



CITY OF
AIRDRIE

Development Permit Application for Development Permit

Property Information

Municipal Address (if applicable)

13 Willow Green SW Airdrie AB T4B 5M3

Legal Description (all/parts of)

Lot 15

Block 05

Registered Plan 2312007

Development Proposal

Description Detached Garage

Proposed Use Personal use

Authorization & Consent

☐ **Use of Information**

I hereby consent to the use of information included in this application for promotional purposes, news, research and/or educational purposes.

☒ **Right of Entry**

I authorize Planning Department staff to access my property for the purposes of evaluating this application.

Declarations

Name of Applicant:

* MARK SCHECK

Signature of Applicant:

x

Date: AUGUST 28, 2024

Application Info (for office use only)

DP #

Fees \$

Receipt #

Date

Approved By

☐ CISG / ☐ DO / ☐ SDAB

Refused By

☐ CISG / ☐ DO / ☐ SDAB

Permit Issuance

Permit Expiry

Applicant

Name Mark SCHECK

Business Name

Mailing Address 13 Willow Green SW

City Airdrie

Province ALBERTA

Postal Code T4B 5M3

Phone (403) 850-9908

Email (required) marksccheck1@gmail.com

Registered Landowner (if not the applicant)

Name

Business Name

Mailing Address

City

Province

Postal Code

Phone

Email (required)

The information on this form is collected under the authority of Section 33(c) of the Freedom of Information and Protection of Privacy Act and the Land Use Bylaw. It is used solely for Planning, Engineering, Economic Development, and Assessment/Taxation purposes. Questions on collecting this information can be directed to the Team Leader, Planning & Development Department at 400 Main Street SE, Airdrie, Alberta, T4B 3C3, telephone 403-948-8832.

See reverse for application requirements



Development Permit Minimum Application Requirements

Item	Format Requirements
<input checked="" type="checkbox"/> Application Fee	See the current Planning Fee Schedule
<input type="checkbox"/> Authorization Letter	An original letter of authorization from the registered landowner. (if the applicant is not the landowner)
<input checked="" type="checkbox"/> Certificate of Title(s)	One copy of the property Certificate of Title dated no later than 30 days from the date of the application. For a copy of the Certificate of Title(s), visit the land titles website at www.spin.gov.ab.ca or visit a local registry office.
<input checked="" type="checkbox"/> Site Plan	8.5" x 11" or 11" x 17" sized scaled plan showing (dimensions in metric): <ul style="list-style-type: none"> • Legal description, address, legal description, land use designation(s) • Coloured Context Plan and rendering • Site area, total gross floor area of building(s), gross floor area of each bay/unit, coverage of building(s), total lot coverage • Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) • Building setbacks • All easements (i.e., utility rights-of-way) • Fencing/gates • Garbage enclosure location(s) • Lighting location(s) • Other amenity location(s) (i.e., benches) • Snow storage location(s) • Sign location(s) • Bicycle rack location(s) • Parking stall locations and number • Access points • Internal roads, sidewalks, and pathways, etc. • Abutting roads, sidewalks, and pathways, etc.
<input type="checkbox"/> Coloured Landscaping Plan	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • Site area, coverage of landscaping • Natural features of the land • Surface treatment of all areas (i.e., paved, gravel, sod, mulch, etc.) • Number, location, size, height, type of plantings (trees and shrubs) • Berming • Method of irrigation
<input checked="" type="checkbox"/> Floor Plan(s)	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • The layout of the interior and exterior walls and identification of all proposed and existing rooms on all floors (including mezzanine areas), their uses, floor area, and TOTAL floor area. • All doors, stairs, and window locations.
<input checked="" type="checkbox"/> Coloured Elevation Plan(s)	8.5" x 11" or 11" x 17" sized scaled set showing (dimensions in metric): <ul style="list-style-type: none"> • All sides, including a description of the exterior finishing materials and Fascia sign details (if any).
<input type="checkbox"/> DSSP	Engineered stamped scaled drawing set, including: <ul style="list-style-type: none"> • Site Servicing Plan • Grading Plan • Stormwater Management Plan (and calculations) • Erosion and Sediment Control Plans

The above list is a generalized list of requirements. The Development Authority may require additional information (see Land Use Bylaw No. B-01/2016).



LAND TITLE CERTIFICATE

S

LINC

0039 659 115

SHORT LEGAL

2312007;5;15

TITLE NUMBER

241 125 726

LEGAL DESCRIPTION

PLAN 2312007

BLOCK 5

LOT 15

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;1;27;10;SE

MUNICIPALITY: CITY OF AIRDRIE

REFERENCE NUMBER: 231 312 781 +42

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
241 125 726	21/05/2024	TRANSFER OF LAND		\$822,144	SEE INSTRUMENT

OWNERS

MARK SCHECK

AND

ERIN SCHECK

BOTH OF:

13 WILLOW GREEN SW

AIRDRIE

ALBERTA T4B 5M3

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER

DATE (D/M/Y)

PARTICULARS

231 312 784 12/10/2023 UTILITY RIGHT OF WAY
GRANTEE - THE CITY OF AIRDRIE.
AS TO PORTION OR PLAN:2312008

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
241 125 726

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
231 312 787	12/10/2023	CAVEAT RE : EASEMENT AND RESTRICTIVE COVENANT
231 312 788	12/10/2023	RESTRICTIVE COVENANT
231 368 620	29/11/2023	ENCUMBRANCE ENCUMBRANCEE - 1811126 ALBERTA LTD. 2500, 450 - 1 STREET S.W. CALGARY ALBERTA T2P5H1
241 125 727	21/05/2024	MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE EAST 10205-101 STREET NW, 5TH FL EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$675,000

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 28 DAY OF AUGUST,
2024 AT 10:20 A.M.

ORDER NUMBER: 51467344

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Date Printed: April 16, 2025

SCHECK, MARK
13 WILLOW GREEN SW
AIRDRIE, AB T4B 5M3

TIME EXTENSION APPROVAL LETTER

Application Number: PL2401878
Proposed Use: Accessory Building (Detached Garage)

Property Address	Legal Description
13 WILLOW GREEN SW, AIRDRIE, AB	Lot: 15, Block: 5, Plan: 2312007

Dear Mr. Scheck,
In response to your time extension request received within the requisite 40-day period, the City of Airdrie hereby grants a 6-month time extension for the commencement of Development Permit PL2401878.

The new commencement period shall begin on April 16, 2025, and expire on October 16, 2025.

Yours truly,



Geoff Rice
Current Planning
City of Airdrie

Shop
Storage

1118 SqFt
605 SqFt

Total Structure

1720 SqFt

Scheck



General Notes:

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, AND ENGINEERING PACKAGES PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL BUILDING CODES AND LOCAL CODES.

CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. IT IS UPON THE BUILDER OR CONTRACTOR TO CONSTRUCT ALL STRUCTURES TO THE FEDERAL AND/OR MUNICIPAL BUILDING CODE.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

Non structural components of the house exterior may not look as depicted, this is a just a visual illustration.



DRAWN BY:

SEEL designs

SHEET TITLE:

Scheck

SHEET TITLE:

Permit Plan

PROJECT DESCRIPTION:

13 Willow Green SW
Airdrie, AB T4B 5M3

DRAWINGS PROVIDED BY:

SEEL designs
Caleb@seeldesigns.ca

DATE:

5/20/2025

SCALE:

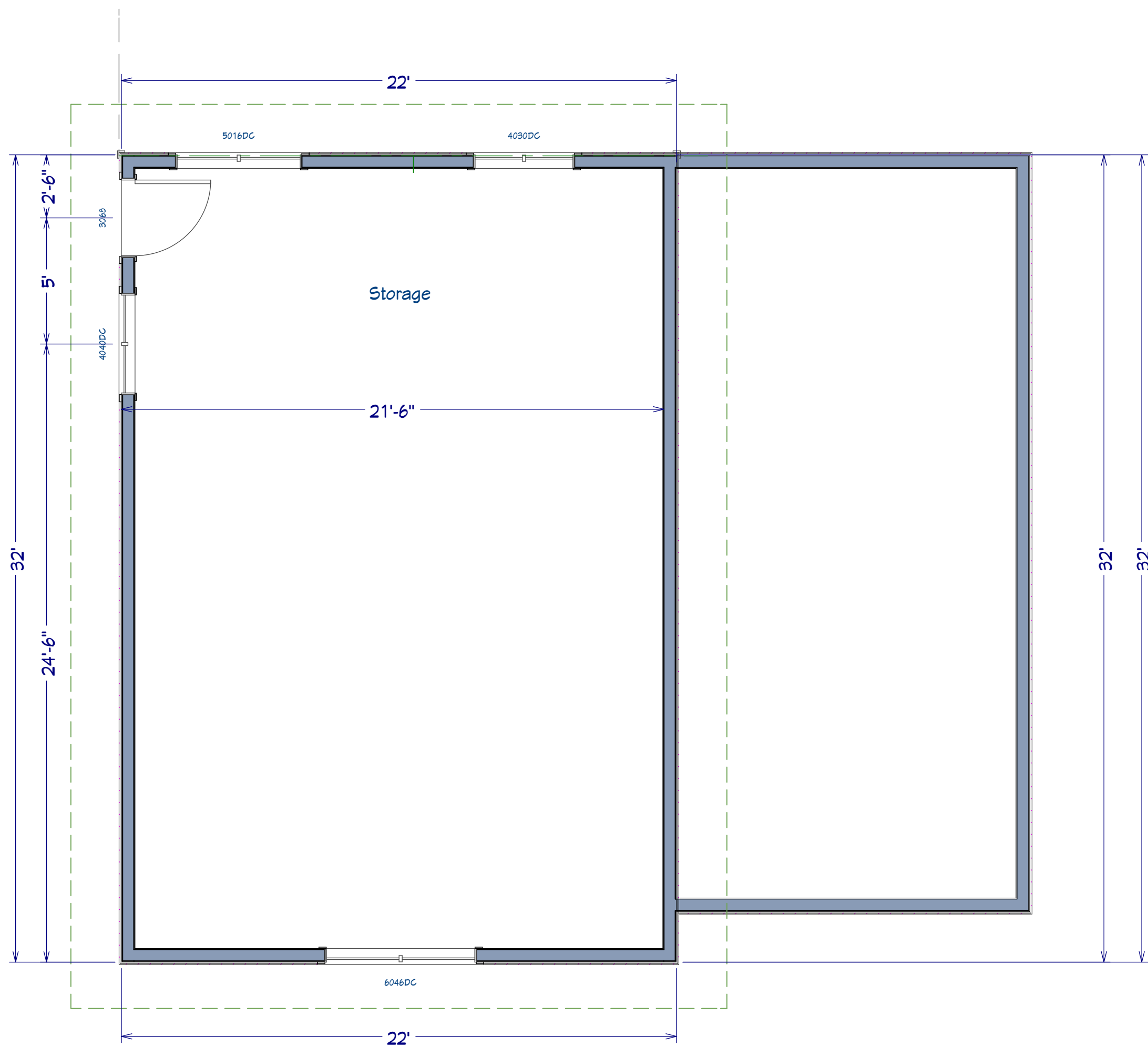
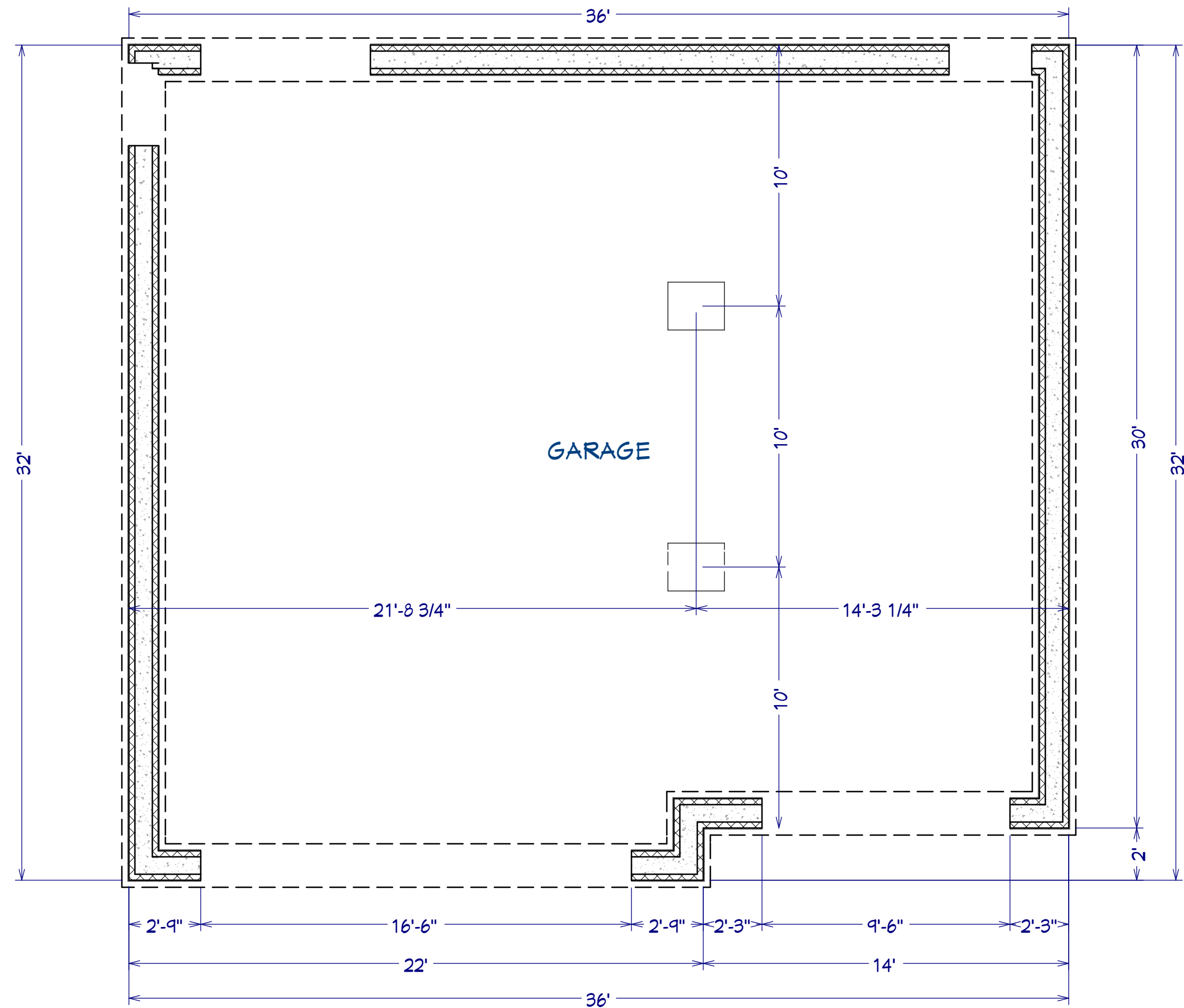
SHEET:

A-1

Rendering

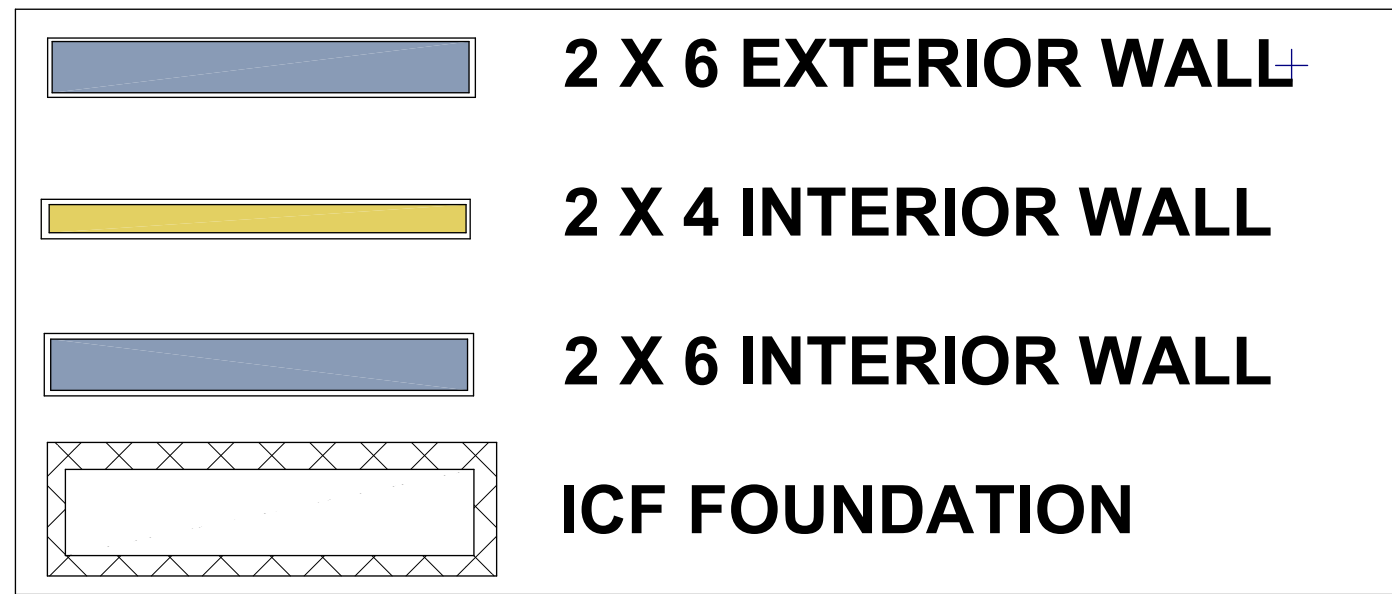


Foundation



LIVING AREA
100 SQ FT

Upper Floor



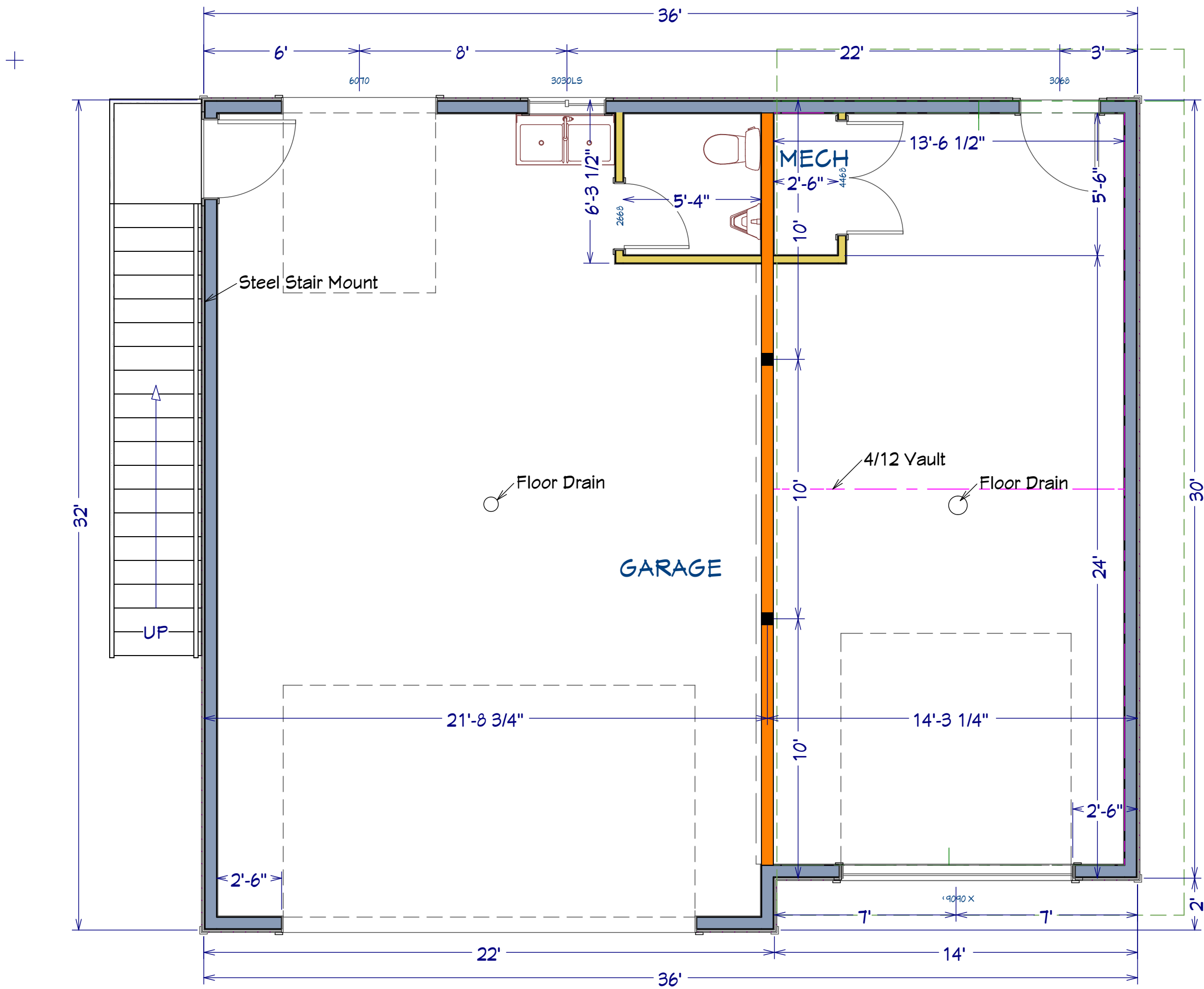
2 X 6 EXTERIOR WALL

2 X 4 INTERIOR WALL

2 X 6 INTERIOR WALL

ICF FOUNDATION

Main Floor



LIVING AREA
1118 SQ FT

1. ROOF CONSTRUCTION

ROOFING MATERIAL
1/2" PLYWOOD OR 1/16 OSB SHEATHING
w/ H-CLIPS
ENGINEERED TRUSSES @ 24" o/c
BLOWN-IN R-52 INSULATION
6mm POLY VAPOR BARRIER
5/8" FG GYPSUM BOARD
RIDGE VENTING

2. EXTERIOR WALL

HARDY SIDING
5/8 EXTERRA
BUILDING PAPER
1/2" SHEATHING
2X6 STUDS @ 16" O/C, C/W R-22 BATT INSULATION
6MM POLY VAPOR BARRIER
1/2" GYPSUM BOARD
5/8 ANCHOR @ 36" O/C - 4" EMBEDMENT

3. INTERIOR WALL

1/2" GYPSUM BOARD
2X4 FRAMING @ 16" O/C
1/2" GYPSUM BOARD

4. SECOND FLOOR CONSTRUCTION

FINISH FLOOR
3/4" T&G SUBFLOOR
FLOOR TRUSSES WITH ENGINEERED
BEAMS PER SPEC

5. FOUNDATION WALL

PEEL AND STICK MEMBRANE TO GRADE
4" BIG O PERFORATED PIPE AROUND THE PERIMETER
OF THE FOUNDATION. MIN 6" WASHED ROCK
ABOVE AND BELOW THE PIPE
13 1/2" ICF WALL W/ 8" CONCRETE
R/W 10M HORIZONTAL REBAR ON 16" CENTERS
AND 15M VERTS ON 24" CENTERS
1/2" GYPSUM BOARD

6. CONCRETE FOOTING

MIN. 20" x 8" CONG. STRIP FOOTING
2 15MM CONTINUOUS REBAR
**ALL FOOTING TO BE ON
UNDISTURBED SOIL OR
REINFORCE AS REQUIRED

7. WEeping TILE

6" WASHED ROCK
OVER 4" DIA. WEeping TILE
FOUNDATIONS MUST BE DRAINED

8. FASCIA

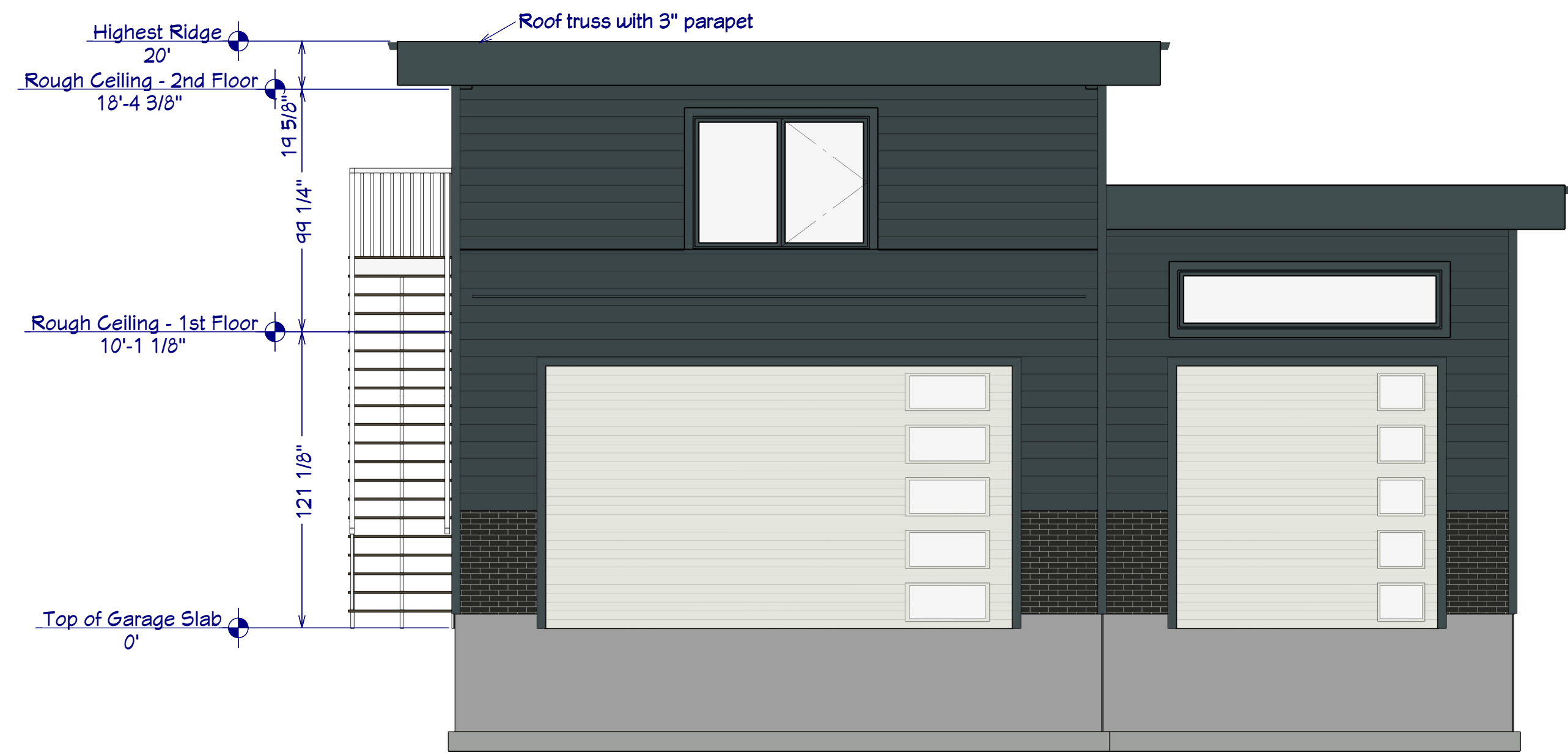
PREFINISHED ALUMINUM FASCIA
ON 2x6 NAILER c/w PREFINISHED
ALUMINUM VENTED SOFFIT

9. CEILING SPACE

INSULATION STOPS IN EACH TRUSS
SPACE c/w 1" AIR SPACE
ROOF VENTS TO PROVIDE 1 SQ.
FT. VENTING PER 300 SQ. FT.
OF INSULATED CEILING AREA

10. GARAGE FLOOR

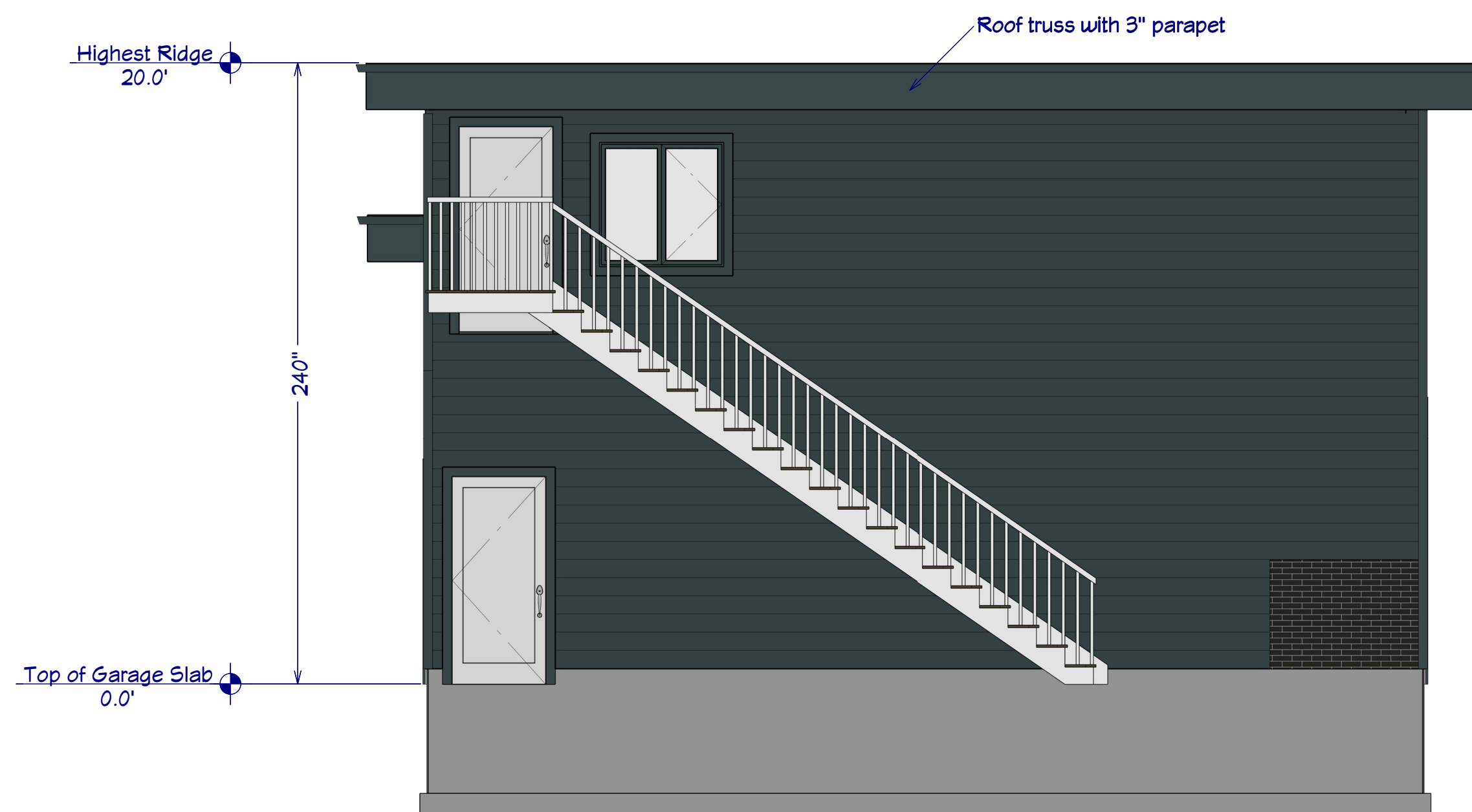
4" CONCRETE GARAGE SLAB 30 MPA
R/W 10mm REBAR 16" OC
MIN. 8" COMPACTED FILL
3" SLOPE TO FRONT OR CENTER
RUN FLOOR OVER BUCKS



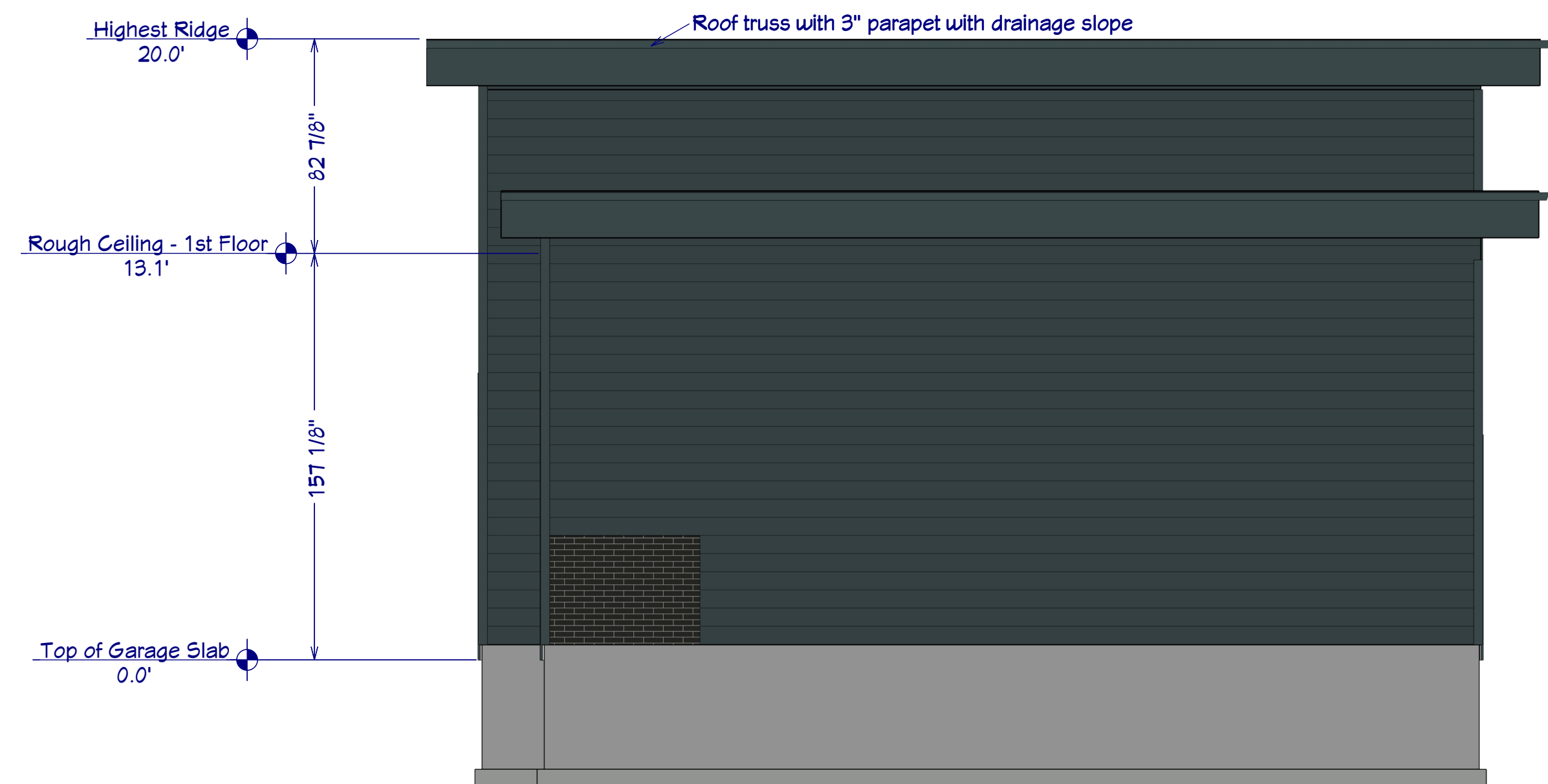
1 Front Elevation
1/4" = 1'-0"



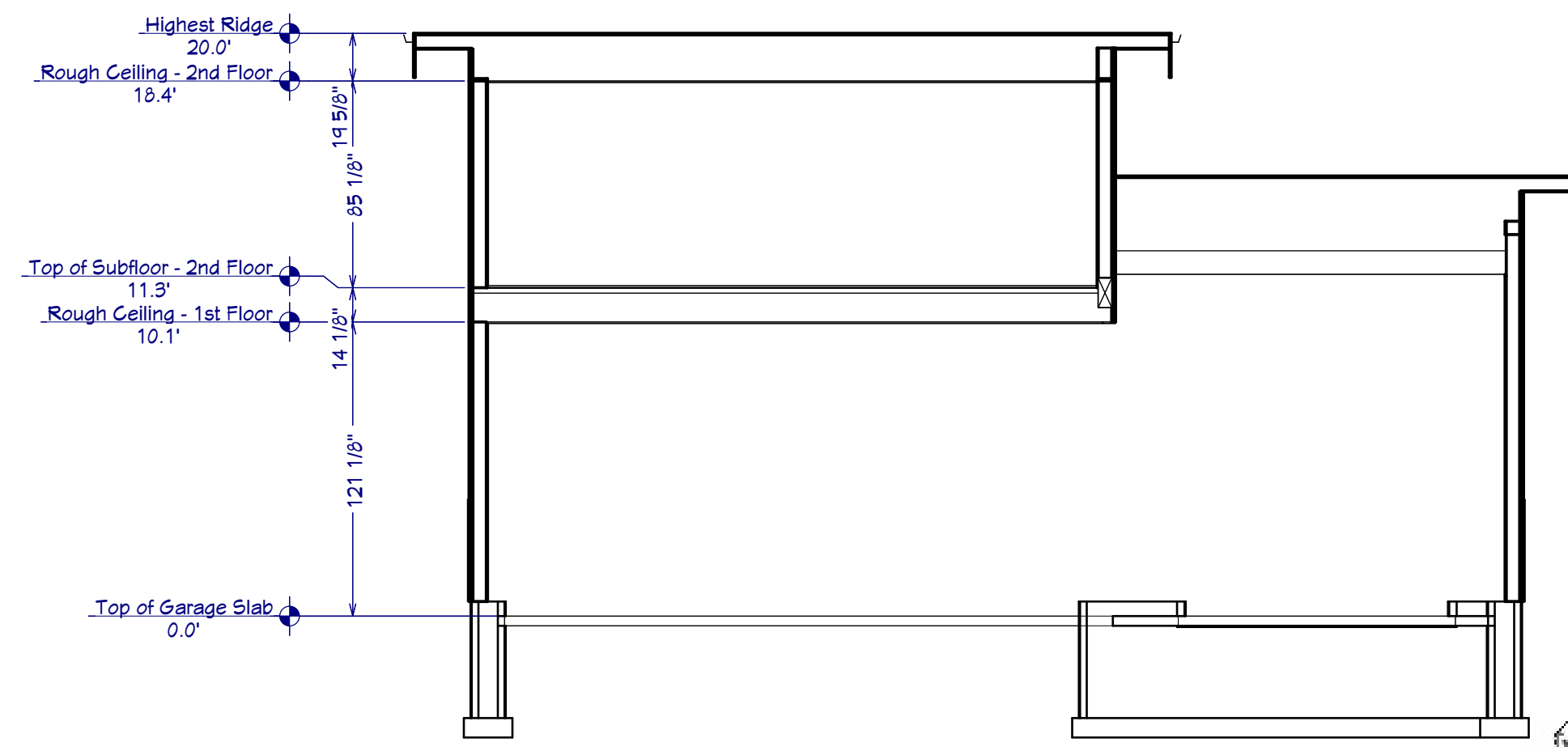
4 Back Cross Section
1/4" = 1'-0"



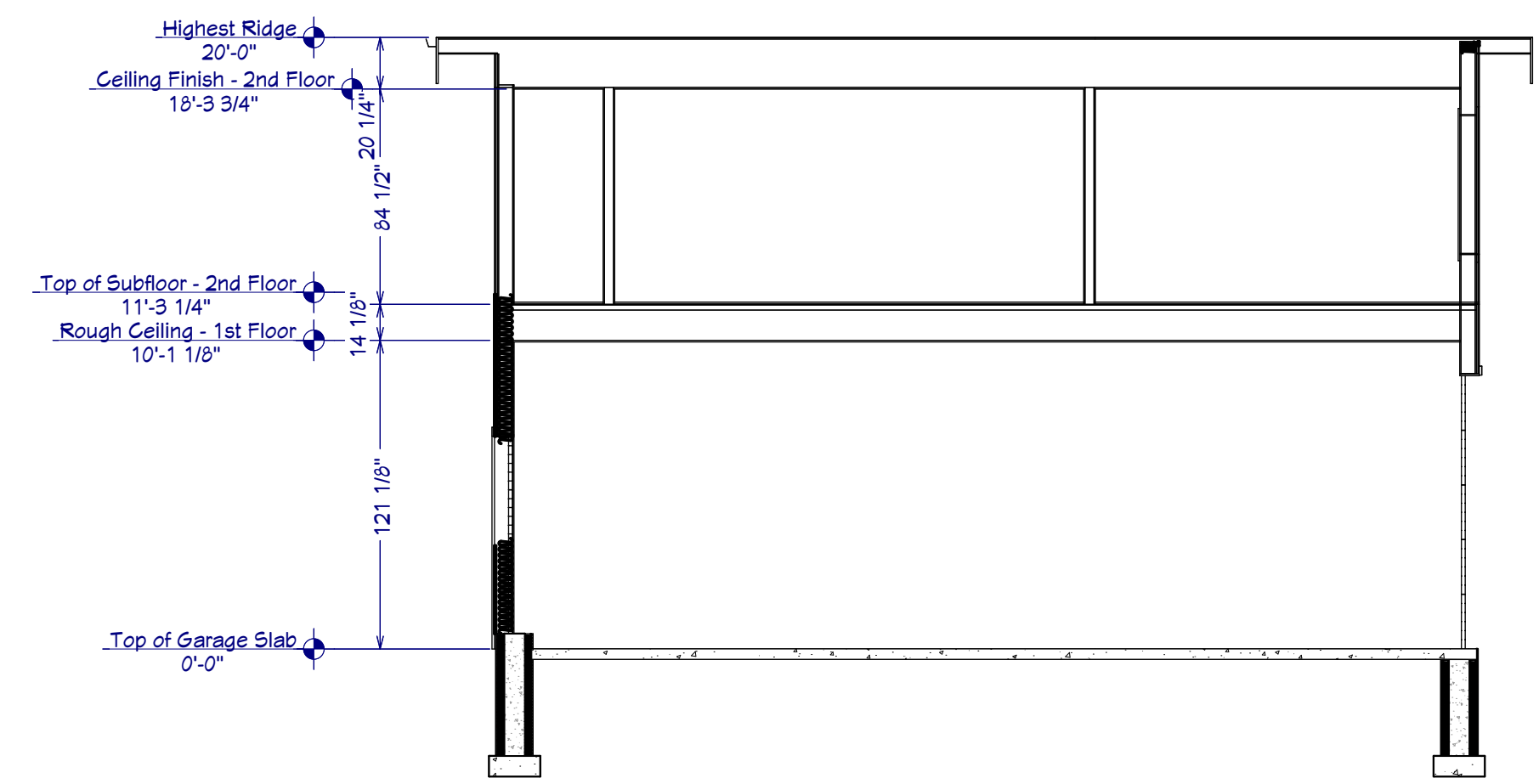
2 Left Elevation
1/4" = 1'-0"



3 Right Side Cross Section
1/4" = 1'-0"



5 Upstairs Storage Vault
1/4" = 1'-0"



7 Lowered Ceiling Section
1/4" = 1'-0"

Plot Plan

