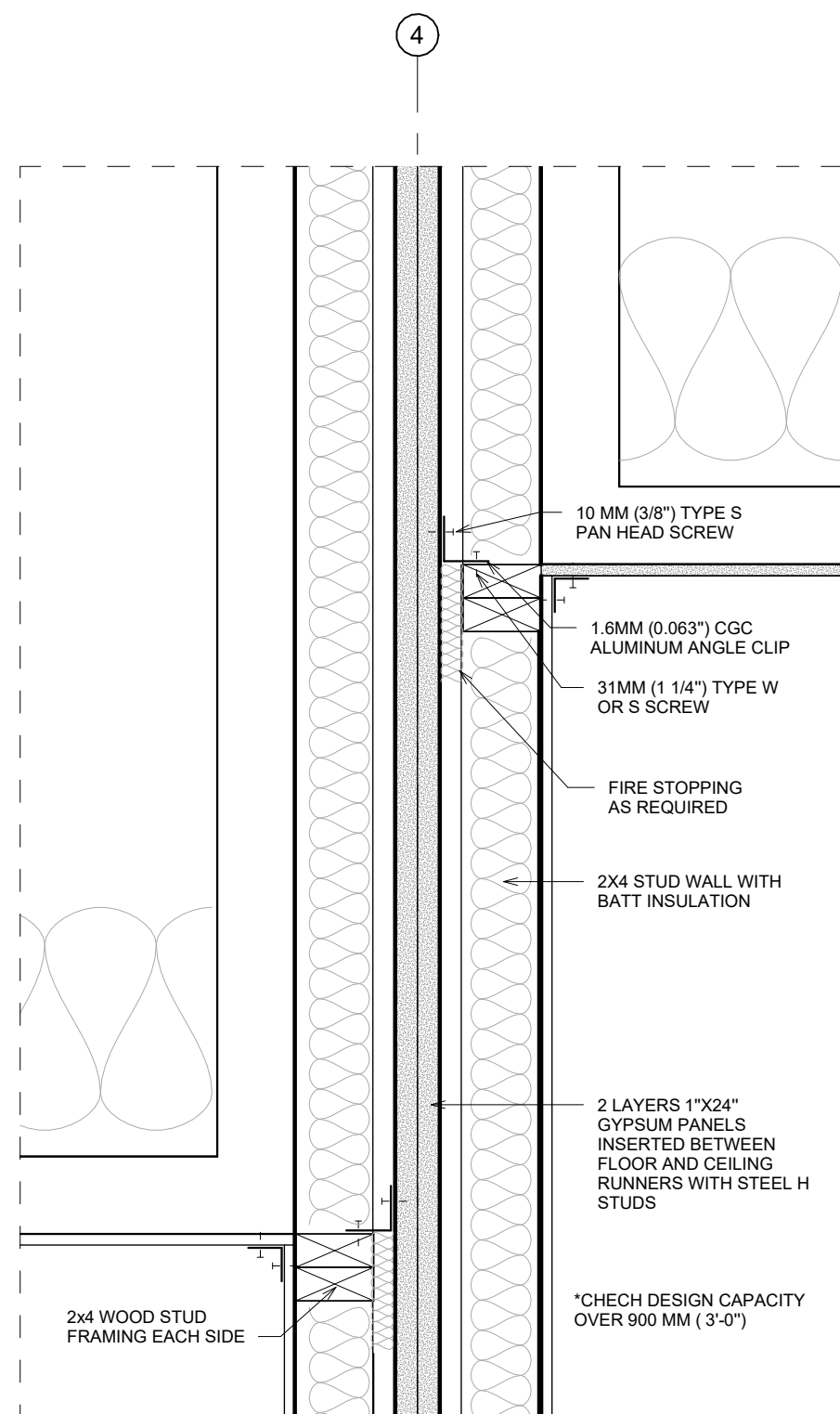
ENTRANCE WALL SECTION  
1/4" = 1'-0"



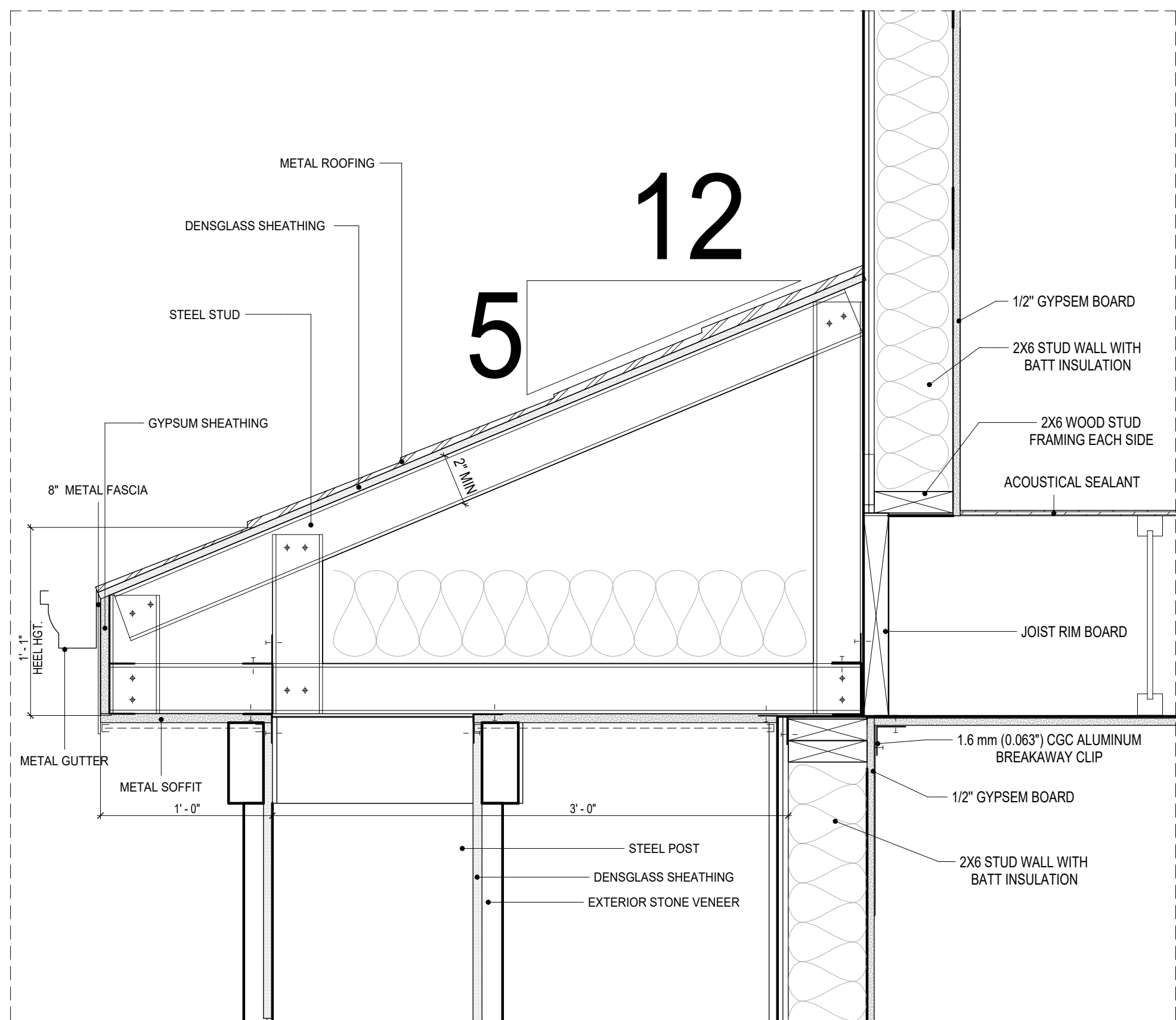
DETAIL (1)  
1 1/2" = 1'-0"



DETAIL (3)  
1 1/2" = 1'-0"



DETAIL (2)  
1 1/2" = 1'-0"



DETAIL (4)  
1 1/2" = 1'-0"

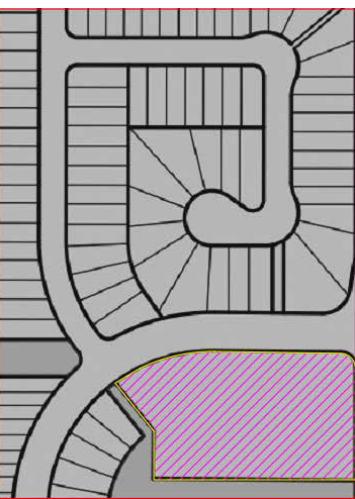
DESIGNED BY:



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tricordesigns.com

#202, 4216 10 STREET NE, CALGARY, AB, T2E 6K3  
PHONE: (403)203-1970  
FAX: (403)203-1990  
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_03_24	DTR	H.H.M.M./M.R.	E.Z.H.A./A.M.
03	25_05_14	DTR 2	A.A.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.H.M./K.H.H.E.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	A.A.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DETAILS SECTIONS  
BUILDING (7)

DRAWING NO.

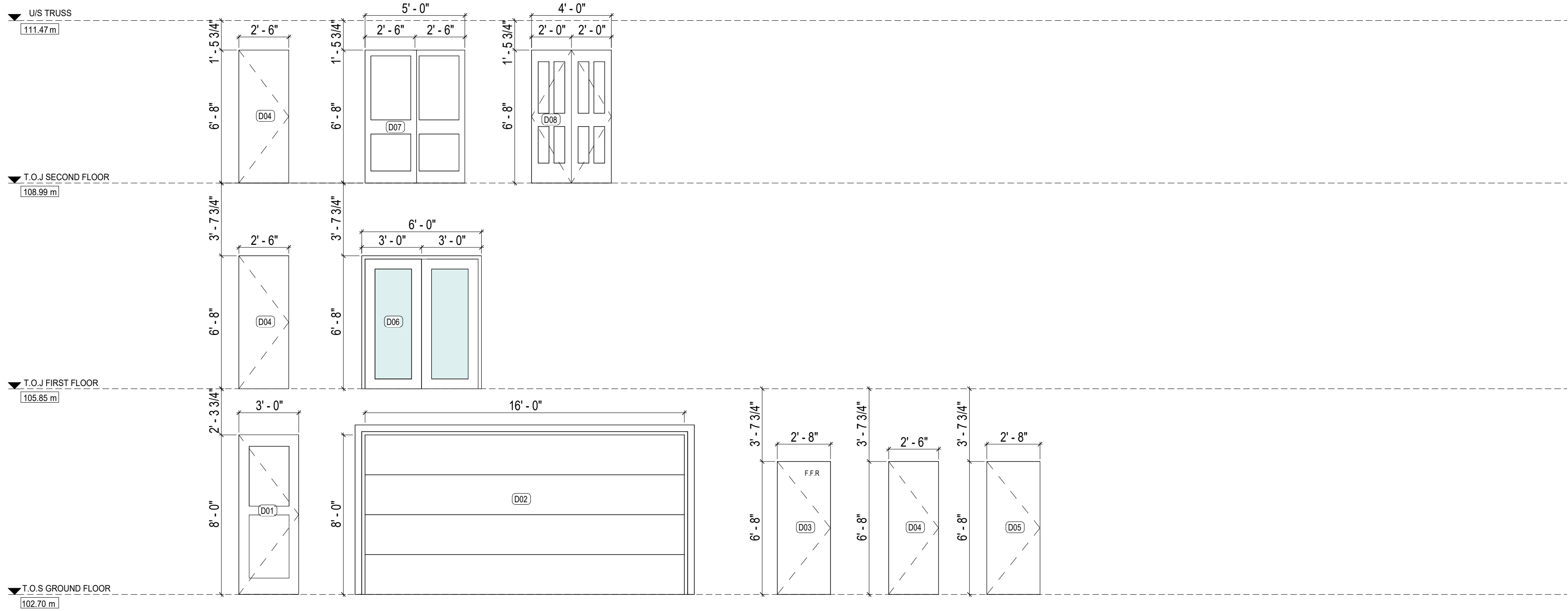
A-090

DRAWN BY: N.S.H.M./K.H.H.E.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_06\_14

SCALE: As indicated



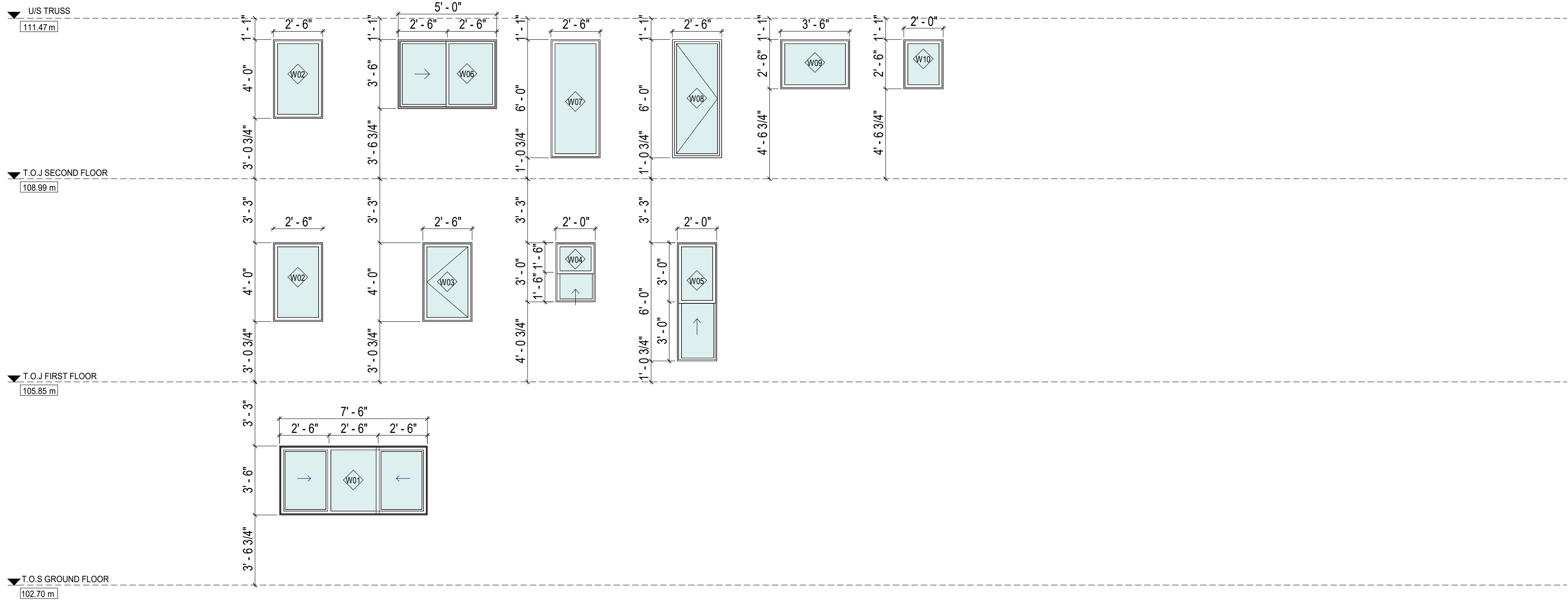
GARAGE DOOR MODEL:CLOPAY  
MODERN STEEL WLFULL GLAZING  
AND VERTICAL STACK



## DOORS TYPES

1  
1/4" = 1'-0"

W08 :WILL BE (WOCD).



## WINDOWS TYPES

2  
1/4" = 1'-0"

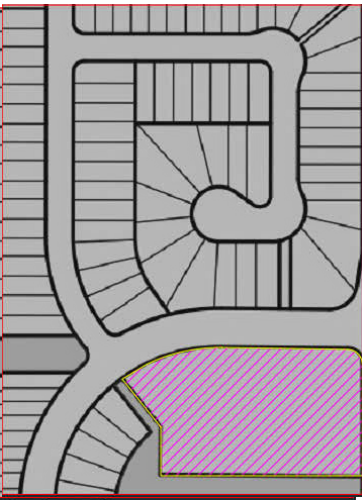
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.SHM/ K.H.H.E	E.ZH.A
02	25_03_24	DTR	H.H.M.M/ M.R	E.ZH.A/A.M
03	25_05_14	DTR 2	A.A	E.ZH.A/A.M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.SHM/ K.H.H.E	E.ZH.A
02	25_04_30	BUILDING PERMIT	A.A	E.ZH.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE, AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

DOORS AND WINDOWS TYPES  
BUILDING (7)

DRAWING NO.

A-091

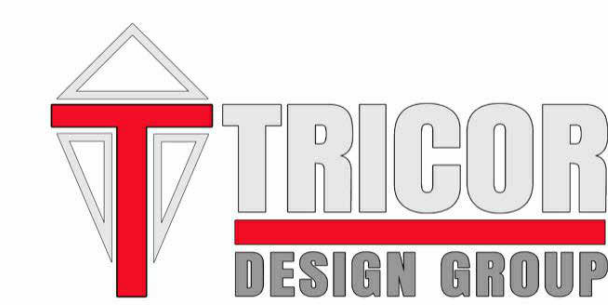
DRAWN BY: N.SHM/M.K.H. H.E/M.M.A.A  
CHECKED BY: E.ZH.A/A.M  
DATE: 25\_05\_14

SCALE: 1/4" = 1'-0"





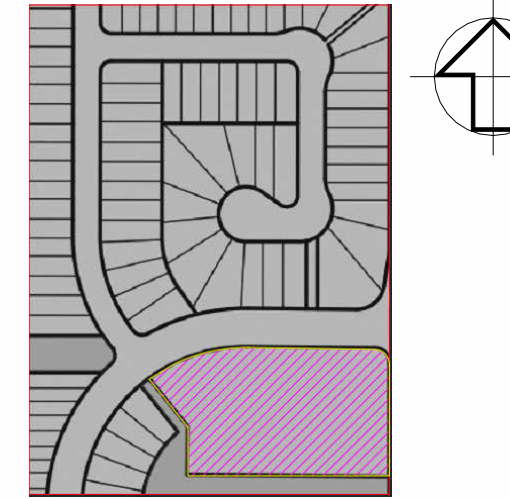
DESIGNED BY:



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_03_24	DTR	H.H.E./M.H.I	E.Z.H.A/A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H/ H.M.S./S.A./A	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

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PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

3D VIEWS  
BUILDING (8)

DRAWING NO.

A-092

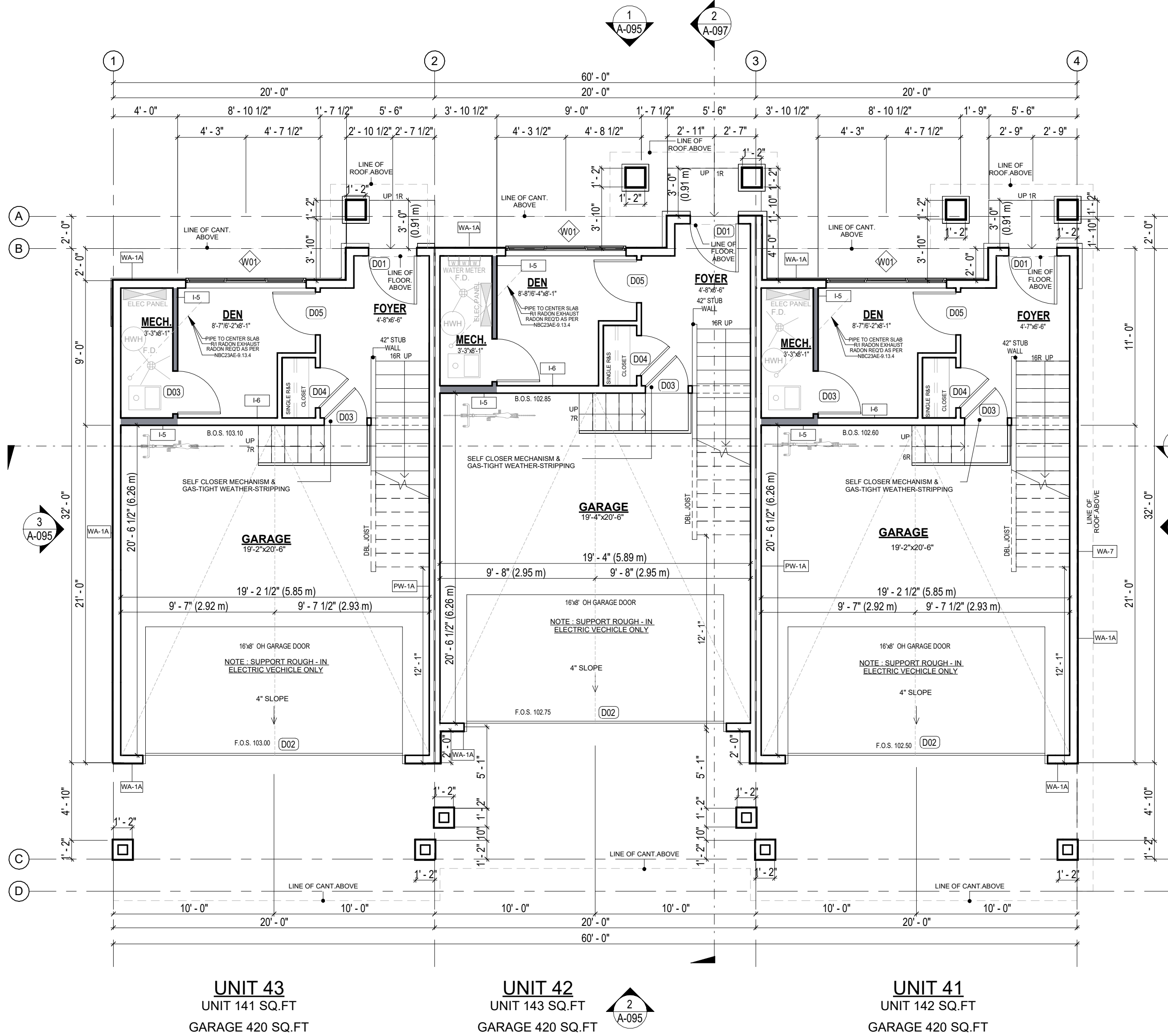
DRAWN BY: H.H.N./S.K.H/  
H.M.S./S.A./A Z.R  
CHECKED BY: E.Z.H.A/A/M  
DATE: 25\_05\_14

SCALE:



W08 :WILL BE (WOCD).

GROUND FLOOR NOTE : (WOCD)  
WILL BE USED WHEN THE  
DISTANCE BETWEEN SILL HEIGHT  
AND OUTSIDE GRADE IS MORE  
THAN (72") .AND THE OPENING  
PORTION WINDOW IS LESS THAN  
(36") ,THAT WILL ALLOW THE  
WINDOW ONLY TO OPEN TO (4")

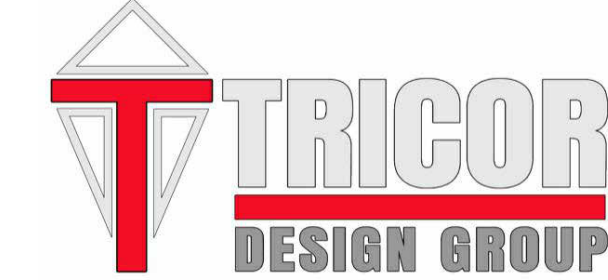


1 GROUND FLOOR PLAN  
3/16" = 1'-0"



2 FIRST FLOOR PLAN  
3/16" = 1'-0"

DESIGNED BY:

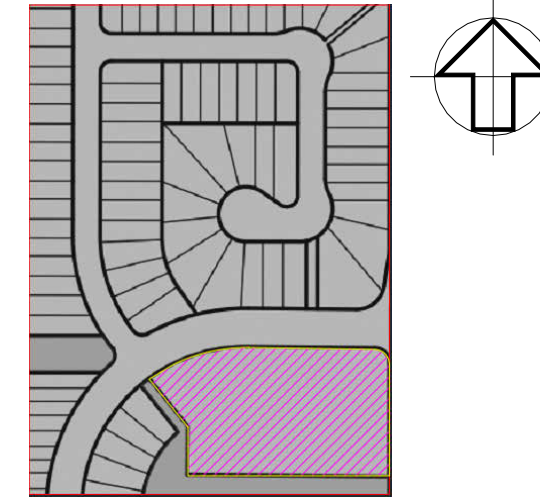


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tricordesigs.com

#202 -4216 10 STREET NE,  
CALGARY AB  
T2E 6K3

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KEY PLAN



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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H H.M.S.S/A/J.Z.R	E.Z.H.A
02	25_03_24	DTR	H.H.E.M/H.I	E.Z.H.A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S.K/H H.M.S.S/A/J.Z.R	E.Z.H.A
02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

GROUND\_FIRST\_FLOOR PLANS  
BUILDING (8)

DRAWING NO.

A-093

DRAWN BY:

H.H.N.S/K/H/  
H.M.S.S/A/J.Z.R

CHECKED BY:

E.Z.H.A/M

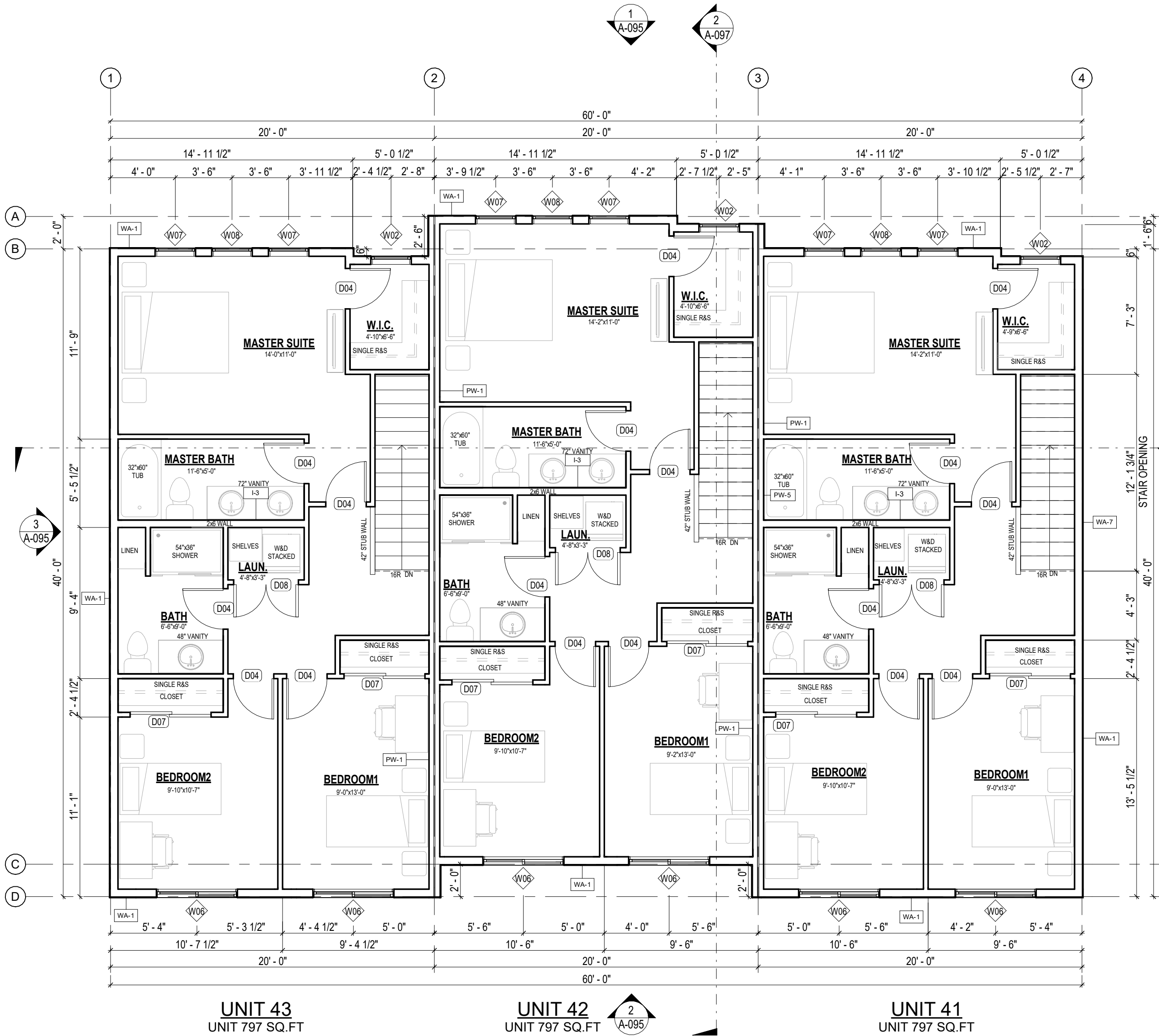
DATE:

25\_06\_14

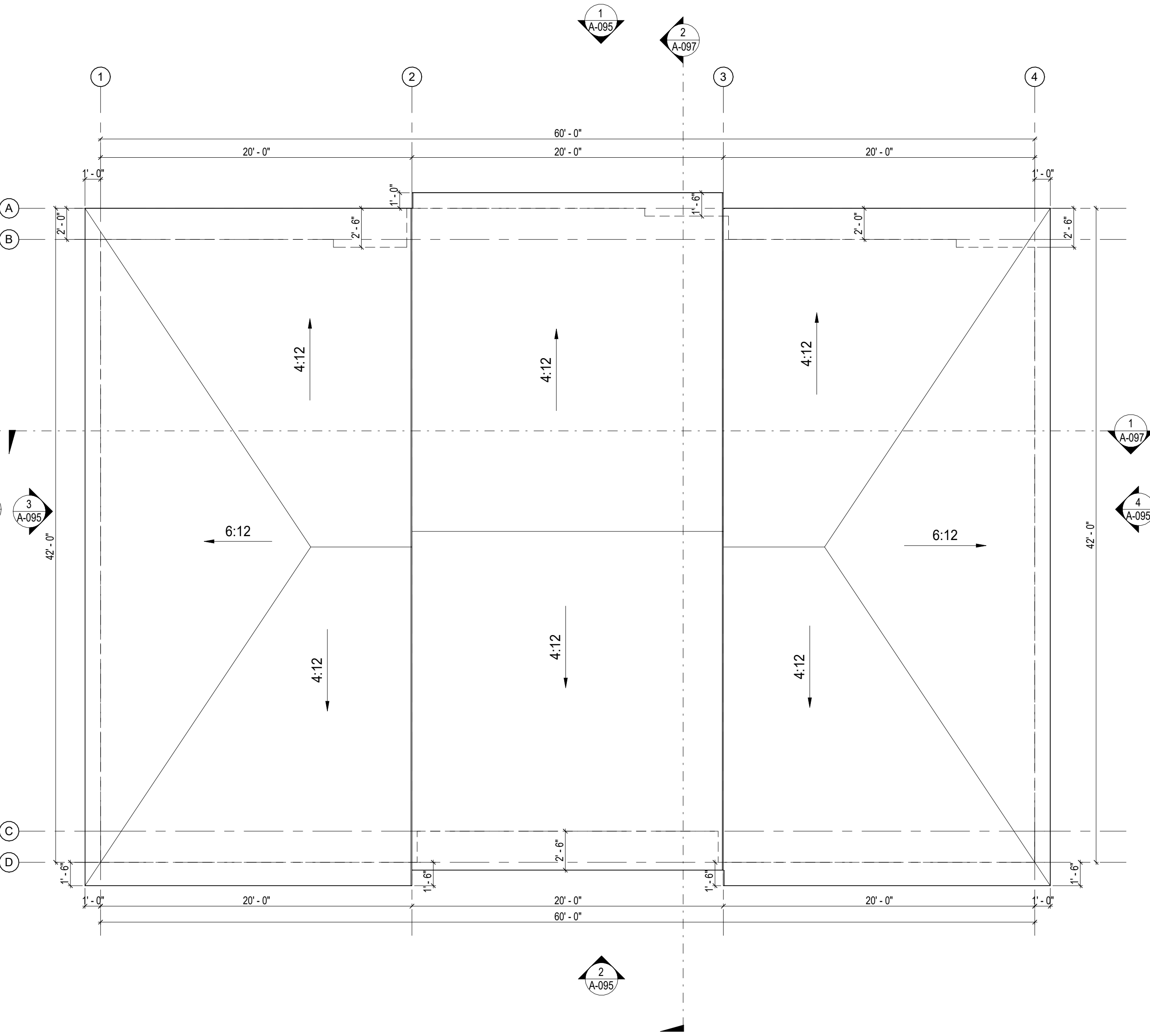
SCALE: 3/16" = 1'-0"



FIRST AND SECOND FLOOR NOTE :  
(WOCD) WILL BE USED WHEN THE  
DISTANCE BETWEEN TOJ AND SILL  
HEIGHT IS LESS THAN (36") , THAT  
WILL ALLOW THE WINDOW ONLY  
TO OPEN TO (4")

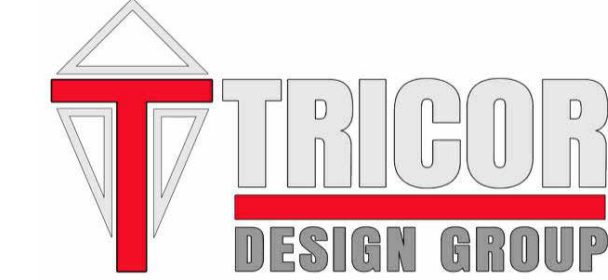


1 SECOND FLOOR PLAN  
3/16" = 1'-0"



2 ROOF FLOOR PLAN  
3/16" = 1'-0"

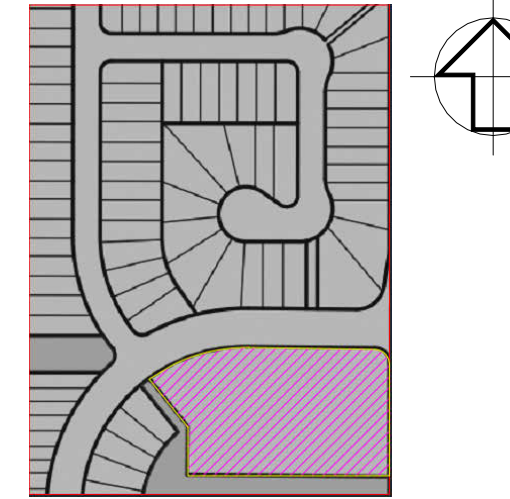
DESIGNED BY:



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REVISIONS:

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02	25_03_24	DTR	H.H.E./M.H.I.	E.Z.H.A./A.M.
02	25_05_14	DTR 2	M.R.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECOND ROOF FLOOR PLANS  
BUILDING (8)

DRAWING NO.

A-094

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R.

CHECKED BY: E.Z.H.A./A.M.

DATE: 25\_06\_14

SCALE: 3/16" = 1'-0"



MATERIALS LEGEND	
NO.	NAME
01	ASPHALT SHINGLE
02	PRE-FINISHED METAL FASCIA 12"
03	PRE-FINISHED METAL FASCIA 8"
04	HORIZONTAL SIDING - HARDIE
05	PANELS
06	EXTERIOR MANUFACTURED STONE VENEER
07	EXTERIOR MANUFACTURED BRICK VENEER
08	TRIM - HORIZONTAL /VERTICAL 6"
09	TRIM - HORIZONTAL /VERTICAL 12"
10	CORNER BOARD 4"
11	BAND 10"

W8 :WILL BE (WOCD).

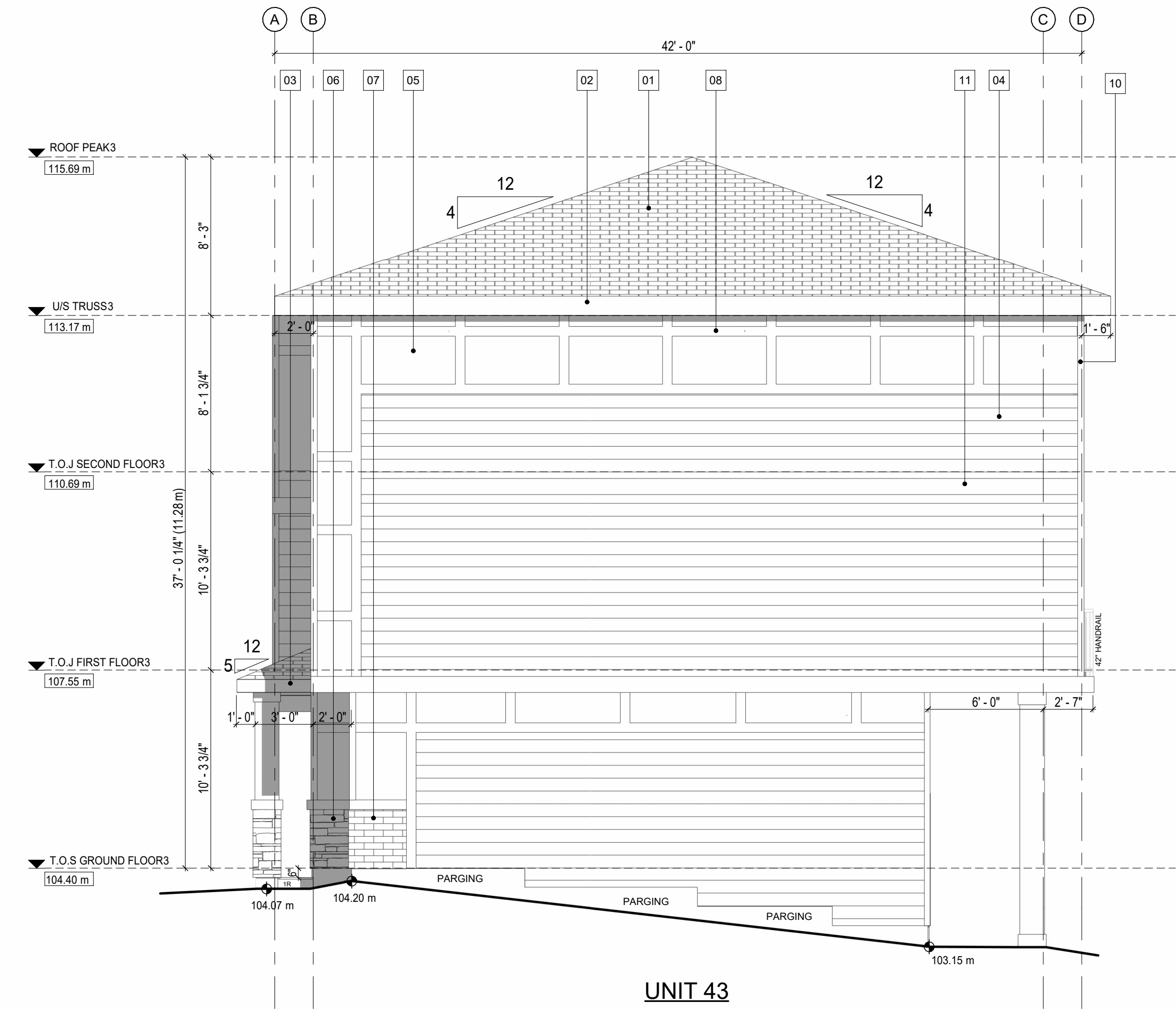
GARAGE DOOR MODEL : CLOPAY  
MODERN STEEL W/FULL GLAZING  
AND VERTICAL STACK GLAZING



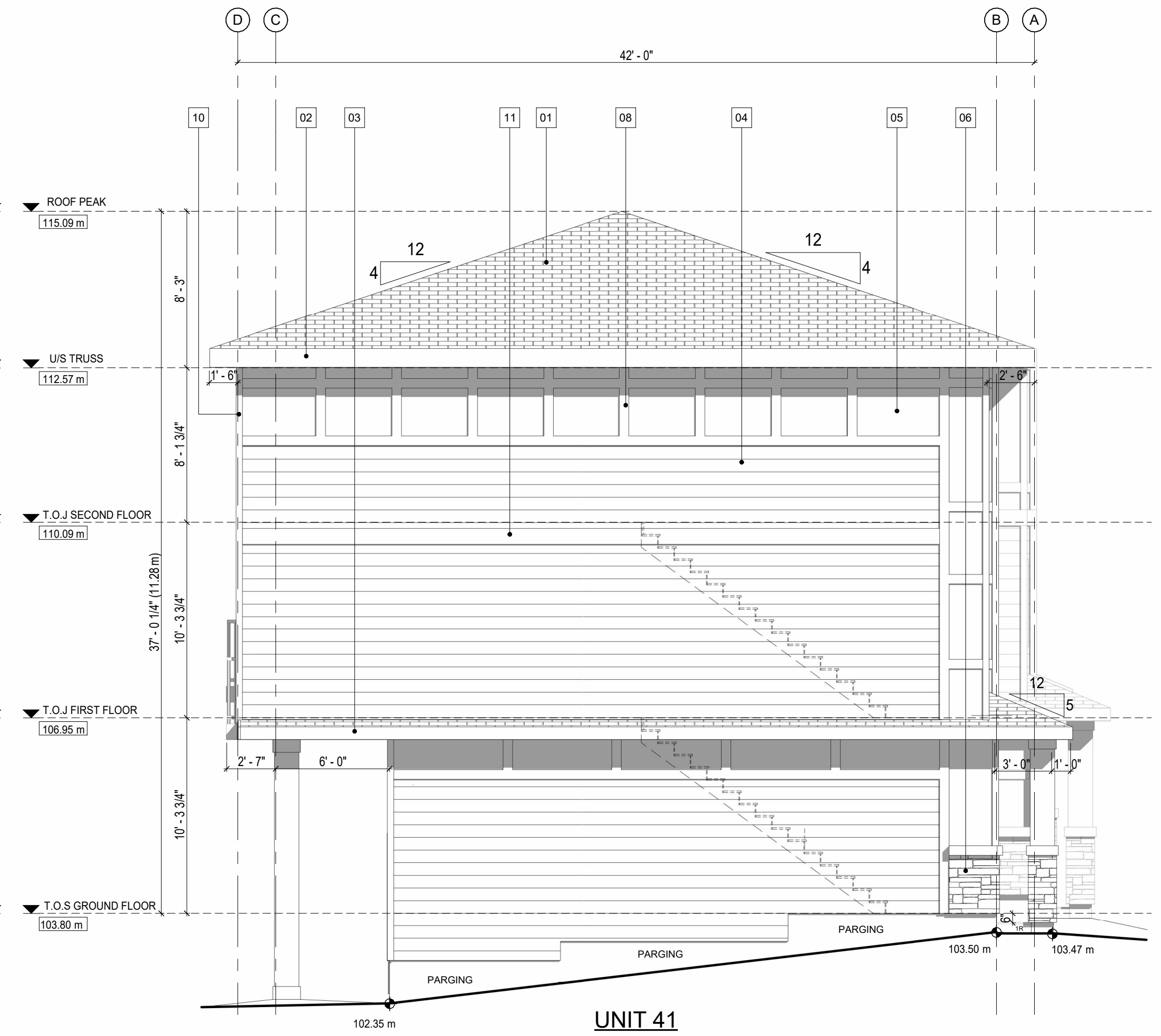
1 FRONT (NORTH) ELEVATION  
3/16" = 1'-0"



2 REAR (SOUTH) ELEVATION  
3/16" = 1'-0"



3 RIGHT (WEST) ELEVATION  
3/16" = 1'-0"



4 LEFT (EAST) ELEVATION  
3/16" = 1'-0"

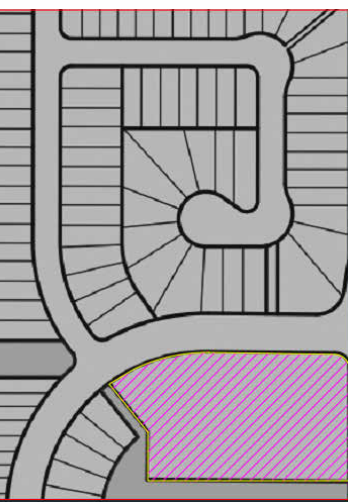
DESIGNED BY:



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02	25_05_14	DTR 2	M.R.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

FRONT - REAR - LEFT - RIGHT  
ELEVATIONS  
BUILDING (8)

DRAWING NO.

A-095

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R.  
CHECKED BY: E.Z.H.A./A.M.  
DATE: 25\_05\_14  
SCALE: 3/16" = 1'-0"





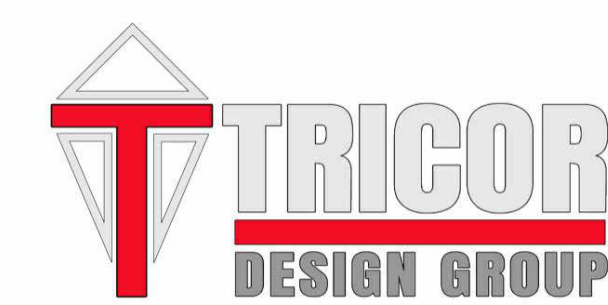
UNPROTECTED OPENINGS	UNIT 42		UNIT 41	
CODE CHECK EXPOSED BUILDING FACE	646 SQ.FT	60.01 SQ.M	674 SQ.FT	62.65 SQ.M
SETBACK	13' - 11"	4.24 m	15' - 1"	4.60 m
PERCENTAGE OF ALLOWED OPENINGS	29.14%		33.18%	
SQ.FTG.OF ALLOWED OPENING	188.22 SQ.FT	17.49 SQ.M	223.77 SQ.FT	20.79 SQ.M
ACTUAL SQ.FTG.OF OPENINGS	105.00 SQ.FT	9.75 SQ.M	105.00 SQ.FT	9.75 SQ.M
MAX SOFT OF INDIVIDUAL OPENING (50%)	94.11 SQ.FT	8.74 SQ.M	111.88 SQ.FT	10.39 SQ.M

1

REAR ELEVATION LIMITING DISTANCE

3/16" = 1'-0"

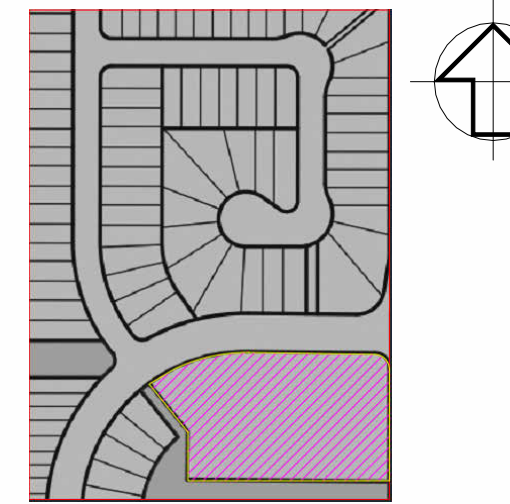
DESIGNED BY:



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tricordesigns.com

#202 - 4216 10 STREET NE, CALGARY AB T2E 6K3  
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02	25_03_24	DTR	H.H.E./M.H.I	E.Z.H.A/A/M
02	25_05_14	DTR 2	M.R	E.Z.H.A/A/M

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
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02	25_04_30	BUILDING PERMIT	Z.R	E.Z.H.A

THE CLIENT :

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AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

UN PROTECTED OPENINGS  
BUILDING (8)

DRAWING NO.

A-096

DRAWN BY: H.H.N./S.K.H/  
H.M.S./S.A./A/Z.R  
CHECKED BY: E.Z.H.A/A/M  
DATE: 25\_06\_14

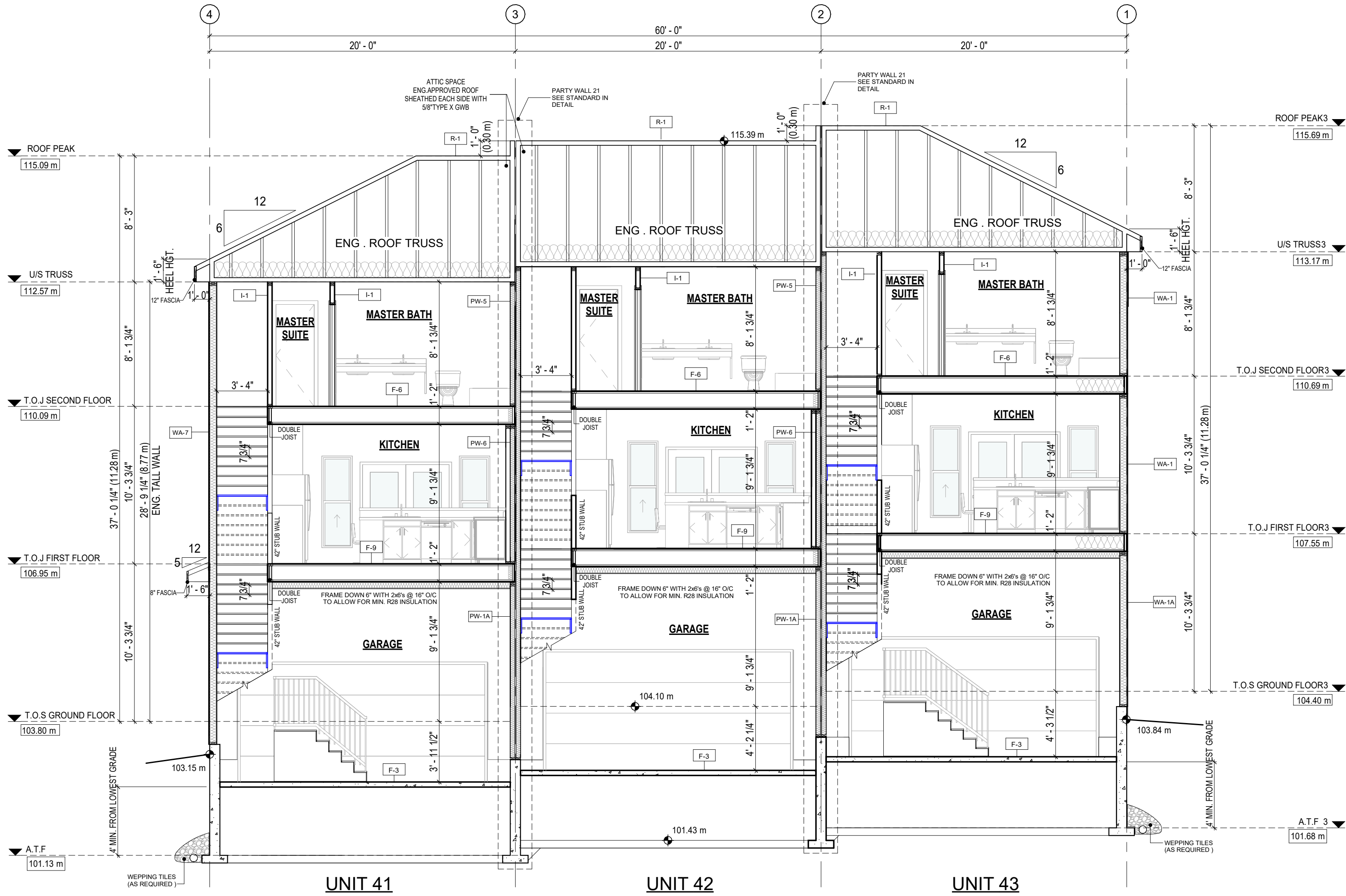
SCALE: 3/16" = 1'-0"



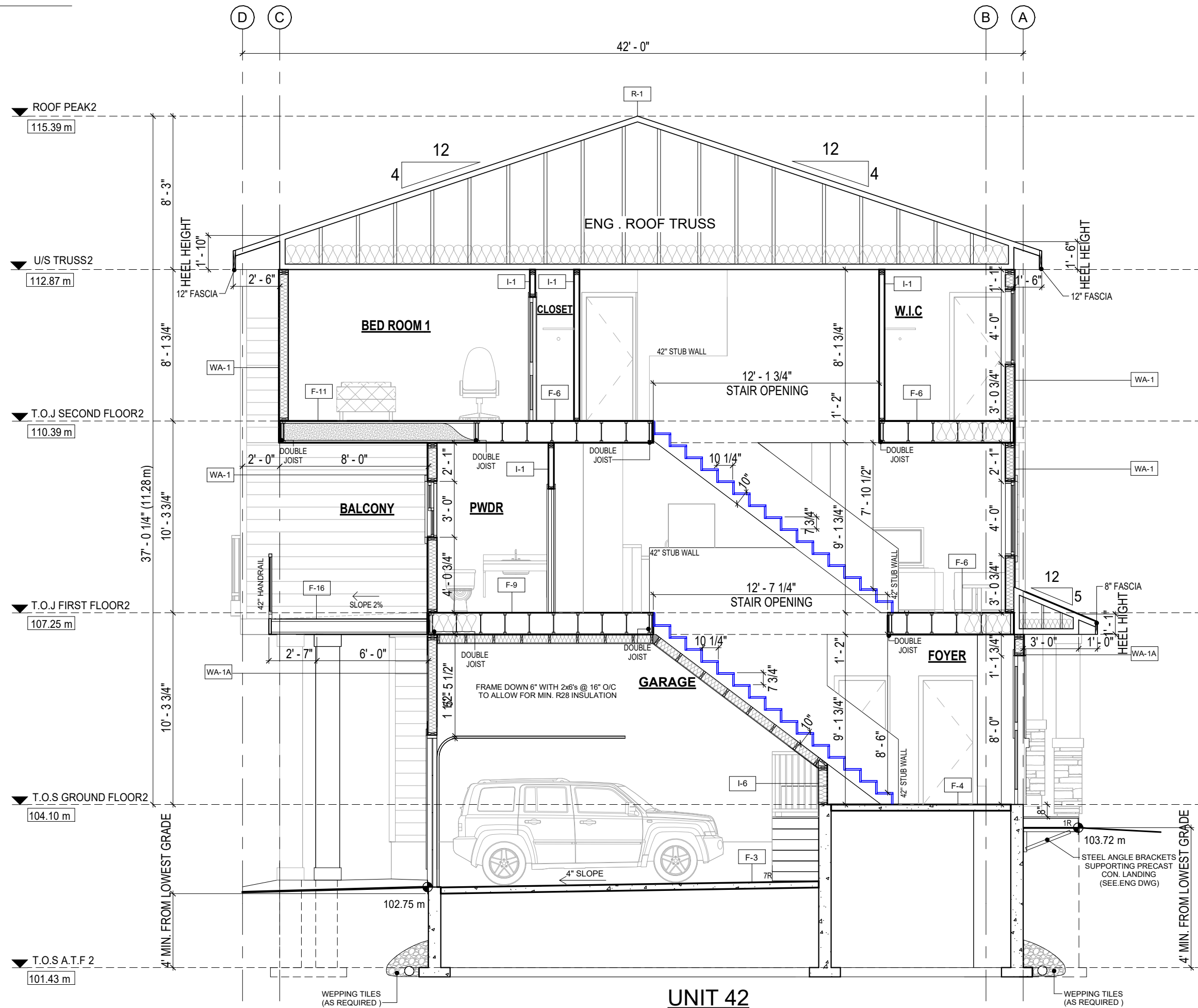
NOTES:

" FOLLOW ENGINEERING DESIGN  
FOR SIZES AND SPECS "

ATF LEVEL IS 4" MINIMUM FROM  
LOWEST GRADE

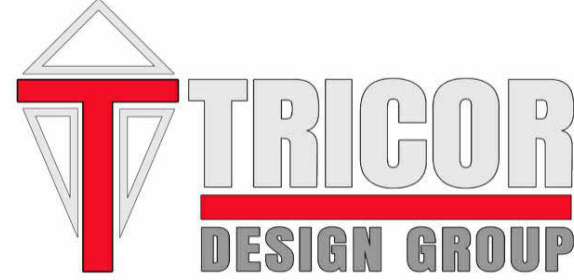


1 SECTION 1-1  
3/16" = 1'-0"



2 SECTION 2-2  
3/16" = 1'-0"

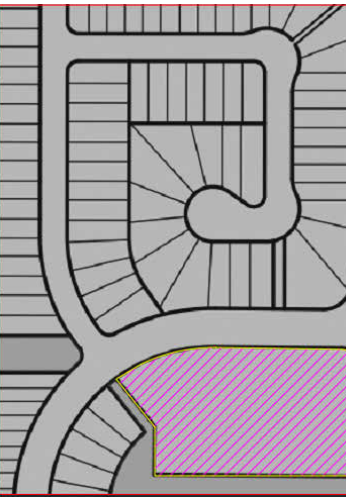
DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.  
tricordesigns.com

#202 - 4216 10 STREET NE. PHONE: (403)203-1970  
CALGARY AB FAX: (403)203-1990  
T2E 6K3 EMAIL: info@tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_03_24	DTR	H.H.E./M.H.I.	E.Z.H.A./A.M.
02	25_05_14	DTR 2	M.R.	E.Z.H.A./A.M.

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHKD BY
01	24_10_07	DEVELOPMENT PERMIT	N.S./K.H./H.M.S./S.A.A.	E.Z.H.A.
02	25_04_30	BUILDING PERMIT	Z.R.	E.Z.H.A.

THE CLIENT :

LUXURIA HOMES  
AIRDRIE ,AB

PROJECT NAME & ADDRESS :

MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

SECTION1-1-SECTION2-2  
BUILDING (8)

DRAWING NO.

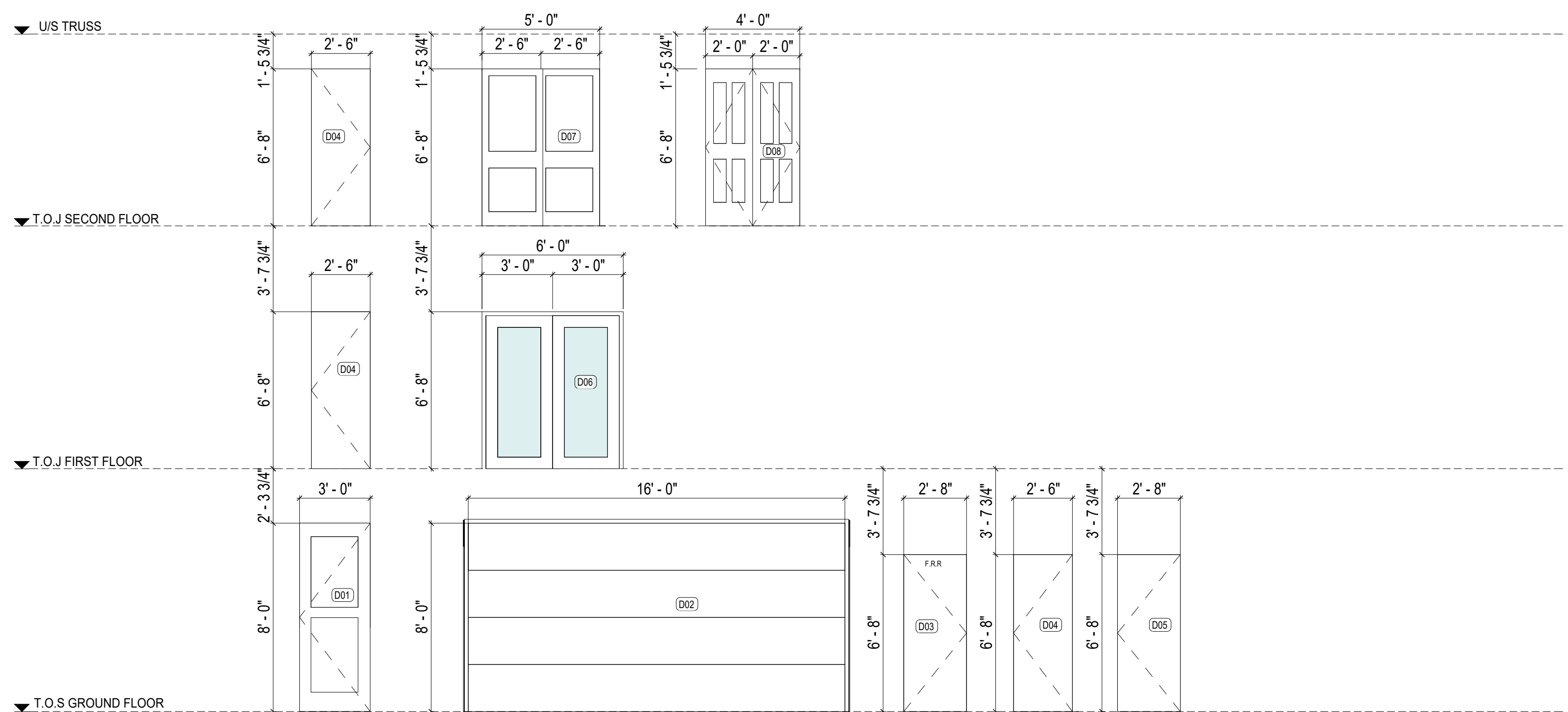
A-097

DRAWN BY: H.H.N./S.K.H./H.M.S./S.A.A./Z.R. CHECKED BY: E.Z.H.A./A.M. DATE: 25\_05\_14

SCALE: 3/16" = 1'-0"



GARAGE DOOR MODEL : CLOPAY  
MODERN STEEL W/FULL GLAZING  
AND VERTICAL STACK GLAZING

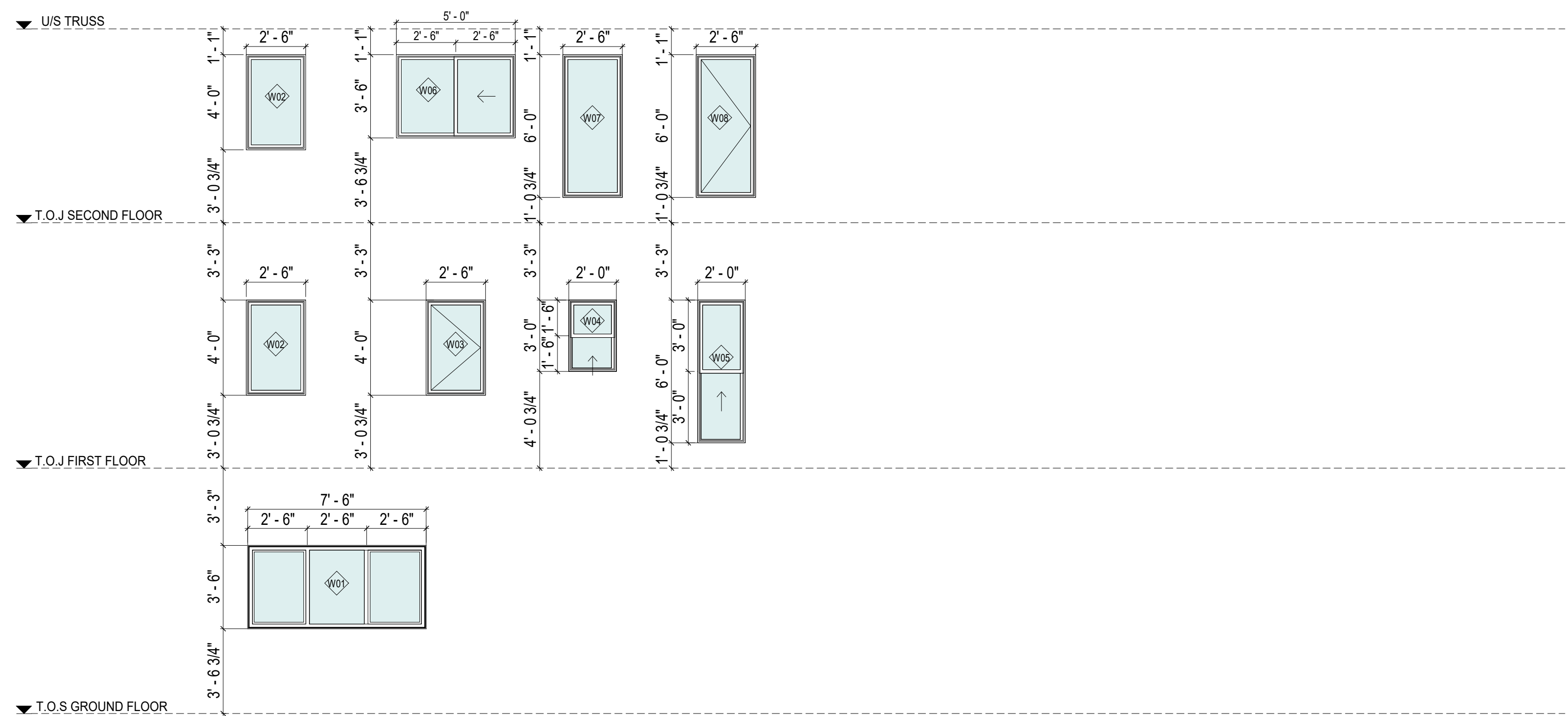


## 4 DOORS TYPES

---

1/4" = 1'-0"

W8 :WILL BE (WOCD).



## WINDOWS TYPES

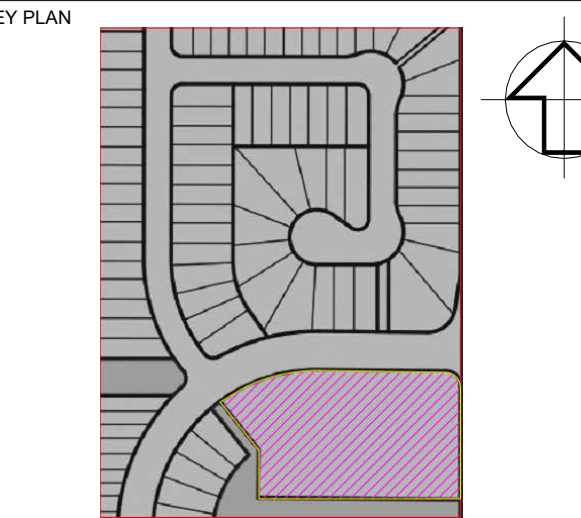
1/4" = 1'-0"



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tricordesigns.com

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T2E 6K3

PHONE: (403)203-1970  
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EMAIL: [info@tricordesigns.com](mailto:info@tricordesigns.com)



## NOTES

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REVISIONS:				
NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	25_01_12	TRAFFIC REVIEW SCOPE	N.S.K/H/ H.M/S.S/A/A	E.Z/H/A
02	25_03_24	DTR	H.H/E.M/H/I	E.Z/H/A/A/A
02	25_05_14	DTR 2	M.R	E.Z/H/A/A/A

ISSUES:				
O.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	24_10_07	DEVELOPMENT PERMIT	N S /K/H/ H/M/S.S/A/A	E.Z/H/A
02	25_04_30	BUILDING PERMIT	Z R	E.Z/H/A

### THE CLIENT :

**LUXURIA HOMES**  
**AIRDRIE ,AB**

PROJECT NAME &amp; ADDRESS :

**MULTI-FAMILY  
TOWNHOMES  
3010 KEY DRIVE SW  
LOT 1, BLOCK 1, PLAN 2312456**

DRAWING SET

## DEVELOPMENT PERMIT SET

DRAWING TITLE

## DOORS & WINDOWS TYPES BUILDING (8)

DRAWING NO.

**A-098**

AWN BY: H.H/N.S/K.H/ H.M/S.S/A.A/Z.R	CHECKED BY: E.Z/H.A/A.M	DATE: 25_05_14
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SCALE:  $1/4" = 1'-0"$